

22-003-TRC

Site Plan Review Staff Report



Applicant | South Buyers LLC

Address | NW 4th Street, Okeechobee, FL 33972



Prepared for The City of Okeechobee

General Information

Owner: South Buyers LLC

Applicant: South Buyers LLC

Primary Contact: Carlos Ayala, Phone #: 863-634-1963

Site Address: NW 4th Street, Okeechobee, FL 33972

Parcel Identification: 3-16-37-35-0160-00240-0050

Note: For the legal description of the project or other information relating this application, please refer to the application submittal package which is available by request at City Hall and is posted on the City's website prior to the advertised public meeting at: <https://www.cityofokeechobee.com/agendas.html>

Future Land Use, Zoning, and Existing Use of Subject Property(s)

	Existing	Proposed
Future Land Use	Multi-Family Residential	N/A
Zoning	RMF	N/A
Use of Property	Vacant	Multi-Family Residential
Acreage	0.76	0.76

Future Land Use, Zoning, and Existing Use of Surrounding Properties

	Future Land Use	Zoning	Existing Use
North	Single-Family Residential	RSF-1	Single Family Residences
East	Single-Family Residential	RMF	Single Family Residences
South	Single-Family Residential	RMF	Single Family Residences
West	Single-Family Residential	RMF	Multi-Family Residences

General Description

The request for consideration by the City of Okeechobee Technical Review Committee is an Application for Site Plan Review of a 7-unit, multi-family residential development. The 0.76-acre project area has frontage along NW 4th Street, between NW 10th and NW 11th Avenues. Staff analysis of the submitted application and plans is provided below. Areas of deficiency or concern are highlighted in yellow.

Adequacy of Public Facilities

Potable Water and Sewer: Confirmation of available water and sewer service from OUA is provided.

Solid Waste Disposal: A dumpster enclosure is proposed in the front of the project, including a loading area which should accommodate access by waste management for solid waste removal. However, the Public Works Director should determine the sufficiency of the proposed facilities. As the enclosure is proposed at 6'4" tall and within the setback, screening of the enclosure with landscaping is recommended.

Traffic Generation: A traffic generation report has been submitted indicating that the proposed development is estimated to generate 40 daily vehicle trips, with 18 of those trips occurring during the AM peak hour and 18 of those trips occurring during the PM peak hour. This proposed increase in traffic generation at this location should not significantly impact the surrounding roadway network.

Access and Internal Circulation: The site plan is designed with direct access to NW 4th Street via a 24-foot-wide driveway and drive aisle, which is sufficient for vehicle ingress/egress and internal circulation of the residential parking facility.

Service Vehicle Access and Egress:

A. Fire Truck

Sufficiency of fire truck access and egress to be addressed by the Fire Department.

B. Loading Zone

A dedicated loading space is not required for multi-family facilities with less than 20 dwelling units. However, one of the required parking spaces is large enough to be utilized as a loading space. Additionally, the area between the dumpster enclosure and the drive aisle is large enough to be utilized as a loading space.

Consistency and Compatibility with Adjacent Uses

The proposed use is consistent with the comprehensive plan and the zoning code and is compatible with surrounding uses. The subject property is designated multi-family on the future land use map and the zoning map. There is already existing multi-family directly abutting the subject property to the west and the development of single story, moderate density multi-family at this location should not be disruptive to the surrounding single family residential.

Compliance with Land Development Code

Regulation	Requirement	Provided
Permitted Uses §90-192	Multiple-family dwellings are allowed as a primary use.	In compliance
Minimum Lot Area §90-196(1)(c)	4,356 square feet for each dwelling unit <u>Actual: $33,105.6 \div 4,356 = 7.6$</u>	7 dwelling units
Min front yard setback §90-196(2)(b)	25 ft	25 ft
Min side yard setback §90-196(2)(b)	20 ft	20 ft
Min rear yard setback §90-196(2)(b)	20 ft	20 ft
Allowable features in required yard setback areas §90-448	A required yard shall be open from ground to sky unobstructed, except for... wall and fence	6'4" tall dumpster enclosure proposed in front yard setback area
Max lot coverage §90-196(3)(a)	40%	33%
Max impervious surface §90-196(3)(a)	60%	55.09%
Max height §90-196(4)	45 feet, unless a special exception is granted.	26.4 ft
Parking spaces location §90-511(a)	Required off-street parking and loading spaces shall be located on the same parcel as the primary use, unless approved by TRC upon	In compliance

	submittal of written agreement to ensure continued availability	
Min parking space dimensions §90-511(b)	9' by 20'	9' by 20'
Min ADA parking space dimensions FL Accessibility Code §502	12' by 20' w/ a 5' wide access aisle	In compliance
Min Loading space dimensions §90-511(c)	10' by 30' w/14' vertical clearance	12' by 44' w/ no overhead structures
Min drive aisle width §90-511(d)(2)	24' for 90° parking spaces	24 ft
Paving §90-511(e)(1)	Each parking and loading space shall be paved	Asphalt proposed for parking facility. In compliance
Parking and loading space layout §90-511(e)(2)	Each parking or loading space shall open directly onto a driveway that is not a public street, and each parking space shall be designed to permit access without moving another vehicle.	In compliance
Pedestrian oriented design §90-511(e)(3)	Buildings, parking and loading areas, landscaping and open spaces shall be designed so that pedestrians moving between parking areas and buildings are not unreasonably exposed to vehicular traffic areas.	In compliance
Pedestrian walks §90-511(e)(4)	Paved pedestrian walks shall be provided along the lines of the most intense use, particularly between building entrances to streets, parking areas, and adjacent buildings.	In compliance

Loading space identification §90-511(e)(5)	Loading facilities shall be identified as to purpose and location when not clearly evident	N/A. No loading space required.
Min parking space setback §90-511(e)(6)	No parking space accessed via a driveway from a public road shall be located closer than 20 feet from the right-of-way line of said public road.	In compliance
Multifamily Parking Requirements Sec. 90-512(1)	2 spaces per 2 BR dwelling unit; 2.25 spaces per 3 BR dwelling unit <u>$2 \times 4 \text{ du} = 8$</u> <u>$2.25 \times 3 = 6.75$</u> <u>$8 + 7 = 15$</u>	15 spaces provided
Min number of ADA parking spaces FL Accessibility Code §208.2	2% of total resident spaces <u>$15 \times .02 = 0.3$</u>	1 ADA parking space
Min number of Loading spaces §90-513(2)	None required for facilities with less than 20 multifamily dwelling units	N/A.
Min Landscaping §90-532	Multifamily 2-4 BR requires 3 trees per unit. <u>$7 \times 3 = 21 \text{ trees}$</u>	42 trees
Landscaping for parking and vehicular use areas §90-533(1)	At least 18 square feet of perimeter and interior landscaped area for each required parking space. <u>$15 \times 18 = 270$</u>	In compliance
Landscaping for parking and vehicular use areas §90-533(2)	At least one tree for each 72 square feet of required landscaped area. <u>$270 \div 72 = 3.75$</u>	42 trees
Landscaping for parking and vehicular use areas	A minimum two feet of landscaping shall be required	In compliance, 5 feet provided.

§90-533(4)	between vehicular use areas and on-site buildings and structures, except at points of ingress and egress.	
Landscaping for parking and vehicular use areas §90-533(5)	The minimum dimension for any required landscaped area within a parking or vehicular use area shall be four feet except for that adjacent to on-site buildings and structures.	In compliance
Landscaping for parking and vehicular use areas §90-533(6)	A landscaped island, minimum five feet by 15 feet and containing at least one tree, shall be required for every ten parking spaces with a maximum of 12 uninterrupted parking spaces in a row.	N/A, parking plan has a maximum of 8 uninterrupted parking spaces.
Landscaping for parking and vehicular use areas §90-533(7)	The remainder of a parking landscape area shall be landscaped with grass, ground cover, or other landscape material.	Plans indicate mulch will be used in area around root balls. Ground cover in other areas should be identified.
Landscape buffer areas §90-534(1)	Minimum width of buffer along street frontage shall be ten feet and on other property lines, two feet.	In compliance
Landscape buffer areas §90-534(2)	At least one tree and three shrubs for each 300 square feet of required landscaped buffer. 177 linear ft of non-driveway frontage on NW 11 th Avenue requires 1,770 sf of landscaped area with 6 trees and 18 shrubs 157 linear ft of buffer along the eastern boundary	11 trees and 27 shrubs 7 trees and 24 shrubs

	<p>requires 314 sf of landscaped area with 1 tree and 3 shrubs</p> <p>176 linear ft of buffer along the western boundary requires 352 sf of landscaped area with 1 tree and 3 shrubs of required landscaped buffer</p> <p>200 linear ft of buffer along the southern boundary requires 400 sf of landscaped area with 1 tree and 4 shrubs</p>	<p>9 trees and 24 shrubs</p> <p>11 trees and 30 shrubs</p>
Landscape buffer areas §90-534(3)	Trees may be planted in clusters, but shall not exceed 50 feet on centers abutting the street.	In compliance
Landscape buffer areas §90-534(4)	The remainder of a landscape buffer shall be landscaped with grass, ground cover, or other landscape material.	Ground cover type should be identified throughout buffer areas.
Landscape design and plan §90-538(a)	Proposed development, vehicular and pedestrian circulation systems, and site drainage shall be integrated into the landscaping plan.	In compliance
Landscape design and plan §90-538(b)	Existing native vegetation shall be preserved where feasible, and may be used in calculations to meet these landscaping requirements.	In compliance
Species diversification §90-538(c)	When more than ten trees are required to be planted, two or more species shall be used.	Species types not indicated on plans
Tree spacing from utility structures §90-538(d)	Trees and shrubs shall not be planted in a location where at	Overhead utility lines present along street frontage between edge of roadway and property line. Species

	their maturity they would interfere with utility services.	type is not indicated for plantings within front buffer area.
Shade §90-538(e)	Trees should maximize the shading of pedestrian walks and parking spaces.	N/A. Landscape islands are not required or provided for the proposed parking facility. Landscaping areas between building and parking area are not appropriate for shade trees.
Landscape area barriers §90-538(g)	Landscaping shall be protected from vehicular encroachment by means of curbs, wheel stops, walks or similar barriers.	Provided site plan does not include wheel stops (only one included, ADA space).
Drought tolerance §90-540(b)	At least 75 percent of the total number of plants required shall be state native very drought tolerant species as listed in the South Florida Water Management District Xeriscape Plant Guide. However, when a landscape irrigation system is installed, at least 75 percent of the total number of plants required shall be state native moderate or very drought tolerant species.	Species types not identified on plans.
Min tree size §90-540(c)	Trees shall be at least ten feet high and two inches in diameter measured four feet above ground level at the time of planting.	Planting heights not identified on plans.
Fencing §90-639(a)	(a) Walls and fences may be located in front, side and rear yard setback areas, and shall not exceed a height of five feet in front of the front building line, nor a height of two feet, six inches in a visibility triangle, nor a height of eight feet elsewhere.	Dumpster enclosure proposed at 6'4" high, located in front of the front building line.

