



City of Okeechobee
TECHNICAL REVIEW COMMITTEE
55 SOUTHEAST THIRD AVENUE ♦ OKEECHOBEE, FL 34974
February 20, 2020
LIST OF EXHIBITS

Draft Minutes	October 17, 2019 Summary of Committee Action
Applications	Site Plan Review Application No. 20-001-TRC



**DRAFT MINUTES OF THE
TECHNICAL REVIEW COMMITTEE
THURSDAY, OCTOBER 17, 2019, 10:00 A.M.
CITY OF OKEECHOBEE
55 Southeast 3rd Avenue
Okeechobee, Florida 34974**

I. CALL TO ORDER – Chairperson

The October 17, 2019, Technical Review Committee (TRC) meeting was called to order at 10:02 a.m. by Chairperson Montes De Oca.

II. STAFF ATTENDANCE – Secretary

Voting Members:

City Administrator Marcos Montes De Oca – Present
Building Official Jeffery Newell – Absent (with consent)
Fire Chief Herb Smith – Present
Police Chief Robert Peterson – Absent (Major Donald Hagan in attendance)
Public Works Director David Allen – Present

Non-Voting Ex-Officio Members:

City Attorney John R. Cook – Absent (with consent)
City Planning Consultant Ben Smith – Present
City Civil Engineering Consultant – Attendance not requested
County Environmental Health Department Victor Faconti – Absent
OUA Executive Director John Hayford – Present
School District Representative – Absent
Committee Secretary Patty Burnette – Present (Ms. Jackie Dunham, General Services Secretary, in attendance as well)

III. AGENDA – Chairperson

Chairperson Montes De Oca asked whether there were any requests for the addition, deferral or withdrawal of items on today's Agenda. There being none the Agenda stands as published.

IV. MINUTES – Secretary

Public Works Director Allen moved to dispense with the reading and approve the Minutes for the regular meeting held September 19, 2019; seconded by Major Hagan. **Motion carried unanimously.**

V. NEW BUSINESS – Secretary

- A. Site Plan Review Application No. 19-006-TRC, development of a proposed residential apartment complex consisting of 191 apartment units, 191 on-site private storage units and a 2,500 square foot clubhouse on 19.01± unplatted acres located in the 800 to 900 blocks of Southwest 6th Street – Planning Consultant.

Planning Staff Report: Planning Consultant Smith explained the subject property is 19.01 vacant acres located on the north side of Southwest 6th Street between 7th and 10th Avenues. The proposed use is to construct a residential apartment complex. The Applicant has requested a Comprehensive Plan Small Scale Future Land Use Map (FLUM) Amendment, Application No. 19-003-SSA to change the Future Land Use (FLU) on 9.12± acres from Single-Family Residential (SF) to Multi-Family Residential (MF). The remaining 9.89± acres is already designated MF on the FLUM.

V. NEW BUSINESS CONTINUED.

A. Site Plan Review Application No. 19-006-TRC continued.

In addition, a Rezoning Petition No. 19-005-R has been requested for the entire property from Holding to Residential Multiple Family.

The Applicant has provided a letter stating that **potable water and sanitary sewer** disposal services provided by the Okeechobee Utility Authority (OUA) are available and adequate capacity exists to serve the proposed development. Regarding **solid waste** disposal, service will be provided by Waste Management, which has provided a letter stating service is available and adequate capacity exists in the County's solid waste facility to serve the proposed development. Steven L. Dobbs, P.E., has provided a site **drainage** report addressing drainage, water quality, and water quantity, which are being handled through the permitting requirements of the South Florida Water Management District (SFWMD). O'Rourke Engineering & Planning was retained to review the **traffic** analysis submitted by the Applicant and prepared by MacKenzie Engineering & Planning, Inc. The analysis was performed with the assumption that the Southwest 6th Street ingress/egress will be the primary access, and the north entrance on Southwest 2nd Street to be used for emergency purposes only. Should the Applicant not agree to gate off that entrance and use for emergency purposes only, then the traffic impacts to 2nd Street will also need to be studied. Regarding concurrency, the traffic analysis demonstrates that the 1,456 daily trips, 91 AM peak hour trips and 108 PM peak hour trips, will not degrade the level of service in Okeechobee. No turn lanes into the project are required. The internal circulation appears to be adequate, with all aisles and parking and loading spaces meeting the minimum dimensions. The Applicant has not furnished a Fire Truck Circulation Plan. Several loading zones are provided throughout the site at 10 feet by 30 feet with unlimited vertical clearance. A trash compactor is located near the entrance on a circular drive with a loading area providing convenient access for trucks.

The dimensional standards review appears to meet the requirements except for landscaping between parking areas and buildings. Adequate buffer space is provided, though plans do not depict any trees or shrubs in the areas between the buildings and parking areas. In addition, no shrubs are provided in the landscape buffer areas on the southwest, north, and northeast property lines as well as the frontages on the northwest and southeast property lines. Sidewalks are required adjacent to the right-of-way on Southwest 6th Street, although there is a wetland area located in the potential path. A photometric lighting plan has been provided.

In conclusion, Planning Staff is recommending **approval** of the site plan, as submitted, with the following stipulations: provide landscaping between parking areas and buildings; provide shrubs in all landscape buffer areas; and if feasible, provide sidewalk along Southwest 6th Street.

County Environmental Health Department: No issues were received.

OUA: Director Hayford commented plans are needed for water and wastewater.

Public Works: Director Allen discussed as an option to providing a sidewalk on the northside of Southwest 6th Street, to widen the entrance to the facility and provide a crosswalk to the southside of 6th Street with rapid flashing warning signs as well as crosswalk ahead signage.

Police Department: Major Hagan requested security cameras at both the main entrance on Southwest 6th Street and at the emergency exit on Southwest 2nd Street. He also suggested background and credit checks during the application process.

V. NEW BUSINESS CONTINUED.

A. Site Plan Review Application No. 19-006-TRC continued.

Building Official: Building Official Newell was not in attendance but relayed to Secretary Burnette that he had no objections to the project.

Fire Department: Fire Chief Smith inquired about the number of hydrants that would be provided and their location. He will meet with the Applicant's representative, Mr. Dobbs, to coordinate the placement. He requested the roadway coming in at the main entrance on Southwest 6th Street be 20 feet and stripe down to 16 feet minimum lane. He inquired as to whether the storage units were for occupants only and whether they were both sprinkled. He requested signage to be posted for no storage of hazardous materials and suggested a minimum amount of time you would be allowed to park at the storage units, as he had a concern with accessibility in case of emergency. He voiced a concern with losing vertical and horizontal clearance once the landscaping grew. Lastly, he inquired as to whether it was possible to get power gates installed on Southwest 2nd Street for quicker access during medical emergencies.

Chairperson Montes De Oca requested plans to show the turbidity control and hay bales to be placed at the discharge structure on Southwest 6th Street. In addition, plans showing swales around the perimeter to keep water from stacking against the perimeter berm and grading for the entire site. The sidewalk around the lake needs to be kept at a minimum of 20 feet from the top of the bank for maintenance. Adjust the lake slope to five to one. Install a sidewalk along the front property line on Southwest 2nd Street and adjust all internal crosswalks. He requested copies of the permits from the Department of Environmental Protection (DEP) and the SFWMD once they have been obtained. Lastly, the number of dwelling units for the project needs to be reduced from 191 to 190 to be in compliance with City codes.

Mr. Dobbs, Engineer for the project, was present for any questions. He commented the client was hoping to have all the permits submitted by December 15th in the hopes of building sometime next year. He commented this would not be a gated community, the units would be rentals, the storage units would be for occupants only, and they would be accessible by walkup/in at the front location on Southwest 6th Street and by driving to the ones located near 2nd Street. All storage units would be sprinkled and there would be no storage of hazardous materials permitted. He would discuss with the client about installing power gates instead of just regular gates. All islands will be landscaped, and exterior lighting will be provided for security purposes.

Chairperson Montes De Oca asked whether there were any comments or questions from those in attendance from the Public. Mr. Frank Irby, 1385 Southeast 23rd Street, commented he liked the idea of the installation of the crosswalk on Southwest 6th Street to connect to the southside.

Chairperson Montes De Oca asked TRC Members to disclose for the record whether they had spoken to anyone regarding the Application or visited the site. He disclosed he discussed the project with Mr. Dobbs.

A motion and a second was offered by Fire Chief Smith and Public Works Director Allen to approve Site Plan Review Application No. 19-006-TRC, development of a proposed residential apartment complex consisting of 191 apartment units, 191 on-site private storage units and a 2,500 square foot clubhouse on 19.01± unplatted acres located in the 800 to 900 blocks of Southwest 6th Street with the following contingencies:

1. **Provide landscaping between parking areas and buildings.**
2. **Provide shrubs in all landscape buffer areas.**

3. In lieu of sidewalk along north side of Southwest 6th Street, add a crosswalk with rapid flashing warning signs and crosswalk ahead warning signs.
4. Install sidewalk along front property line on the south side of Southwest 2nd Street.
5. Adjust all internal crosswalks.
6. Submit water and wastewater plans.
7. Submit copies of permits from the DEP and the SFWMD once they have been obtained.
8. Submit plans showing swales around perimeter to keep water from stacking against perimeter berm.
9. Submit plans showing turbidity control and place hay bales at discharge structure on Southwest 6th Street.
10. Expand the entrance on Southwest 6th Street to 20 feet and stripe down to 16 feet minimum lane.
11. Keep sidewalks around the lake at a minimum of 20 feet from the top of the bank for maintenance.
12. Submit plans showing grading for the entire site.
13. Coordinate with Fire Chief Smith concerning placement of fire hydrants.
14. Install signage that indicates no storage of hazardous material in storage units.
15. Reduce the number of dwelling units from 191 to 190 to comply with the maximum density requirements allowed.
16. Access to Southwest 2nd Street to be gated with Knox lock for emergency purposes.
17. Install security cameras at both entrances.
18. The Police Department suggests background and credit checks for security purposes as part of the application process.

Motion carried unanimously.

VI. ADJOURNMENT– Chairperson.

There being no further items on the Agenda, Chairperson Montes De Oca adjourned the Technical Review Committee meeting at 10:47 a.m.

PLEASE TAKE NOTICE AND BE ADVISED that any person desiring to appeal any decision made by the Technical Review Committee with respect to any matter considered at this proceeding, such interested person will need a record of the proceedings, and for such purpose may need to ensure a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. General Service's media are for the sole purpose of backup for official records of the Department.