	(b)Walls and fences shall be constructed with the finished side facing the adjacent property. (c)Barbed wire and similar fences shall be prohibited on residential lots.	
Sidewalks § 78-36	Sidewalks shall be provided along each right-of-way. Pedestrian access shall be provided from the development to the ROW facilities.	Site plans do not indicate any proposed sidewalks, although there are no existing sidewalks to connect to on this segment of NW 4 th Street.
Lighting §78-71(a)(5)	All off-street parking areas, service roads, walkways and other common use exterior areas open to the public shall have a minimum of one-half horizontal foot-candle power of artificial lighting. Lighting, when provided, shall be directed away from public streets and residential areas and shall not be a hazard or distraction to motorists traveling a street.	Photometric plan provided with appropriate intensities for parking areas and diminishing intensity approaching the property lines.

Recommendation

Based on the foregoing analysis, we recommend approval of the proposed site plan with the following conditions:

- 1) The remainder of the landscape areas which are not occupied by trees and shrubs shall be landscaped with grass, groundcover, or other landscape materials (such as mulch).
- 2) At least two different tree species shall be utilized.
- 3) At least 75 percent of the total number of plants required shall be state native very drought tolerant species as listed in the South Florida Water Management District Xeriscape Plant Guide.
- 4) Trees species planted along frontage buffer shall be a variety that will not produce a mature canopy capable of interfering with overhead utility lines.
- 5) Planting heights shall be in comply with minimum City landscaping standards
- 6) Wheel stops shall be provided for each parking space.

- 7) Plantings located between the dumpster enclosure and the front property line shall be installed at a minimum 6 foot height and shall effectively obscure the enclosure from view of the roadway.

Submitted by:

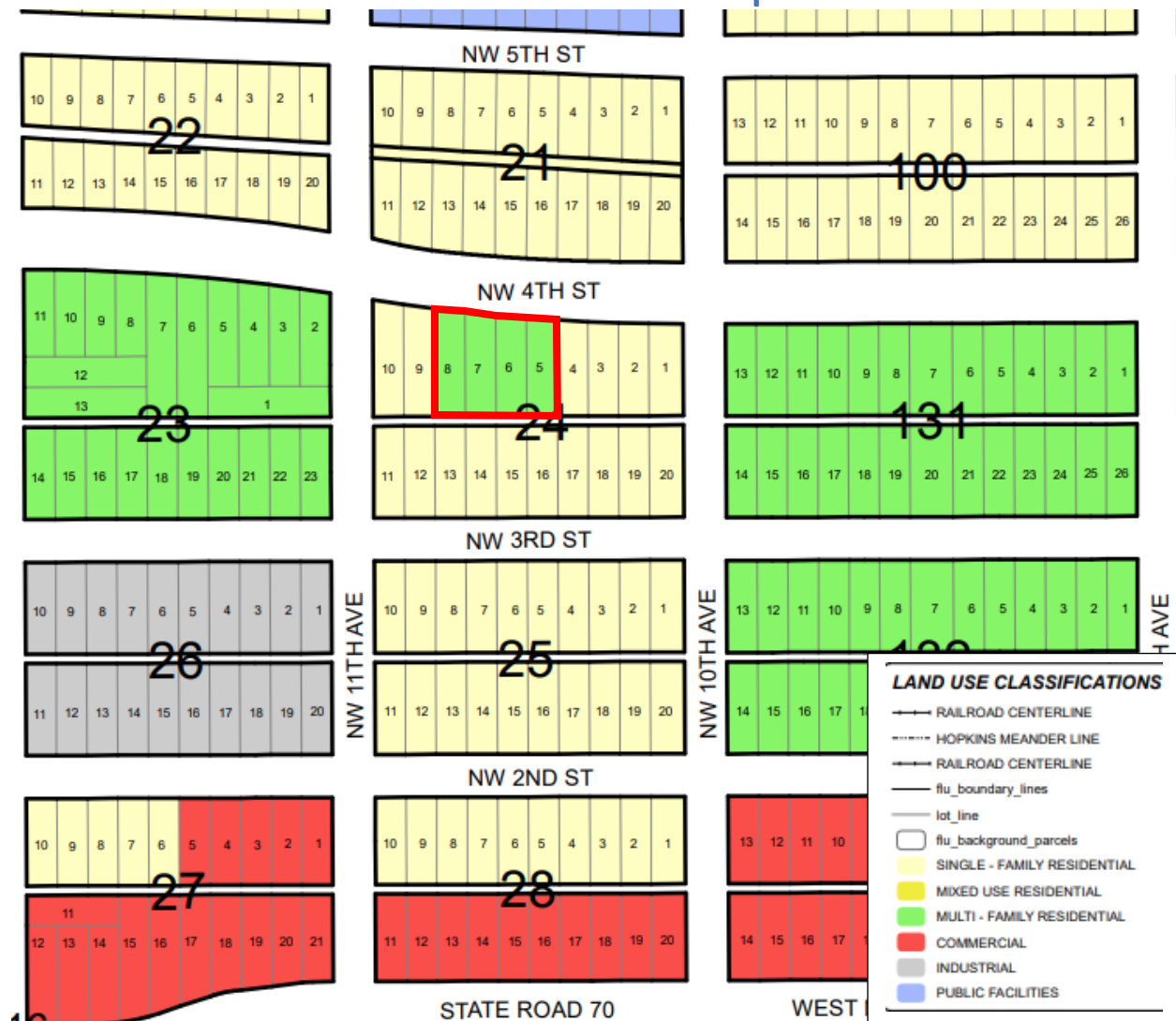


Ben Smith, AICP

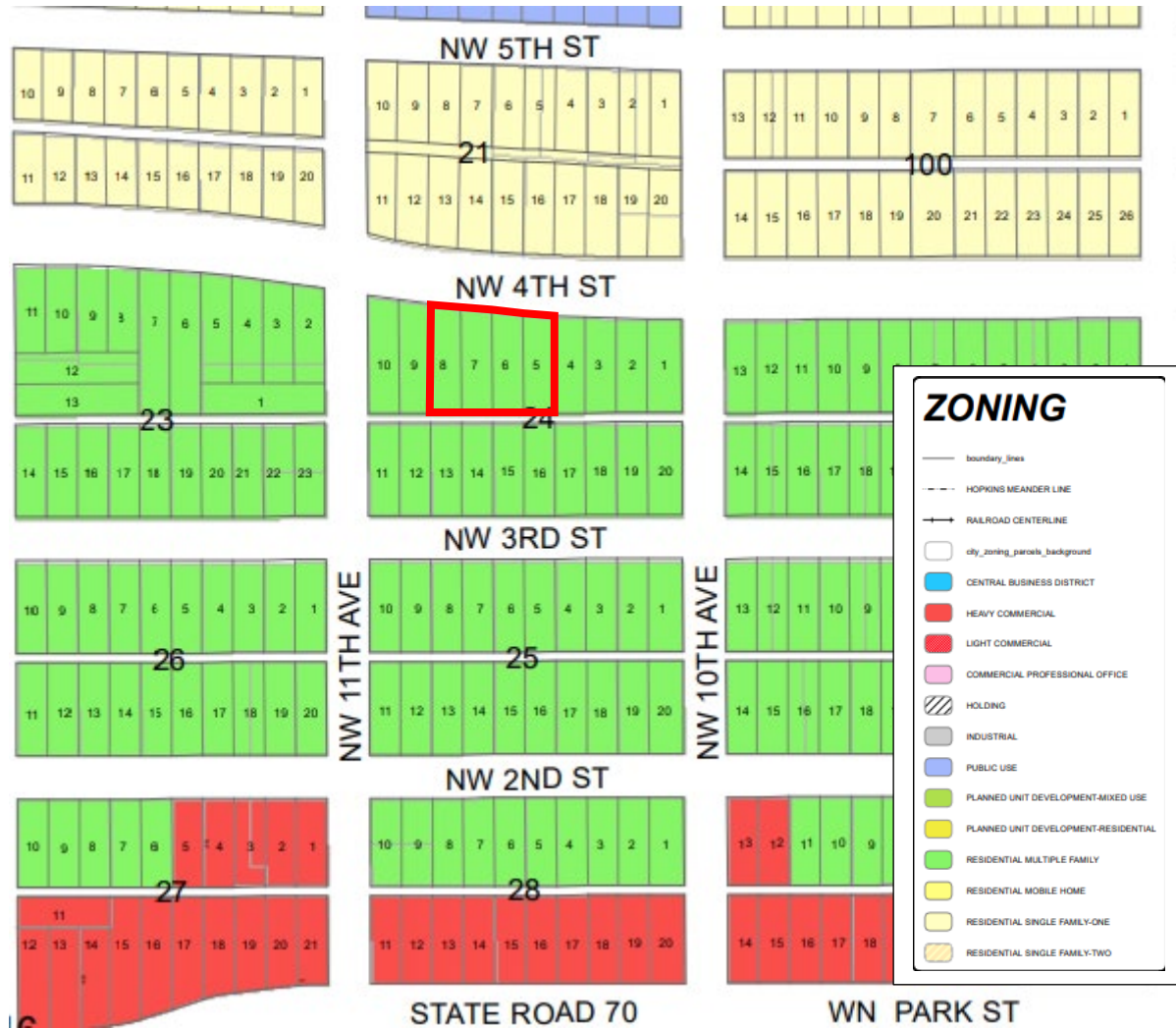
Director of Planning

October 12, 2022

Future Land Use Map



Zoning Map




Aerial Identifying Existing Land Use



CITY OF OKEECHOBEE
Application for Site Plan Review

Pag 1 of 3

	<p>City of Okeechobee General Services Department 55 S.E. 3rd Avenue, Room 101 Okeechobee, Florida 34974 Phone: (863) 763-3372, ext. 9820 Fax: (863) 763-1686 E-mail: pburnette@cityofokeechobee.com</p>		Date Received	8-5-22 3PM
			Application No.	22-003-TRC
			Fee Paid:	1000.00
			Receipt No.	58925
			Hearing Date:	10-20-22