ATTEST:

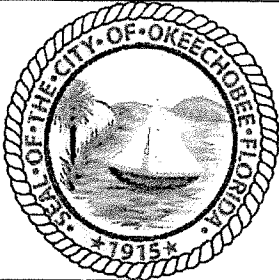
Marcos Montes De Oca, Chairperson

Patty M. Burnette, Secretary

CITY OF OKEECHOBEE

Application for Site Plan Review

Page 1 of 3

	<p>City of Okeechobee General Services Department 55 S.E. 3rd Avenue, Room 101 Okeechobee, Florida 34974 Phone: (863) 763-3372, ext. 9820 Fax: (863) 763-1686 E-mail: pburnette@cityofokeechobee.com</p>	Date Received <u>12-13-19</u>
		Application No. <u>20-001-TRC</u>
		Fee Paid: <u>1077.40 OK# 011538</u>
		Receipt No. <u>49683</u>
		Hearing Date: <u>2-20-20</u>
APPLICANT INFORMATION		
1	Name of property owner(s): <u>Bravoflorida, LLC</u>	
2	Owner mailing address: <u>4220 Edison Lakes Parkway, Mishawaka, IN 46545</u>	
3	Name of applicant(s) if other than owner: <u>SAME</u>	
4	Applicant mailing address:	
5	Name of contact person (state relationship): <u>Robin Kendall - Dir of Engineering Design</u>	
6	Contact person daytime phone(s) and email address: <u>813 559-8256 rkendall@qdi.com</u>	
7	Engineer: Name, address, phone number and email address: <u>Carlos A. Solis, P.E. #42758 PO Box 431764, Big Pine Key, FL. 33043-1764 813.426.4880 cas58@earthlink.net</u>	
8	Surveyor: Name, address, phone number and email address: <u>David Briggs, PSM 5890 406 SW Rutledge Street, Madison FL. 32340 850.973.6166 thompsonsurveying@earthlink.net</u>	
PROPERTY and PROJECT INFORMATION		
9	Property address/directions to property: <u>604 NE Park St, Okeechobee, FL 34972</u>	
10	Parcel Identification Number <u>3-21-37-35-0020-02520-00A0 & 3-21-37-35-0020-02520-00A1</u>	
11	Current Future Land Use designation: <u>Commercial & SF Residential</u>	
12	Current Zoning district: <u>Heavy Commercial (CHV)</u>	
13	<p>Describe the project including all proposed uses, type of construction and conceptual building layout, how the business or use is expected to operate on the site, including but not limited to: number of employees expected; hours of operation; location, extent and type of any outdoor storage or sales, etc., and fire flow layout. Use additional page if necessary.</p> <p><u>Bravoflorida, LLC is proposing to redevelop the Burger King restaurant at 604 NE Park St in the City of Okeechobee. A New 3,910 SF Restaurant with double drive-thrus, and associated site improvements will be constructed. The proposed Construction Type will be VB. A proposed Double Dumpster Enclosure with outdoor storage is attached to the building. No Change in Use is proposed. The restaurant will operate 16 hours a day, with approx. 8 employees per shift. The Proposed Building will NOT be sprinkled.</u></p>	
14	<p>Describe existing improvements on property (for example, the number and type of buildings, dwelling units, occupied or vacant, etc.). Use additional page if necessary.</p> <p><u>The Existing Burger King restaurant and all existing Site Improvements will be removed and replaced.</u></p>	
15	Total land area in square feet (if less than two acres): _____ or acres: <u>2.58</u>	
16	Is proposed use different from existing or prior use <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

CITY OF OKEECHOBEE
Application for Site Plan Review

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17	Number and description of phases: 2 Phases. Phase 1 - Burger King redevelopment Phase 2 - Future Commercial
18	Source of potable water: Okeechobee Utility Authority
19	Method of sewage disposal: Okeechobee Utility Authority - Gravity service

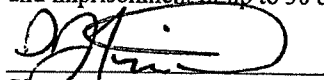
ATTACHMENTS REQUIRED FOR ALL APPLICATIONS

✓ 20	Applicant's statement of interest in property.
✓ 21	One (1) copy of last recorded warranty deed.
✓ 22	Notarized letter of consent from property owner (if applicant is different from property owner).
✓ 23	Three (3) sealed boundary and topographic, "as is" surveys (one to be no larger than 11 x 17) of the property involved including: a. Certified boundary survey, date of survey, surveyor's name, address and phone number b. Legal description of site and parcel number c. Computation of total acreage to nearest tenth of an acre
✓ 24	Two (2) sets of aerials of the site.
✓ 25	Eleven (11) copies of sealed site plan drawings (see attached checklist for details of items to be included).
✓ 26	Eleven (11) copies of drawing indicating facades for all buildings, including architectural elevations.
✓ 27	Eleven (11) copies of landscape plan, including a separate table indicating the number of trees and shrubs by type and showing both the official and common name of each type of tree and shrub.
✓ 28	Eleven (11) copies of photometric lighting plan (see Code of Ordinances & LDR's Section 78-71(A)(5)).
✓ 29	Three (3) copies of sealed drainage calculations.
✓ 30	Attach a Traffic Impact Study prepared by a professional transportation planner or transportation engineer, if the rezoning or proposed use will generate 100 or more peak hour vehicle trip ends using the trip generation factors for the most similar use as contained in the Institute of Transportation Engineers most recent edition of <u>Trip Generation</u> . The TIA must identify the number of net new external trips, pass-bay calculations, internal capture calculations, a.m. and p.m. peak hour trips and level of service on all adjacent roadway links with and without the project.
✓ 31	USB flash drive of application and attachments.
✓ 32	Nonrefundable application fee: \$1,000.00 plus \$30.00 per acre. NOTE: Resolution No. 98-11 Schedule of Land Development Regulation Fees and Charges – When the cost for advertising, publishing and mailing notices of public hearings exceeds the established fee, or when a professional consultant is hired to advise the City on the application, the applicant shall pay the actual costs.

NOTE: Submissions will be reviewed by the General Services Coordinator and City Planner for all necessary documentation. The Applicant will be notified at least 10 days prior to the TRC meeting whether or not additional information is required to proceed or if the review will be rescheduled to the next TRC meeting.

Confirmation of Information Accuracy

I hereby certify that the information in this application is correct. The information included in this application is for use by the City of Okeechobee in processing my request. False or misleading information may be punishable by a fine of up to \$500.00 and imprisonment of up to 30 days and may result in the summary denial of this application.


 Signature

DJ Fitzpatrick
 Printed Name

12/17/19
 Date

For questions relating to this application packet, call the General Services Dept. at (863) -763-3372, Ext. 9820

CITY OF OKEECHOBEE
Application for Site Plan Review
City of Okeechobee
Checklist for Site Plan Review

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REQUIRED INFORMATION	
1	Completed application (1)
2	Map showing location of site (may be on the cover sheet of site plan)
3	Nine (9) copies of sealed site plan drawings with the scale, legend, and author block on 11" by 17" sheet prepared at a scale no less than one inch equals 20 feet & Two (2) copies on 24" by 36" sheet prepared at a scale no less than one inch equals 60 feet, or in the case of small projects, the largest scale that can accommodate the entire site and all areas within 50 feet of the project boundary. The site plan drawings shall include the location of all existing and proposed improvements, including, but not limited to:
	3.1 Water courses, water bodies, floodplains, wetlands, important natural features and wildlife areas, soil types, protected trees and vegetation or environmentally sensitive areas
	3.2 Streets, sidewalks, property lines and rights-of-way
	3.3 Utility lines/facilities, fire hydrants, septic tanks and drainfields
	3.4 Bridges, culverts and stormwater management facilities
	3.5. Buildings and structures and their distances from boundaries of the property, streets, and other structures
	3.6 Setback lines and required yards
	3.7 Ingress and egress to the site and buildings
	3.8 Vehicular use areas including off-street parking and loading areas
	3.9 On-site recreation and open space
	3.10 Landscaping, screens, buffers, walls, and fences,
	3.11 Method of solid waste collection and locations of and access to dumpsters
	3.12 Lighting and signs (location, number, size and type of signs)
4	Drawing notes and tabulations showing the following information shall be included along with the plan:
	4.1 Name, address and phone number of owner
	4.2 Name, address and phone number of any agent, architect, engineer and planner
	4.3 Compete legal description of the property
	4.4 Future land use designation, current zoning and existing land use of the property and all abutting properties
	4.5 Total acreage of the property (square footage if less than two acres)
	4.6 Total # of dwelling units, by bedroom size; square footage of nonresidential uses by type of use (and/or seating, etc. as necessary to indicate the intensity)
	4.7 Number of off-street parking spaces provided (including handicapped spaces) and loading spaces and the calculation of, and basis for, the number of such spaces required by the Land Development Regulations
	4.8 Impervious surface calculations showing: the square footage and as a % of the total site for existing impervious surfaces, additional proposed impervious surfaces and the resulting proposed total impervious surfaces



Burger King® • Chili's® • Spageddiessm • Papa Vinos® • blue2OTM

December 13, 2019

Ms. Patty M. Burnette
General Services Coordinator
City of Okeechobee
55 SE 3rd Avenue
Okeechobee, FL 34974

Re: Burger King #6400 – Application for Site Plan Review

Address: 604 NE Park St, Okeechobee, FL 34972

Parcels: 3-21-37-35-0020-02520-00A0;
and 3-21-37-35-0020-02520-00A1

Dear Ms. Burnette:

Bravoflorida, LLC is proposing to redevelop the existing Burger King restaurant at 604 NE Park St in the City of Okeechobee. A New 3,910 SF Restaurant with double drive-thrus, and associated site improvements will be constructed. The Existing restaurant and all existing Site Improvements will be removed and replaced.

Attached for your review and approval is the Application for Site Plan Review and the required supporting documents. Please let us know if you have any questions or require further information to facilitate your review and approval.

Sincerely,

Robin Kendall
Quality Dining, Inc.
3018 U.S. Highway 301 N.
Suite 100
Tampa, Florida 33619
rkendall@qdi.com
(o) 813.559.8256
(c) 813.690.4913

Cc: Carlos A. Solis, P.E.

APPLICANT'S STATEMENT OF INTEREST

Bravoflorida, LLC currently owns the 1.32 Acre property at 604 NE Park Street in Okeechobee Florida (3-21-37-35-0020-02520-00A0); and is under Contract to Purchase the Vacant 1.26 Acre property to the South along SE 6th Avenue (3-21-37-35-0020-02520-00A1) from Look There, Inc.

The Existing Burger King Restaurant and Improvements will be demolished and rebuilt. The vacant parcel along SE 6th Avenue is proposed to be Future Commercial.