APPLICANT INFORMATION	
1	Name of property owner(s): <u>SOUTHERN BUYERS LLC</u>
2	Owner mailing address: <u>1118 NW PARK ST. OKEECHOBEE FL 34972</u>
3	Name of applicant(s) if other than owner:
4	Applicant mailing address:
5	Name of contact person (state relationship): <u>CARLOS AYALA</u>
6	Contact person daytime phone(s) and email address: <u>863-634-1963 CAELECTRICALSERVICES@HOTMAIL</u>
7	Engineer: Name, address and phone number: <u>MDO ENGINEERING INC P.O. BOX 1001 OKEECHOBEE FL 34973</u> <u>863-634-2131</u>
8	Surveyor: Name, address and phone number: <u>TRADEWINDS SURVEYING GROUP 200 SW 3RD AVE OKEE FL</u> <u>863-763-2867</u>

PROPERTY and PROJECT INFORMATION	
9	Property address/directions to property: <u>NW 11th AVE OKEECHOBEE FL</u> <u>NW 4th Street between NW 10th & 11th Avenues</u>
10	Parcel Identification Number <u>3-16-37-35-01600-00240-0050 (34512)</u>
11	Current Future Land Use designation: <u>MULTI-FAMILY RESIDENTIAL</u>
12	Current Zoning district: <u>RESIDENTIAL (MULTI-FAMILY)</u>
13	Describe the project including all proposed uses, type of construction and conceptual building layout, how the business or use is expected to operate on the site, including but not limited to: number of employees expected; hours of operation; location, extent and type of any outdoor storage or sales, etc., and fire flow layout. Use additional page if necessary. <u>1-UNIT MULTI-FAMILY RESIDENCE (Rental units)</u>
14	Describe existing improvements on property (for example, the number and type of buildings, dwelling units, occupied or vacant, etc.). Use additional page if necessary. <u>VACANT</u>
15	Total land area in square feet (if less than two acres): or acres: <u>0.754 0.76 per survey</u>
16	Is proposed use different from existing or prior use <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

CITY OF OKEECHOBEE
Application for Site Plan Review

Pag 2 of 3

17	Number and description of phases: <u>1</u>
18	Source of potable water: <u>OVA</u>
19	Method of sewage disposal: <u>OVA</u>

ATTACHMENTS REQUIRED FOR ALL APPLICATIONS

20	Applicant's statement of interest in property <u>Owner</u>
21	One (1) copy of last recorded warranty deed
22	Notarized letter of consent from property owner (if applicant is different from property owner)
23	Three (3) CERTIFIED BOUNDARY and TOPOGRAPHIC surveys, (one to be no larger than 11 x 17; scale not less than one inch to 20 feet; North point) containing: a. Date of survey, surveyor's name, address and phone number b. Legal description of property pertaining to the application c. Computation of total acreage to nearest tenth of an acre d. Location sketch of subject property, and surrounding area within one-half mile radius
24	Two (2) sets of aerials of the site.
25	Eleven (11) copies of sealed site plan drawings (see attached checklist for details of items to be included)
26	Eleven (11) copies of drawing indicating facades for all buildings, including architectural elevations.
27	Eleven (11) copies of landscape plan, including a separate table indicating the number of trees and shrubs by type and showing both the official and common name of each type of tree and shrub.
28	Eleven (11) copies of photometric lighting plan (see Code of Ordinances & LDR's Section 78-71 (A) (5)).
29	Three (3) copies of sealed drainage calculations.
30	Attach a Traffic Impact Study prepared by a professional transportation planner or transportation engineer, if the rezoning or proposed use will generate 100 or more peak hour vehicle trip ends using the trip generation factors for the most similar use as contained in the Institute of Transportation Engineers most recent edition of <u>Trip Generation</u> . The TIA must identify the number of net new external trips, pass-bay calculations, internal capture calculations, a.m. and p.m. peak hour trips and level of service on all adjacent roadway links with and without the project.
31	USB flash drive of application
32	Nonrefundable application fee: \$1,000.00 plus \$30.00 per acre. NOTE: Resolution No. 98-11 Schedule of Land Development Regulation Fees and Charges - When the cost for advertising, publishing and mailing notices of public hearings exceeds the established fee, or when a professional consultant is hired to advise the City on the application, the applicant shall pay the actual costs.
NOTE: Submissions will be reviewed by the General Services Coordinator and City Planner for all necessary documentation. The Applicant will be notified at least 10 days prior to the TRC meeting whether or not additional information is required to proceed or if the review will be rescheduled to the next TRC meeting.	
Confirmation of Information Accuracy	
I hereby certify that the information in this application is correct. The information included in this application is for use by the City of Okeechobee in processing my request. False or misleading information may be punishable by a fine of up to \$500.00 and imprisonment of up to 30 days and may result in the summary denial of this application.	
Signature	Printed Name <u>Carlos Aguilera</u> Date <u>6-21-22</u>



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Detail by Entity Name

Florida Limited Liability Company

SOUTH BUYERS, LLC

Filing Information

Document Number L16000117503

FEI/EIN Number 32-0499118

Date Filed 06/17/2016

Effective Date 06/14/2016

State FL

Status **ACTIVE**

Principal Address

1118 NW PARK STREET
OKEECHOBEE, FL 34972

Changed: 04/27/2021

Mailing Address

1118 NW PARK STREET
OKEECHOBEE, FL 34972

Changed: 04/27/2021

Registered Agent Name & Address

C & V HOLDINGS, LLC

1118 NW PARK STREET
OKEECHOBEE, FL 34972

Address Changed: 04/27/2021

Authorized Person(s) Detail

Name & Address

Title MGR

C & V HOLDINGS, LLC
1118 NW PARK STREET
OKEECHOBEE, FL 34972

Annual Reports

Report Year	Filed Date
-------------	------------

2020	04/07/2020
2021	04/27/2021
2022	03/17/2022

Document Images

03/17/2022 -- ANNUAL REPORT	View image in PDF format
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04/07/2020 -- ANNUAL REPORT	View image in PDF format
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04/30/2018 -- ANNUAL REPORT	View image in PDF format
04/21/2017 -- ANNUAL REPORT	View image in PDF format
06/17/2016 -- Florida Limited Liability	View image in PDF format



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Detail by Entity Name

Florida Limited Liability Company

C & V HOLDINGS, LLC

Filing Information

Document Number L16000111971

FEI/EIN Number 81-2906093

Date Filed 06/09/2016

Effective Date 06/09/2016

State FL

Status **ACTIVE**

Principal Address

1118 NW PARK STREET
OKEECHOBEE, FL 34972

Changed: 04/27/2021

Mailing Address

1118 NW PARK STREET
OKEECHOBEE, FL 34972

Changed: 04/27/2021

Registered Agent Name & Address

ESPINOZA, CEFERINO
1118 NW PARK STREET
OKEECHOBEE, FL 34972

Address Changed: 04/27/2021

Authorized Person(s) Detail

Name & Address

Title MGR

ESPINOZA, CEFERINO
5985 NE 3RD LANE
OKEECHOBEE, FL 34974

Title MGR

BAUTISTA, VALENTIN

794 SW 85TH AVENUE
OKEECHOBEE, FL 34974

Annual Reports

Report Year	Filed Date
2020	04/07/2020
2021	04/27/2021
2022	03/17/2022

Document Images

03/17/2022 -- ANNUAL REPORT	View image in PDF format
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04/07/2020 -- ANNUAL REPORT	View image in PDF format
04/16/2019 -- ANNUAL REPORT	View image in PDF format
04/30/2018 -- ANNUAL REPORT	View image in PDF format
04/21/2017 -- ANNUAL REPORT	View image in PDF format
06/09/2016 -- Florida Limited Liability	View image in PDF format



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(863) 634-2131

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Okeechobee, FL 34974
CA License No. 29880
PE License No. 63897

www.MDO-Engineering.com

August 5, 2022

City of Okeechobee
Attention Patty Burnette
Community Services Planning and Services Director

TRANSMITTED VIA EMAIL: Hand Delivered

Subject: Site Plan Submittal for Southern Buyers – 0.76 Acres on NW 11th Avenue
Parcel ID NO. 3-16-37-35-0160-00240-0050(34512)
Development of Parcel into 7 Multifamily Units

Dear Patty,

Please find the attached application, permit fee, drainage report, construction plans and supplemental supporting information for Site Plan Consideration of the project.

Should you have any questions, please contact me at (863) 634-2131.

Sincerely,
MDO Engineering, Inc.

Marcos Y. Montes De Oca, P.E.
President

Professional Engineer Number: 63897
FBPE Authorization No. 29880



Prepared by and return to:
FRANK H. FEE, IV

Fee and Fee, PLLC
400 NW 2nd Street
Okeechobee, FL 34972
863-763-3131
File No.: 20-1507

Parcel Identification No. 3-16-37-35-0160-00240-0050

[Space Above This Line For Recording Data]

Warranty Deed

(STATUTORY FORM - SECTION 689.02, F.S.)

This Indenture made this 15th day of January, 2021 Between

TIRSO GONZALEZ, a single man whose post office address is 1770 NW 8TH STREET, Okeechobee, FL 34972 of the County of Okeechobee, State of Florida, grantor*, and

SOUTH BUYERS, LLC, a Florida limited liability company whose post office address is 1104 NW PARK STREET, Okeechobee, FL 34972 of the County of Okeechobee, State of Florida, grantee*.

Witnesseth that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Okeechobee County Florida, to-wit:

Lots 5, 6, 7 and 8, Block 24, NORTHWEST ADDITION TO OKEECHOBEE, according to the plat thereof recorded in Plat Book 1, Page 25 of the Public Records of Okeechobee County, Florida.

Subject to restrictions, reservations and easements of record, if any.

and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

* "Grantor" and "Grantee" are used for singular or plural, as context requires.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Stephanie Gomez
Witness Name: Stephanie Gomez

Tirso Gonzalez
TIRSO GONZALEZ

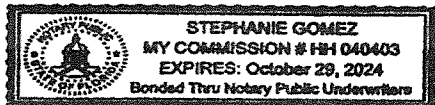
Witness Name: Lauren De la Cruz

State of Florida
County of Okeechobee

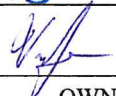

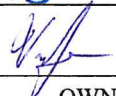

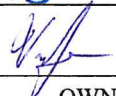


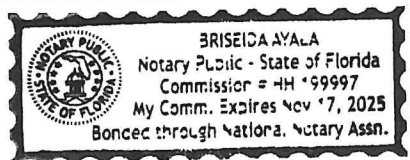
The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this 15th day of January, 2021 by TIRSO GONZALEZ, who ☐ is personally known or ☒ has produced a driver's license as identification.