#21

FILE NUM 2019000375
OR BK 818 PG 923
SHARON ROBERTSON, CLERK & COMPTROLLER
OKEECHOBEE COUNTY, FLORIDA
RECORDED 01/10/2019 02:23:57 PM
AMT \$543,209.00
RECORDING FEES \$44.00
DEED DOC \$3,803.10
RECORDED BY F Conner
Pgs 923 - 927; (5 pgs)

PREPARED BY AND RETURN TO:

Gary A. Gibbons, Esq.
Gibbons | Neuman
3321 Henderson Blvd.
Tampa, Florida 33609

BK # 6400
Tax Account No.: 3-21-37-35-0020-02520-00A0

SPECIAL WARRANTY DEED

8 THIS SPECIAL WARRANTY DEED is made and delivered effective as of January 2019, by and between **SOUTHERN MANAGEMENT CORPORATION, a Florida corporation**, as Grantor, whose mailing address is 324 S.W. 16TH Street, Belle Glade, FL 33430, and **BRAVOFLORIDA, LLC, an Indiana limited liability company**, as Grantee, whose mailing address is 4220 Edison Lakes Parkway, Mishawaka, IN 46545. (All references to the parties herein shall include their successors and assigns).

WITNESSETH: That Grantor, for and in consideration of the sum of Ten and No/100 Dollars (\$10.00) to it in hand paid by Grantee, the receipt of which is hereby acknowledge, has granted, bargained, and sold and conveyed to Grantee, and its successors and assigns, all of the Grantor's right, title and interest in and to the real property (the "Property") situated in **Okeechobee County, Florida**, legally described on **Exhibit "A"** attached hereto and by this reference is incorporated herein.

TO HAVE AND TO HOLD the Property, with all improvements thereon, unto Grantee, and its successors and assigns, in fee simple forever.

AND Grantor does hereby warrant to Grantee that the Property is free from all liens and encumbrances except those Permitted Encumbrances listed on **Exhibit "B"** attached hereto and by this reference incorporated herein, without re-imposing the same.

AND Grantor does hereby specially warrant the title to the Property, and will defend the same against the lawful claims of all persons whomsoever claiming by, through, or under the Grantor.

Signed, Sealed and Delivered
in the Presence of:

**SOUTHERN MANAGEMENT
CORPORATION, a Florida corporation**

(Witness 1 - Signature) [Signature]
(Witness 1 - Printed Name) George M. Royal
(Witness 2 - Signature) [Signature]
(Witness 2 - Printed Name) Linda DeVito

By: [Signature]
George M. Royal, President

(Corporate Seal)

STATE OF FLORIDA
COUNTY OF Palm Beach

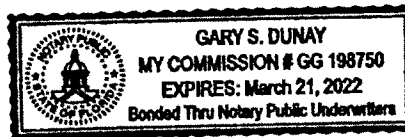
The foregoing instrument was acknowledged before me on January 7, 2019, by
GEORGE M. ROYAL, as the President of **SOUTHERN MANAGEMENT CORPORATION**, a
Florida corporation, who acknowledged that he executed the same for and on behalf of
SOUTHERN MANAGEMENT CORPORATION, a Florida corporation, and, who is:
personally known to me or who has provided a Florida driver's license as identification
(check one).

(Signature)

(Type or Print Name)

My Commission Expires:

My Commission Number is:



**EXHIBIT A
LEGAL DESCRIPTION**

BK # 6400

All that parcel of land lying South of State Road #70 (North Park Street), West of Taylor Creek, East of S.E. 6th Avenue (Meridith Avenue), as now constructed and maintained, and North of the South line of Lot "D", Block 252, according to the Plat thereof as recorded in Plat Book 2, page 4, public records of Okeechobee County, Florida. Lying in Sections 15 and 22, Township 37 South, Range 35 East, being more particularly described as follows:

Commence at the Southwest corner of said Section 15, bear N 00°05'11" W to the centerline of State Road #70 (North Park Street), a distance of 60.96 feet;

Thence bear N 89°54'49" E along the said centerline of S.R. #70 (North Park Street) to the intersection with the southerly extension of the centerline of N.E. 6th Avenue, a distance of 1479.53 feet; Thence bear S 00°05'11" E to the South right-of-way line of S.R. #70 (North Park Street) as now maintained and located, a distance of 49.44 feet;

Thence bear S 89°50'26" E along the said South right-of-way line of S.R. #70 (North Park Street), a distance of 20.00 feet to the POINT OF BEGINNING;

Thence continue S 89°50'26" E along the South right-of-way line of S.R. # 70 (North Park Street), a distance of 30.35 feet;

Thence bear S 86°39'10" E along the South right-of-way line of S.R. #70 (North Park Street), a distance of 200.35 feet;

Thence bear N 89°54'49" E along the South right-of-way line of S.R. #70 (North Park Street) to the intersection with the top of bank of Taylor Creek, a distance of 202.00 feet;

Thence southwesterly along the top of bank of Taylor Creek to the intersection with the South line of said Lot "D", Block 252. Said intersection point bears S 33°04'49" W, a distance of 589.54 feet from aforesaid point on the South right-of-way line of S.R. #70 (North Park Street);

Thence bear S 89°54'49" W along the South line of said Lot "D" to the East right-of-way line of S.E. 6th Avenue, a distance of 167.00 feet;

Thence bear N 00°09'25" W along the East right-of-way line of S.E. 6th Avenue, a distance of 200.00 feet to the Northwest corner of Lot "A", of said Block 252;

Thence bear N 18°43'43" E along the said East right-of-way line of S.E. 6th Avenue, a distance of 179.75 feet;

Thence bear N 00°10'06" W along the East right-of-way line of S.E. 6th Avenue as now maintained, a distance of 135.48 feet to the POINT OF BEGINNING.

LESS AND EXCEPT that part conveyed to Look There, Inc., a Florida corporation, by Warranty Deed recorded July 14, 2005 in Official Records Book 570, Page 59, of the Public Records of Okeechobee County, Florida.

All the above being more particularly described as follows:

AS SURVEYED LEGAL DESCRIPTION:

COMMENCE at the Southwest corner of Section 15, Township 37 South, Range 35 East, Okeechobee County, Florida; thence North 00°05'11" West along the east line of said Section 15 a distance of 60.96 feet; thence North 89°54'49" East a distance of 1479.53 feet; thence South 00°05'11" East a distance of 49.44 feet; thence South 89°50'26" East a distance of 20.00 feet to a nail and cap marking the intersection of S.E. 6th Avenue (Variable width right of way) with the Southerly right of way of N.E. Park Street (Variable width right of way) and the POINT OF BEGINNING of the following described parcel: thence along said Southerly right of way line the following courses: South 89°50'32" East a distance of 30.35 feet to a nail and cap; thence South 86°39'10" East a distance of 200.09 feet to a nail and cap; thence North 89°55'05" East a distance of 202.00 feet to a rebar marking the intersection of said Southerly right of way line with the Westerly Top of Bank of Taylor Creek; thence South 68°37'28" West along said Top of Bank a distance of 118.73 feet to a rebar; thence South 41°51'32" West along said Top of Bank a distance of 119.23 feet to a rebar; thence South 17°13'13" West along said Top of Bank a distance of 32.71 feet to a rebar; thence South 48°47'42" West along said Top of Bank a distance of 46.99 feet to a rebar; thence North 89°47'26" West a distance of 221.17 feet to a rebar on the aforesaid Easterly right of way of S.E. 6th Avenue; thence North 18°50'29" East along said Easterly right of way line a distance of 74.76 feet to a rebar, thence North 00°02'22" East a distance of 134.19 feet to the POINT OF BEGINNING.

EXHIBIT "B"

Permitted Encumbrances

1. General or special taxes and assessments required to be paid in the year 2019 and subsequent years, which are not yet due and payable.
2. Easement in favor of Florida Power & Light Company recorded in Official Records Book 240, Page 421, of the Public Records of Okeechobee County, Florida, and shown on that certain Survey prepared by Briggs, Washington & Thompson Land Surveying, Inc., dated August 13, 2018, and last revised November 20, 2018 under Job Order No: 18-173.
3. The following matters as shown on that certain Survey prepared by Briggs, Washington & Thompson Land Surveying, Inc., dated August 13, 2018, and last revised January 3, 2019 under Job Order No: 18-08-15-02002:
 - a. Curbing and pavement encroach into the parking and driveway setback by 9.6 feet.



This instrument was prepared by:
Return to:
James M. Gann, P. A.
P. O. Box 1596
Belle Glade, Fl. 33430

FILE NUM 2005015505
OR BK 00570 PG 0059
SHARON ROBERTSON, CLERK OF CIRCUIT COURT
OKEECHOBEE COUNTY, FL
RECORDED 07/14/2005 12:07:43 PM
RECORDING FEES 18.50
DEED DOC 2,450.00
RECORDED BY G Mewbourn

Property Appraiser's
Parcel Identification No.
R-3-21-37-35-0020-02520-00A0

WARRANTY DEED
(STATUTORY FORM - SECTION 689.02, F.S.)

This Indenture, made this 6th day of JULY 2005, Between

SOUTHERN MANAGEMENT CORPORATION, a Florida corporation

whose post office address is 324 S. W. 16th Street, Belle Glade, Florida, 33430
of the County of Palm Beach, State of Florida, grantor*, and

LOOK THERE, INC., a Florida corporation

whose post office address is 5205 Babcock Street, N. E., Palm Bay, Florida, 32905
of the County of Brevard, State of Florida, grantee*,

Witnesseth that said grantor, for and in consideration of the sum of (\$10.00)

Ten and no/100-----Dollars,
and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted,
bargained and sold to the said grantee, and grantee's heirs and assigns forever. the following described land, situate, lying and being in Okeechobee
County, Florida, to-wit:

See Exhibit "A" attached hereto and made a part hereof.

Subject to restrictions, reservations and easements of record and taxes subsequent to December 31, 2004.

and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

*"Grantor" and "grantee" are used for singular or plural, as context requires.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Maria G. Bushee
(First Witness)
Printed name: MARIA G. BUSHEE
Elizabeth A. Simmons
(Second Witness)
Printed name: ELIZABETH A. SIMMONS

SOUTHERN MANAGEMENT CORPORATION

By: John C. Royal
Its Vice President, John C. Royal

STATE OF FLORIDA
COUNTY OF PALM BEACH

The foregoing instrument was acknowledged before me this 6 day of July, 2005, by John C. Royal,
Vice President, of Southern Management Corporation, on behalf of the corporation. He is personally known to me or produced
as identification.