[Notary Seal]

Stephanie Gomez
Notary Public



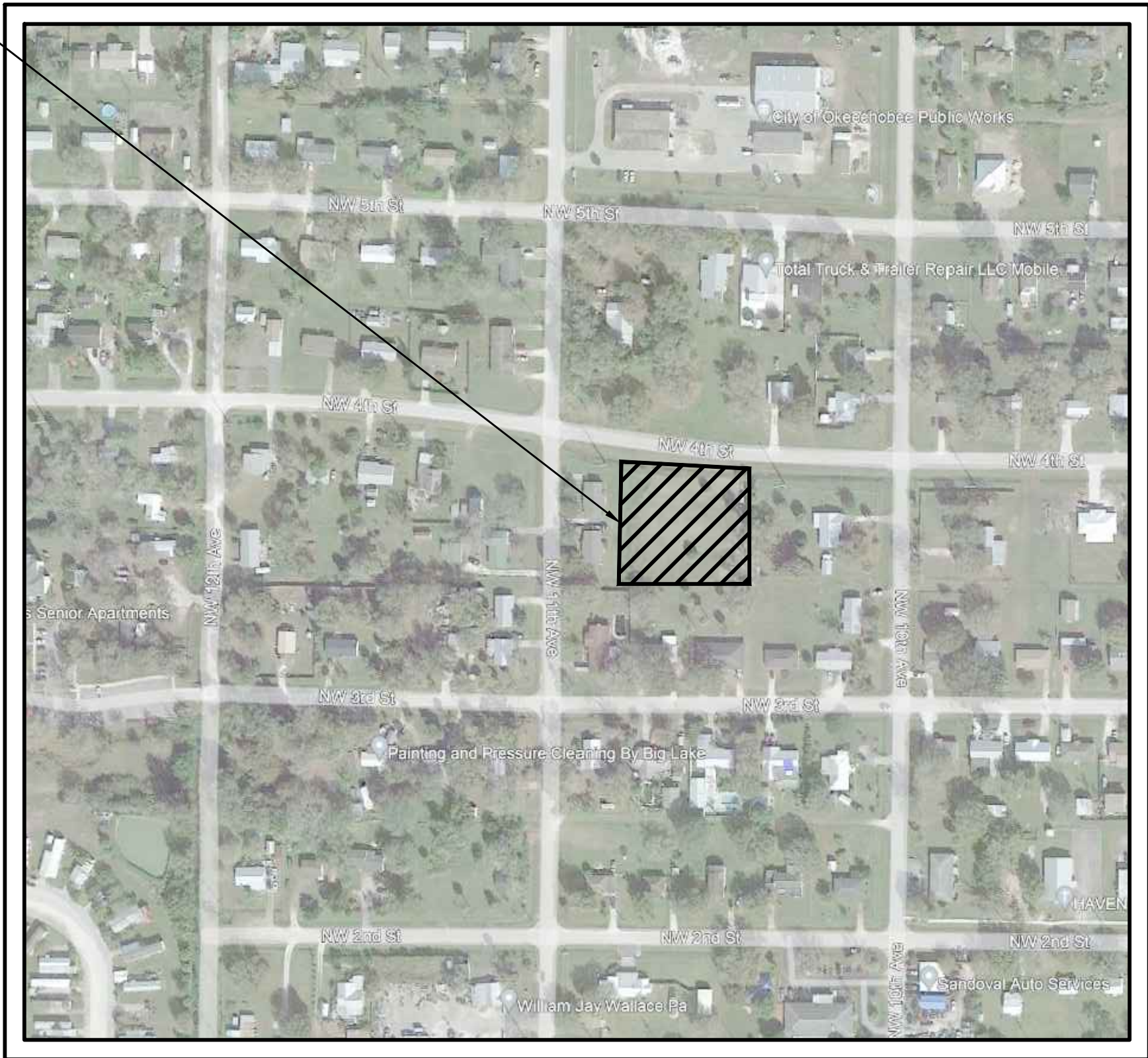
CITY OF OKEECHOBEE
55 SE 3RD AVENUE
OKEECHOBEE, FL 34974
TELE: 863-763-3372 FAX: 863-763-1686
LAND USE POWER OF ATTORNEY

Name of Property Owners:						
South Buyers LLC						
Mailing Address: 1118 NW park st okeechobee FL 34972						
Home Telephone:	Work: 863 261 5835	Cell: 863 201 5929				
Property Address:						
Parcel ID Number: 3-16-37-35-0160-00240-0050						
Name of Applicant: Carlos Ayala						
Home Telephone:	Work:	Cell: 863-634-1963				
<p>The undersigned, being the record title owner(s) of the real property described above, do hereby grant unto the applicant stated above the full right and power of attorney to make application to the City of Okeechobee to change the land use of said property. This land use change may include rezoning of the property, the granting of special exception or variances, and appeals of decisions of the Planning Department. It is understood that conditions, limitations and restrictions may be place upon the use or operation of the property. Misstatements upon application or in any hearing may result in the termination of any special exception or variance and a proceeding to rezone the property to the original classification. This power of attorney may be terminated only by a written and notarized statement of such termination effective upon receipt by the Planning Department.</p>						
<p>IN WITNESS WHEREOF THE UNDERSIGNED HAVE SET THEIR HAND AND SEALS THIS</p> <p><u>25</u> DAY OF <u>August</u> 20<u>22</u></p> <table><tr><td> OWNER</td><td> WITNESS</td></tr><tr><td> OWNER</td><td> WITNESS</td></tr></table>			 OWNER	 WITNESS	 OWNER	 WITNESS
 OWNER	 WITNESS					
 OWNER	 WITNESS					
<p>STATE OF FLORIDA COUNTY OF <u>Okeechobee</u></p> <p>The foregoing instrument was acknowledged before me by means of <input checked="" type="checkbox"/> physical presence or <input type="checkbox"/> online notarization, this <u>25</u> day of <u>August</u>, 20<u>22</u>, by <u>Valentin Bautista-Felix</u> (Name of Person) who is personally known to me or produced _____ as identification.</p> <div> NOTARY PUBLIC SIGNATURE</div>						

CONSTRUCTION PLANS AND SPECIFICATIONS

SOUTH BUYERS LLC
NW 11TH AVE. OKEECHOBEE, FL
SECTION 03, TOWNSHIP 37S, RANGE 35E
3-16-37-35-0160-00240-0050 (34512)

PROJECT LOCATION



CITY OKEECHOBEE CITY COUNCIL

DOWLING R. WATFORD JR.	—	MAYOR
NOEL CHANLER	—	COUNCIL MEMBER
MONICA CLARK	—	COUNCIL MEMBER
BOB JARRIEL	—	COUNCIL MEMBER
BOBBY KEEFE	—	COUNCIL MEMBER

SHEET INDEX

- 1 COVER
- 2 NOTES AND SPECIFICATIONS
- 3 NOTES AND SPECIFICATIONS
- 4 PAVING, GRADING, DRAINAGE PLAN
- 5 UTILITY & LANDSCAPE PLAN
- 6 LIGHTING PLAN
- 7 CIVIL DETAILS
- 8 UTILITY DETAILS
- 9 UTILITY DETAILS

BURIED UTILITIES NOTE
BURIED UTILITIES ARE SHOWN AT THEIR APPROXIMATE LOCATION BASED UPON INFORMATION OBTAINED FROM UTILITY COMPANIES AND FIELD SURVEY. OTHER BURIED UTILITIES MAY EXIST ON THE SUBJECT SITE WHICH ARE NOT SHOWN ON THIS DRAWING. EXERCISE EXTREME CAUTION DURING EXCAVATION PROCEDURES AND CONTACT SUNSHINE STATE ONE (1-800-432-4770) FOR EXACT LOCATION OF BURIED FACILITIES PRIOR TO EXCAVATION OPERATIONS.



CALL BEFORE YOU DIG...
1-800-432-4770
UTILITIES PROTECTION CENTER
IT'S THE LAW

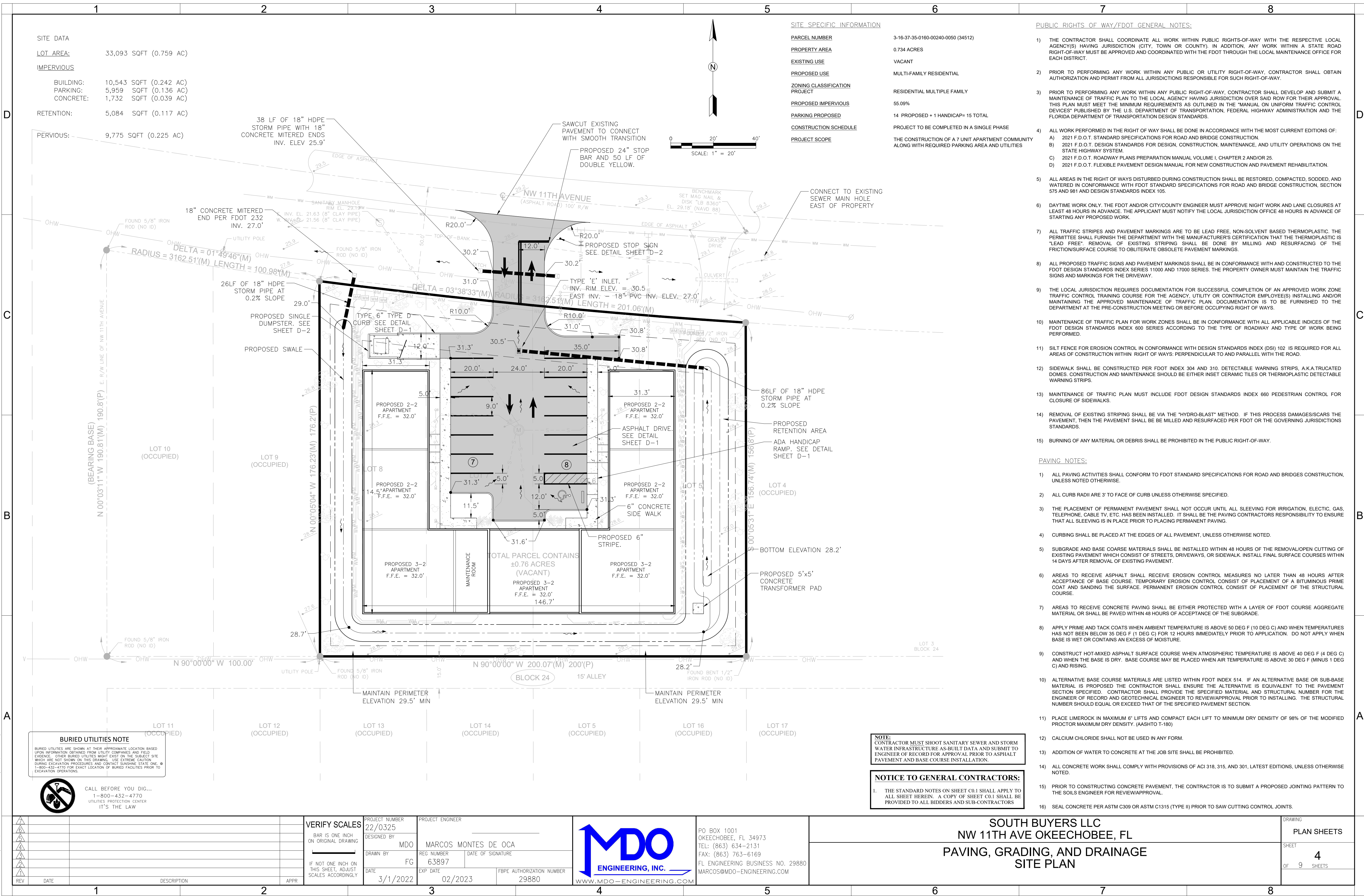
Sunshine811

				VERIFY SCALES		PROJECT NUMBER 22/0325		PROJECT ENGINEER		SOUTH BUYERS LLC NW 11TH AVE OKEECHOBEE, FL		DRAWING	
				BAR IS ONE INCH ON ORIGINAL DRAWING		DESIGNED BY MDO		MARCOS MONTES DE OCA				COVER AND NOTES	
				IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY		DRAWN BY FG		REG NUMBER 63897		DATE OF SIGNATURE		SHEET	
						DATE 3/1/2022		EXP. DATE 02/2023		FBPE AUTHORIZATION NUMBER 29880		1	
REV				DATE		DESCRIPTION		APPR		www.mdo-engineering.com		COVER	
										PO BOX 1001 OKEECHOBEE, FL 34973 TEL: (863) 634-2131 FAX: (863) 763-6169 FL ENGINEERING BUSINESS NO. 29880 MARCOS@MDO-ENGINEERING.COM		OF 9 SHEETS	

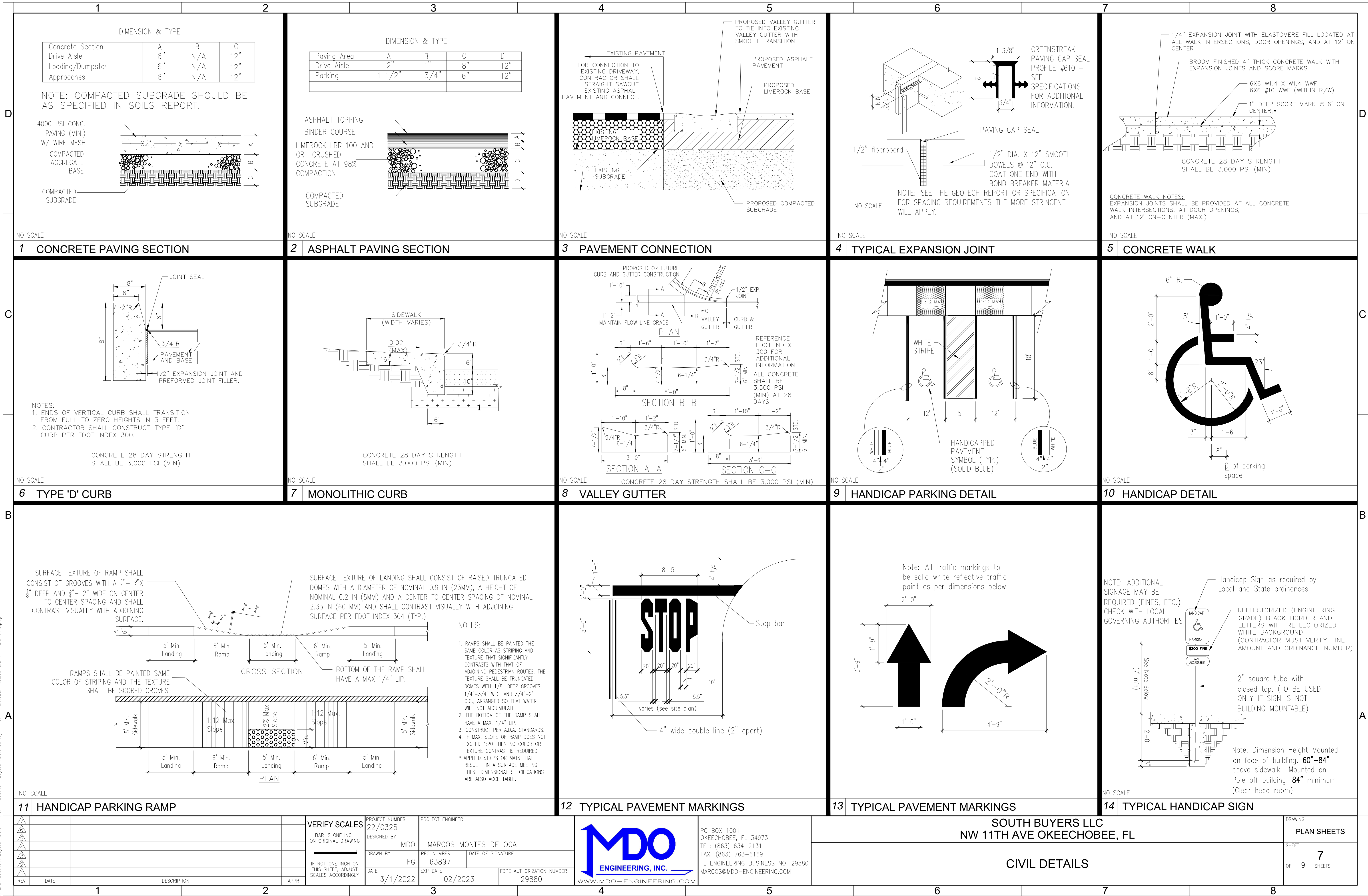


PO BOX 1001
OKEECHOBEE, FL 34973
TEL: (863) 634-2131
FAX: (863) 763-6169
FL ENGINEERING BUSINESS NO. 29880
MARCOS@MDO-ENGINEERING.COM

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XREFS: Southern Buyers Apart - Xref - Southern Buyers Apart Survey - Xref IMAGES: MDO_0918.dwg



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XREFS: Southern Buyers Apart - xref - Southern Buyers Apart Survey - xref IMAGES: MC_0918.BMP - LIGHTING.png -



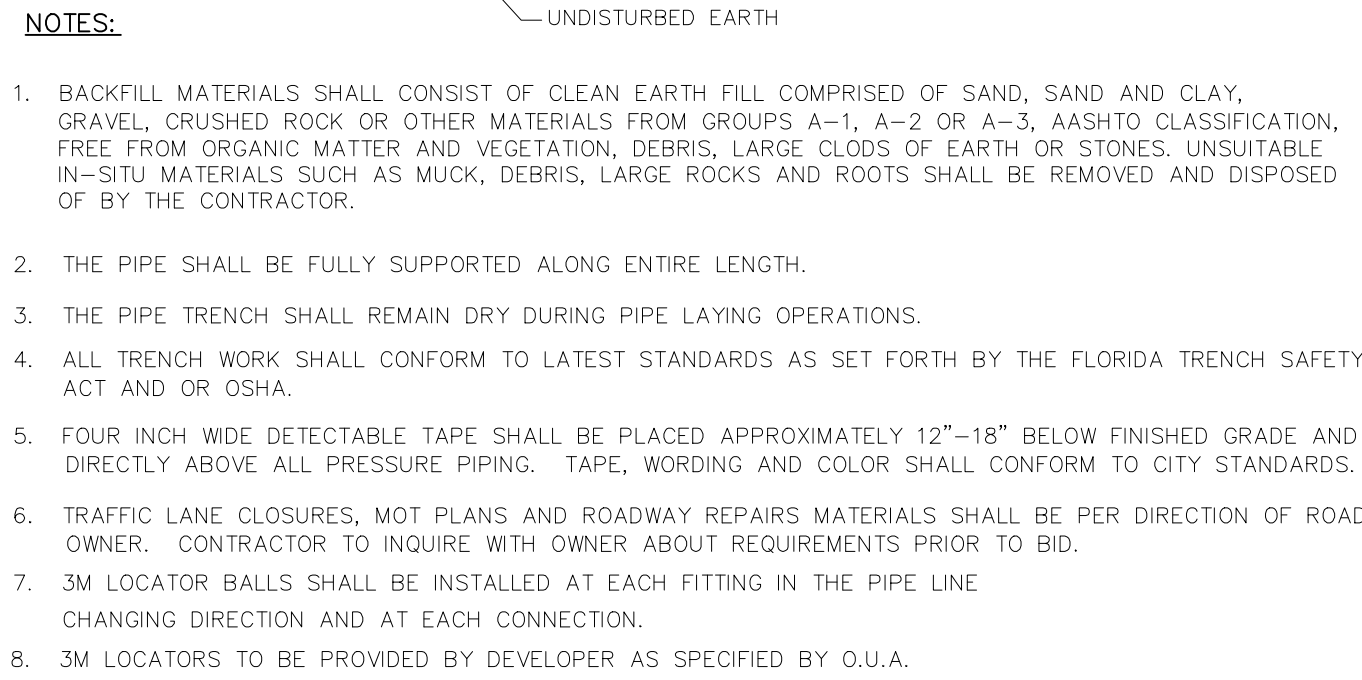


Diagram illustrating a manhole assembly. The assembly consists of an inverted plug flush with a concrete pad (labeled "INVERTED PLUG FLUSH W/ CONCRETE PAD (NON-TRAFFIC AREAS)"), a 2' square, 4" thick, 3000 P.S.I. conc. pad, and an 8" P.V.C. pipe. The pipe is connected to an 8" P.V.C. 90° elbow (labeled "8\" P.V.C. 90° ELBOW (SEWER SWEEP)"). The assembly is shown at the "GRADE" level.

Diagram illustrating a 6" cleanout assembly connection to a street service and a building. The assembly includes a 2" square, 4" thick 3000 P.S.I. conc. pad, a 6" cleanout assembly w/ screwed cap - inverted plug flush w/ concrete pad (non-traffic areas), and a 6" P.V.C. wye. The assembly is shown with arrows indicating flow to street service and to building, and a label for GRADE.