My commission expires:

Elizabeth A. Simmons
Notary Public
Printed, typed, or stamped name ELIZABETH A. SIMMONS



Elizabeth A. Simmons
Commission # DD350497
Expires July 12, 2007
Bonded Troy Felt - Insurance, Inc. 800-365-7019

EXHIBIT "A"

Being a portion of that certain parcel of land as described in O. R. Book 29, page 1831, of the Public Records of Okeechobee County, Florida, being bounded on the North by the North Right-of-Way line of the now abandoned Florida East Coast Railroad, on the East by the West top of bank of Taylor Creek, on the West by the East Right-of-Way line of S. E. 6th Avenue (Meredith Avenue), as now constructed and maintained, and on the South by the South boundary line of Lot "D", Block 252, according to the plat thereof as recorded in Plat Book 2, page 4, Public Records of Okeechobee County, Florida, lying in Section 22, Township 37 South, Range 35 East, and being more particularly described as follows: Commence at the Northwest corner of said Section 22, thence bear North 00°05'11" West for a distance of 60.96 feet to the intersection with the centerline of State Road 70 (North Park Street), thence bear North 89°54'49" East, along said centerline of S. R. 70, for a distance of 1479.53 feet to the intersection with the centerline of N. E. 6th Avenue extended South; thence bear South 00°05'11" East, along said centerline extension for a distance of 49.44 feet to the intersection with the said South Right-of-Way line of S. R. 70, a snow maintained and located; thence bear South 89°50'26" East, along said South Right-of-Way line, for a distance of 20.00 feet to the Point of Intersection with the said East Right-of-Way line of S. E. 6th Avenue. Said point being also the Northwest corner of said O. R. Book 297, page 1831; thence bear South 00°10'06" East, along said East Right-of-Way line, and along the West boundary line of said O. R. Book 297, page 1831, for a distance of 135.48 feet to a point; thence bear South 18°42'16" West, continuing along said East Right-of-Way line, and along said West boundary line for a distance of 74.52 feet to the Point of Beginning; thence continue South 8°42'16" West along said East Right-of-Way line and along said West boundary line for a distance of 105.63 feet to a point; thence bear South 00°09'40" East, continuing along said East Right-of-Way line and along said West boundary line for a distance of 199.74 feet to the Southwest corner of said Lot "D", Block 252; thence bear North 89°54'49" East, along the South boundary line of said Lot "D", Block 252, for a distance of 155.23 feet to the intersection with the said West top of bank of Taylor Creek; thence bear North 05°09'40" East, along said West top of bank, for a distance of 50.87 feet to a point; thence bear North 13°08'59" East, continuing along said West top of bank, for a distance of 155.88 feet to a point; thence bear North 26°23'32" East, continuing along said West top of bank for a distance of 81.04 feet to a point; thence bear North 43°06'26" East, continuing along said West top of bank for a distance of 34.03 feet to the intersection with the said North Right-of-Way line of the now abandoned Florida East Coast Railroad; thence bear South 89°54'49" West, along said North Right-of-Way line, for a distance of 221.23 feet to the Point of Beginning.

Containing 1.26 acres, more or less, and being subject to any and all easements, restrictions, reservations and/or rights of way of record, if any.

OWNER'S AFFIDAVIT DESIGNATING
REPRESENTATION FOR:

Property located at
101 SE 6th Avenue, Okeechobee, FL

STATE OF FLORIDA

COUNTY OF Okeechobee

Before me this day personally appeared DAVID M. CONLON of Look There, Inc. ("Look There"), who hereby proclaims that Look There is the owner of the property and does hereby authorize Bravoflora, LLC to act as the legal representative of the property with regard to the processing of all applicable development permits as they relate to the development and construction of a Burger King Restaurant located at 101 SE 6th Avenue, Okeechobee, FL. Such permits will include site and building permitting, any special exception permits required, Southwest Florida Water Management District, Public Health Department and the Florida Department of Environmental Protection.