NOTES:

1. ONE WAY CLEANOUT (SWEEP TO STREET SERVICE).
2. CLEAN OUT SHALL BE LOCATED ON RIGHT OF WAY LINE.
3. IN TRAFFIC AREAS A METAL CLEANOUT COVER AND LID SHALL BE INSTALLED OVER PVC CLEANOUT.
4. ALL CLEAN OUT'S REQUIRE AN INSPECTION.

The image contains two technical drawings of sewer service connections, labeled 'PLAN' and 'ELEVATION'.

PLAN View: This drawing shows the top-down layout of the sewer line. It features a vertical main sewer line on the left, indicated by a dashed line and labeled 'C OF MAIN SEWER'. A horizontal service line connects to this main line. Key components and labels include:

- 8" x 6" P.V.C. TEE-WYE:** The connection point where the service line meets the main sewer.
- 6" x 6" x 4" x 4" STD. P.V.C. DOUBLE Y BRANCH:** The branch pipe leading to the house connection.
- 4" MIN. INDIVIDUAL HOUSE CONNECTION:** The pipe entering the building.
- CLEAN-OUT WITH INVERTED PLUG FLUSH WITH CONCRETE:** A clean-out access point on the service line.
- 2' x 2' x 4" CONCRETE PAD:** The base for the clean-out.
- 6" x 6" x 4" x 4" STD. P.V.C. DOUBLE Y BRANCH:** Another branch pipe shown on the right side.
- 8" x 6" P.V.C. TEE-WYE:** Another connection point on the main sewer.
- 6" P.V.C. BEND AS REQUIRED:** A bend in the service line.
- 8" x 6" P.V.C. TEE-WYE:** A second connection point.
- 6" x 4" WYE:** A wye connection for the clean-out.
- CONCRETE PAD:** The base for the clean-out.
- EASEMENT, R/W OR PROPERTY LINE:** Boundary lines are shown with dashed lines.
- TRENCH:** The excavation for the service line.

ELEVATION View: This drawing shows the side profile of the sewer line. It includes:

- 2' x 2' x 4" CONCRETE PAD:** The base for the clean-out.
- CLEAN-OUT WITH INVERTED PLUG FLUSH WITH CONCRETE:** The clean-out access point.
- 3'-0" MIN.:** The minimum depth of the clean-out.
- 6" x 6" x 4" x 4" STD. P.V.C. DOUBLE Y BRANCH:** The branch pipe.
- PLUG & SEAL:** The seal at the end of the clean-out.
- 6" P.V.C. SERVICE LATERAL SLOPE 1/4" PER FOOT TYP. 1/8" PER FOOT MIN.:** The service line with its slope specification.
- 4" 45° BEND:** A 45-degree bend in the service line.
- 6" x 4" WYE:** A wye connection.
- 6" P.V.C. SERVICE LATERAL:** The service line.
- SLOPE 1/4" PER FOOT TYP. 1/8" PER FOOT MIN.:** The slope of the service line.
- TO BE DETERMINED IN THE FIELD (60" MAX.):** A note indicating the maximum length of the service line.
- UNDISTURBED EARTH:** The ground level.
- EASEMENT, R/W OR PROPERTY LINE:** Boundary lines are shown with dashed lines.

NOTES:

1. SERVICE LATERALS SHALL TERMINATE AT PROPERTY LINE AT A DEPTH OF 3 FEET, PLUGGED WATERTIGHT WITH CLEAN-OUT.
2. THE MINIMUM DIAMETER OF ALL SINGLE HOUSEHOLD CONNECTIONS SHALL BE 4" MINIMUM ALL OTHERS SHALL BE 6" AND ALL DOUBLE SERVICES
3. CONNECTION TO O.U.A. LATERAL SHALL BE MADE WITH A CLEAN-OUT AT PROPERTY LINE BY THE CONTRACTOR OR CUSTOMER MAKING THE CONNECTION, WITH A 2"x2"x4" CONCRETE

Diagram illustrating a manhole assembly. The assembly consists of an inverted plug flush with the concrete pad (NON-TRAFFIC AREAS) at the GRADE. The plug is 2' SQUARE, 4" THICK, 3000 P.S.I. CONC. PAD. The pipe is 8" P.V.C. and includes an 8" P.V.C. 90° ELBOW (SEWER SWEEP).

2' SQUARE, 4" THICK
3000 P.S.I. CONC. PAD

6" CLEANOUT ASSEMBLY
W/ SCREWED CAP - INVERTED
PLUG FLUSH W/ CONCRETE PAD
(NON-TRAFFIC AREAS)

6" P.V.C. WYE

TO STREET SERVICE

TO BUILDING

GRADE

NOTES:

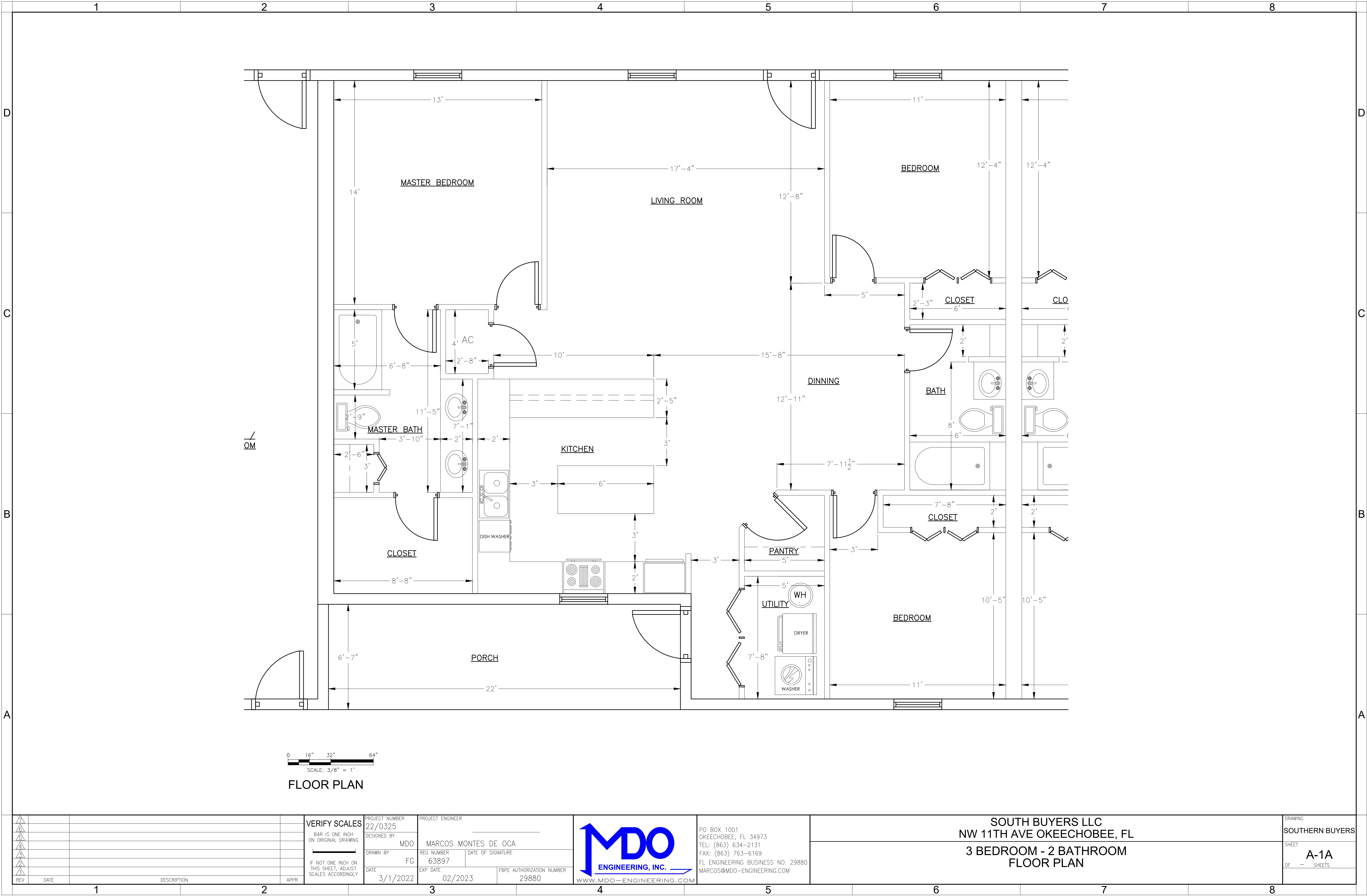
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2. CLEAN OUT SHALL BE LOCATED ON RIGHT OF WAY LINE.
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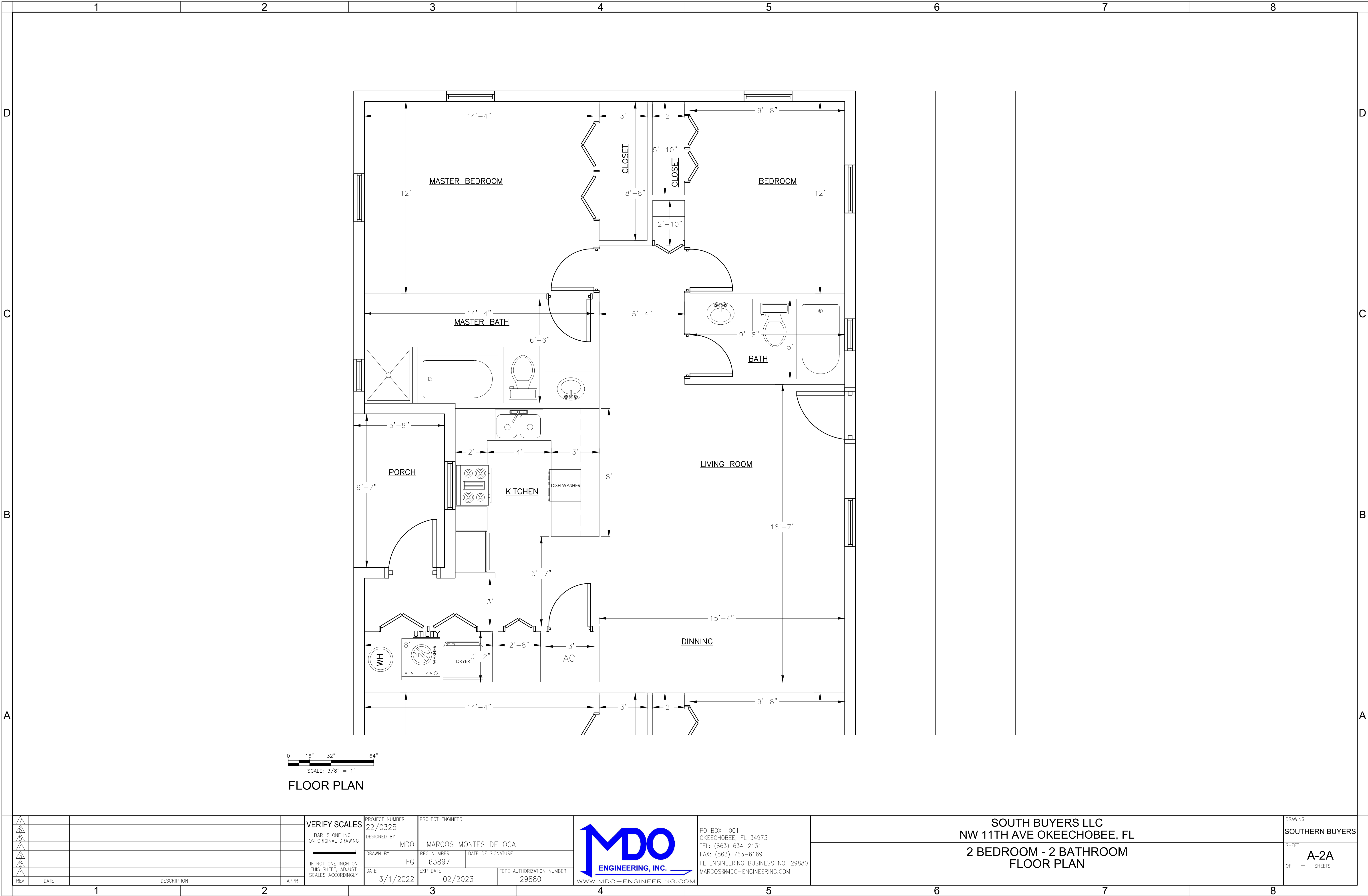
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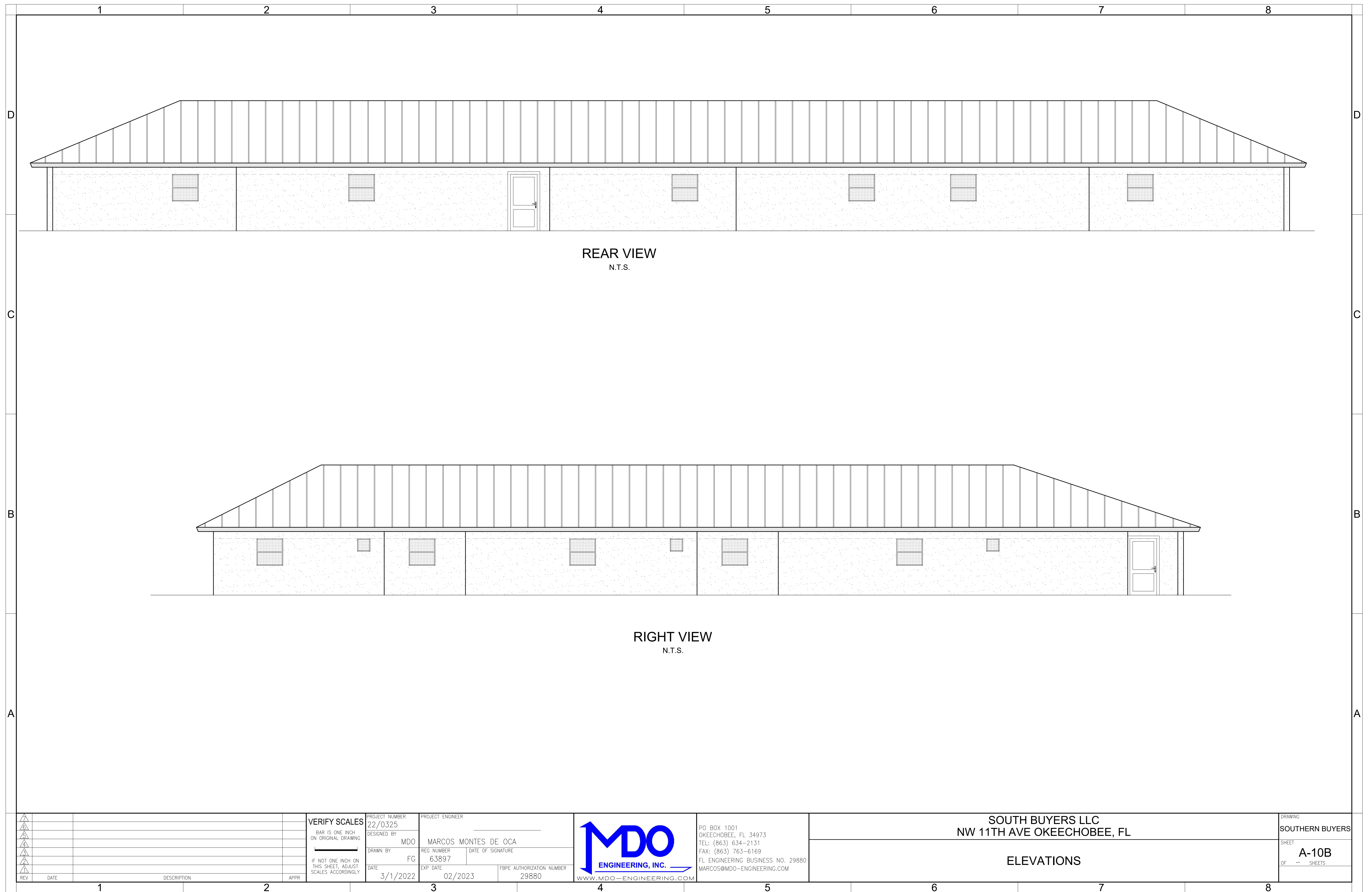
1. PRECAST CONCRETE TYPE II 4000 P.S.I.
2. "RANKEK" OR EQUAL AT ALL RISER JOINTS (1/2" THICK WITH WIDTH AT LEAST 1/2 THE WALL THICKNESS) WITH GROUT INSIDE AND OUTSIDE.
3. ALL OPENINGS SHALL BE SEALED WITH A WATERPROOF NON-SHRINKING GROUT.
4. FLOW CHANNELS SHALL BE CONSTRUCTED TO DIRECT INFLEUNT INTO FLOW STREAM (SEE DETAIL).
5. LIFT HOLES ARE PERMITTED AND SHALL BE SEALED AFTER PLACEMENT OF RISER.
6. ALL PIPE HOLES SHALL BE PRECAST OR CORE-DRILLED.
7. APPROVED RUBBER BOOTS MUST BE USED WITH PVC PIPE.
8. INSIDE DROPS SHALL NOT EXCEED 2.0 FEET.
9. COAT INTERIOR & EXTERIOR WITH 2 COATS OF COAL TAR EPOXY, OR PRO-TECH COATING, 8 mil. MIN. DRY FILM THICKNESS EACH COAT OR OJA APPROVED EQUAL.

UTILITY DETAILS

DWG: C:\Users\felix.granodos\Desktop\Felix\Side\MDO\Southern Buyers Apartments\PLAN SHEETS.dwg Layout Name: D-3 - Plotted by: Felix Granodos Date: 9/1/2022 - 9:21 PM







Engineering Calculations, Supplementary Items,
and Application in support of review by

City of Okeechobee



Site Plan Technical Review

Serving:

Southern Buyers Multi-Family Development

OKEECHOBEE, FLORIDA

Prepared By:



MDO Engineering, Inc.
PO Box 1001
Okeechobee, FL 34973

August 2022

ENGINEER OF RECORD

MARCOS MONTES DE OCA, P.E.
FLORIDA REGISTRATION NO. 63897
CERT. OF AUTHORIZATION NO. 29880



PROJECT DESCRIPTION AND DRAINAGE SUMMARY

This document describes the proposed construction of the Southern Buyers Multifamily development, including paving, drainage, utility and related features. The site features 7 multifamily homes residences with common area.

This permit is the construction of the roadway, parking area, drainage system and related facilities shown on the construction plans. This project conforms to the City of Okeechobee requirements and regulations.

DRAINAGE DESIGN

The project design items will be limited as depicted on the attached construction plans. This total project area is 0.76 acres, which includes a dry detention area, a series of inlets and control structure to discharge to the north of the project. The dry detention area will serve as both water quality treatment and attenuation. The area to be developed is collected via swales or piped towards the detention area, containing a control structure. The control structure discharges to the onsite ditch network. Runoff from the developed area will be treated in the detention basin while the remaining undisturbed/undeveloped area will remain in its natural state. It is important to note, all stormwater is directed to the City's Right of way, in the amount consistent with the pre-development condition. Finish floor elevation have also been determined and the ones utilized are above the calculated ones. The finish floor elevations shown are based upon the City's ordinance of 18 inches above the crown of the roadway.

The surface water management system (SWMS) consists of one onsite drainage basin, which serves the project developable area. Catch basins and culverts will be used along the roadway and yard areas to effectively convey flows to the detention facility. Detailed drawings for these areas are included in the attached construction plans.

EXISTING CONDITIONS:

The project area currently sheet flows towards the roadway swale system along NW 11th Avenue. The proposed condition will reflect the reduced flows in the same direction and manner as in the pre-development conditions and mimic the same location of the existing flows.

PROPOSED CONDITIONS:

The site currently is vacant and unimproved. The proposed SWMS for the site will provide the required amount of water quality treatment, attenuation for the design storm and is anticipated to discharge in quantities that mimic existing conditions, including discharge location.

The developable area consists of building structures, roadway, parking area and open areas. The discharge from the detention facility will be directed into the right of way of NW 11th Street.

The project area is not within the 100-year flood plain.

CONSTRUCTION PLANS:

Construction plans for the site have been included at a construction level for the proposed development. Details for the locations of building, structures and all proposed improvements have been included. Offsite utility locations and connections will follow upon meeting with Okeechobee Utility Authority to insure connection for both potable and sanitary availability.

Project Land Use Breakdown for the site is as follows:

Exhibit E-V.A.1.a				
POST-DEVELOPMENT BASIN CHARACTERISTICS (TOTAL)				
Project Name: Southern Buyers				
Engineer: MDO				
Date: June 11, 2022				
	Building	Pervious	Impervious	Total Area
0.242033976	0.24 acres	0.34 acres	0.18 acres	0.76 acres
Percentage of Onsite Area	32%	45%	23%	100%

Site Characteristics is shown below:

(note site was modeled as a single basin input with one control structure with ADICPR Ver. 3

BASIN CHARACTERISTICS - Basin 1							
Soil Type = Coastal Soil		Southern Buyers					
Soil Condition = Compacted							
Soil storage reduction due to compaction = 75%							
Avg. Depth to Water Table = 5 FEET							
Soil Storage = 32.12 INCHES		(PER SFWMD FLATWOODS SOIL CATEGORY WITH COMPACTION)					
S = 0.242033976		0.24 acres	0.34 acres	0.18 acres	0.76 acres	32.12	0.00
Total Area		0.318465758	0.4488365	0.2	0.2		
Curve Number = 1000 / (S+10) = 100							
DCIA = 0 %							
Time of Concentration = 0.50 hours = 30.0 minutes		Water Quality - 1 inch = 0.06 ac-ft					
	Building / Concrete	Dry Det / Btm	Dry Det / Slopes/Swales	Wetlands	Road	Open Area	Totals
Total Areas (Ac.)	0.24	0.12	0.01	0.00	0.18	0.21	0.76
Bldg. %	32%	15%	1%	0%	23%	28%	100%
Bldg. Area	0.2	0.1	0.0	0.0	0.2	0.2	0.8
Pervious %	0%	0%	50%	50%	0%	100%	--
Pervious Area (Ac.)	0.0	0.0	0.0	0.0	0.0	0.2	0.22
Impervious %	100%	100%	50%	50%	100%	0%	71%
Impervious Area (Ac.)	0.24	0.12	0.01	0.00	0.18	0.00	0.54

Site stage storage table is below:

(site is based on elevations provided by Client)

Computation Type		Stage-Storage								
Starting Stage =		28.00								
Ending Stage =		32.00								
Stage Increment =		0.20								

Control Structure Sizing and weir sizing:

POST-Development Water Quality & Attenuation Calculations									
BASIN 1									
Water Quality Detention Volume									
		Total Area	0.8	acres					
		Building Area	0.2	acres					
		SWMS Impervious Area	0.5	acres					
0.242033976	0.24 acres	0.34 acres	0.18 acres	0.76 acres					
	0.318465758	0.4	0.2323172						
	Impervious Area w/o SWMS Area =	0.4	acres						
	% Impervious =	55%							
Detention Volume is the greater of 1.0" over the entire project or 2.5" x % of impervious area									
	Treatment Method	Dry Detention							
	Percent of Treatment Required	75%							
	1" over the Project Area =	0.06	acre-feet						
	2.5" x % Impervious Area =	0.09	acre-feet						
	Detention Volume Required =	0.07	acre-feet						
	Water Quality Volume Elevation =	FT NAVD							
28	Basin Control Elevation =	FT NAVD							
32									
Discharge Capacities									
Water Quality Discharge					Onsite Contributing Area for Peak Discharge				
Calculated allowable 24-hour average discharge rate based on 1/2 inch per day for the treatment area.					BASIN 1 0.76				
Basin 1 Project Area =	0.12	acres			Total Contributing Area =	0.76			
32	28.00		28		30	28			
					32	29			
		28.2							
Bleeder Shape & Sizing									
Circular Orifice Equation					Orifice Equation				
D =	0.38 ft =	4.6 inches			Q = CA√(2gh)			first inch	
a =	0.11	feet ²						WQ Elev Achieved	
C =	0.25				Weir Equation				
g =	32.20	ft/sec ²			Q = CLH^(3/2)				
h =	-0.19	feet							
Q =	#NUM!	cfs	Utilize min. 3 inch diameter bleeder					Finish Floor Elev Check	
								0.6 ac-ft	
								10 inches x site area	
Peak Discharge Weir Sizing									
Permitted Peak Allowable = 0.080 CFS/AC									
Permitted Peak Allowable Q for Contributing Area = 0.06 CFS									
Due to restricted allowable discharge, bleeder flow only will be utilized for the project.									

ADICPR model inputs:

Basins

Name: Basin1 Node: Basin1 Status: Onsite

Group: BASE Type: SCS Unit Hydrograph CN

Unit Hydrograph: Uh256 Peaking Factor: 256.0

Rainfall File: Storm Duration(hrs): 0.00

Rainfall Amount(in): 0.000 Time of Conc(min): 15.00

Area(ac): 0.760 Time Shift(hrs): 0.00

Curve Number: 76.00 Max Allowable Q(cfs): 999999.000

DCIA(%): 0.00

Nodes

Name: Basin1 Base Flow(cfs): 0.000 Init Stage(ft): 27.000

Group: BASE Warn Stage(ft): 30.000

Type: Stage/Volume

Stage(ft) Volume(af)

28.000	0.0000
28.200	0.0300
28.400	0.0700
28.600	0.1200
28.800	0.1700
29.000	0.2400
29.200	0.3100
29.400	0.3700
29.600	0.4400
29.800	0.5100
30.000	0.5800
30.200	0.6500
30.400	0.7300
30.600	0.8000
30.800	0.8800
31.000	0.9700
31.200	1.0600
31.400	1.1500

31.600	1.2400
31.800	1.3400
32.000	1.4500

Name: offsite	Base Flow(cfs): 0.000	Init Stage(ft): 25.500
Group: BASE	Warn Stage(ft): 0.000	
Type: Time/Stage		

Time(hrs)	Stage(ft)
-----------	-----------

12.00	26.000
24.00	26.000
48.00	26.500
60.00	27.000
72.00	27.000
80.00	26.500

Drop Structures

Name: cs1	From Node: Basin1	Length(ft): 40.00
Group: BASE	To Node: offsite	Count: 1

UPSTREAM	DOWNSTREAM	Friction Equation: Automatic
Geometry: Circular	Circular	Solution Algorithm: Most Restrictive
Span(in): 18.00	18.00	Flow: Both
Rise(in): 18.00	18.00	Entrance Loss Coef: 0.000
Invert(ft): 27.000	27.000	Exit Loss Coef: 1.000
Manning's N: 0.012000	0.012000	Outlet Ctrl Spec: Use dc or tw
Top Clip(in): 0.000	0.000	Inlet Ctrl Spec: Use dc
Bot Clip(in): 0.000	0.000	Solution Incs: 10

Upstream FHWA Inlet Edge Description:

Circular Concrete: Square edge w/ headwall

Downstream FHWA Inlet Edge Description:

Circular Concrete: Square edge w/ headwall

*** Weir 1 of 2 for Drop Structure cs1 ***

TABLE

Count: 1	Bottom Clip(in): 0.000
Type: Horizontal	Top Clip(in): 0.000
Flow: Both	Weir Disc Coef: 3.200
Geometry: Circular	Orifice Disc Coef: 0.600
Span(in): 3.00	Invert(ft): 27.000
Rise(in): 3.00	Control Elev(ft): 27.000

*** Weir 2 of 2 for Drop Structure cs1 ***

TABLE

Count: 1	Bottom Clip(in): 0.000
Type: Horizontal	Top Clip(in): 0.000
Flow: Both	Weir Disc Coef: 3.200
Geometry: Rectangular	Orifice Disc Coef: 0.600
Span(in): 36.00	Invert(ft): 29.500
Rise(in): 99999.00	Control Elev(ft): 0.000

Hydrology Simulations

Name: 25year3day desi

Filename: C:\Users\MDO\Desktop\model\25year3day design.R32

Override Defaults: Yes

Storm Duration(hrs): 72.00

Rainfall File: Sfwmd72

Rainfall Amount(in): 9.00

Time(hrs) Print Inc(min)

72.000 5.00

Routing Simulations

Name: Hydrology Sim:

Filename:

Execute: No Restart: No Patch: No

Alternative: No

Max Delta Z(ft): 1.00

Delta Z Factor: 0.00500

Time Step Optimizer: 10.000

Start Time(hrs): 0.000

End Time(hrs): 0.00

Min Calc Time(sec): 0.5000

Max Calc Time(sec): 60.0000

Boundary Stages:

Boundary Flows:

Time(hrs) Print Inc(min)

999.000 15.000

Group Run

BASE Yes

ADICPR MODEL SUMMARY OUTPUTS FOR DESIGN STORM EVENT:

Name	Simulation	Max Time Stage hrs	Max Stage ft	Max Time Inflow hrs	Max Inflow cfs	Max Time Outflow hrs	Max Outflow cfs
BASIN 1	025Y072H	62.72	28.655	60.20	1.457	62.72	0.270
Offsite	025Y072H	48.02	27.000	62.72	0.270		

Note: minimum 3 inch bleeder utilized in mode and maximum stage is lower than minimum grate elevation onsite, to insure no water discharge to department's right of way.

A maximum stage of 28.7 was reached for the design storm.

The site is proposed to have no roadway or access concerns of rainfall during the design event.

Traffic Generation Analysis

Project Name: Sothern Buyers - City of Okeechobee

Engineer: MYM

Date: 9/2/2022

Directional Breakdown

Project Entrance (@ NW 11th Avenue)			Remaining Direction Trips	A.M. Peak Hour Trips	P.M. Peak Hour Trips	Daily Trips
Leaving Site	Left on NW 11th	50%	5	4	10	
	Right on NW 11th	50%	4	5	10	
Entering Site	Left on NW 11th	50%	5	4	10	
	Right on NW 11th	50%	4	5	10	

40 Trips per day

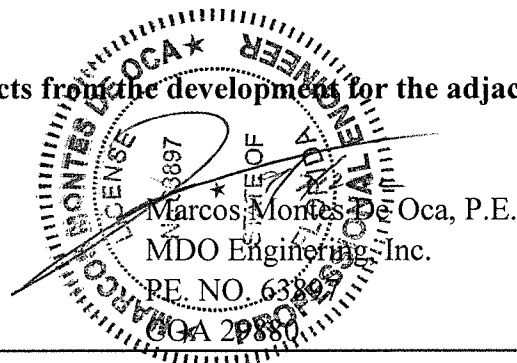
Due to the limited amount of units (7 Proposed)
for both am and pm trips, the addition of another 20% was included
all assumed the entire parking lot is empty within the PEAK HOURS
Daily Trips included parking area being visited 2 times during the day.

The total amount of trips is over stated due to the additional visiting and/or time of return.

The total trips per day are less than acceptabled on NW11th, as the level of service for a local 2 lane roadway is under 10,000 trips per day

Roadway estimated to have 800 maximum trips per day.

There are no expected adverse impacts from the development for the adjacent roadways.



Parking Justification

Project Name: Southern Buyers City of Okeechobee

Engineer: MYM

Date: 9/2/2022

Based upon City of Okeechobee Code Division 3. Section 90-512	Required per Unit	Number of Units	Handicapped Required
Multifamily 2 bedrooms	2	7	1
Total Parking Required		14	1
Total Parking Provided		14	1

Landscape Calculations

18 Square feet of landscaping per required spaces

3,000 square feet required onsite

1 tree per 72 square feet of landscaping

42 Trees required

Based upon City of Okeechobee Sec. 90-533

Please refer to the landscaping plan provided.