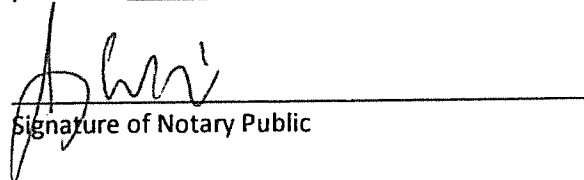
Signature of Owner/Developer

Look There, Inc.
Print Name and Address of Owner/Developer

1201 South Parrott Avenue

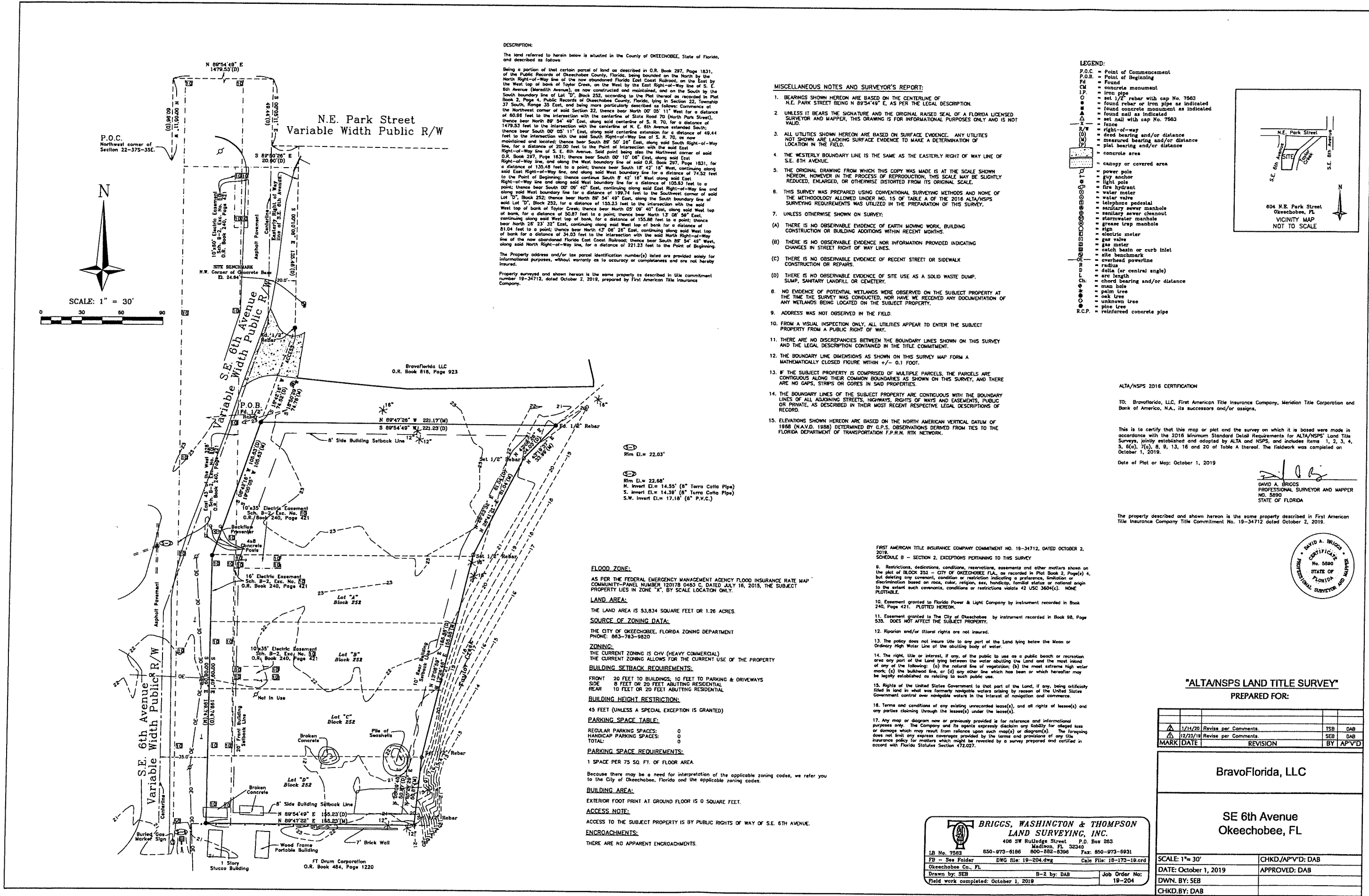
Okeechobee, FL 34974

The foregoing instrument was acknowledged before me on this 9th day of December, 2019, by DAVID M. CONLON, who is personally known to me or who has produced FL Driver License, as identification and who did/did not take an oath.



Signature of Notary Public





DESCRIPTION:

The land referred to herein below is situated in the County of OKEECHOBEE, State of Florida, and described as follows:

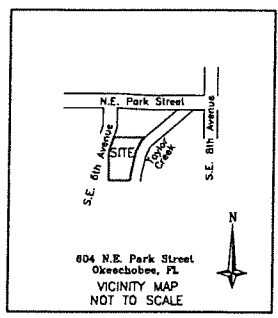
Being a portion of that certain parcel of land as described in O.R. Book 297, Page 1831, of the Public Records of Okeechobee County, Florida, being bounded on the North by the North Right-of-Way line of the now abandoned Florida East Coast Railroad, on the East by the West top of bank of Taylor Creek, on the West by the East Right-of-Way line of S. E. 6th Avenue (Meridian Avenue), on the South by the South boundary line of Lot "D", Block 252, according to the Plat thereof as recorded in Plat Book 2, Page 4, Public Records of Okeechobee County, Florida, lying in Section 22, Township 37 South, Range 35 East, and being more particularly described as follows: Commence at the Northwest corner of said Section 22, thence bear North 00° 05' 11" West for a distance of 60.86 feet to the intersection with the centerline of State Road 70 (North Park Street), thence bear North 89° 54' 49" East, along said centerline of S. E. 6th Avenue, for a distance of 1479.53 feet to the intersection with the centerline of N. E. 6th Avenue extended South; thence bear South 00° 05' 11" East, along said centerline extension for a distance of 49.44 feet to the intersection with the said South Right-of-Way line of S. E. 6th Avenue, as now maintained and located; thence bear South 89° 50' 28" East, along said South Right-of-Way line, for a distance of 20.00 feet to the Point of Intersection with the said East Right-of-Way line of S. E. 6th Avenue. Said point being also the Northwest corner of said O.R. Book 297, Page 1831; thence bear South 00° 10' 06" East, along said East Right-of-Way line, and along the West boundary line of said O.R. Book 297, Page 1831, for a distance of 135.48 feet to a point; thence bear South 18° 42' 18" West, continuing along said East Right-of-Way line, and along said West boundary line for a distance of 74.52 feet to the Point of Beginning; thence continue South 18° 42' 18" West along said East Right-of-Way line and along said West boundary line for a distance of 105.83 feet to a point; thence bear South 00° 09' 40" East, continuing along said East Right-of-Way line and along said West boundary line for a distance of 199.74 feet to the Southwest corner of said Lot "D", Block 252; thence bear North 89° 54' 49" East, along the South boundary line of said Lot "D", Block 252, for a distance of 130.23 feet to the intersection with the said West top of bank of Taylor Creek; thence bear North 05° 09' 40" East, along said West top of bank, for a distance of 50.87 feet to a point; thence bear North 13° 08' 56" East, continuing along said West top of bank, for a distance of 155.88 feet to a point; thence bear North 28° 23' 32" East, continuing along said West top of bank for a distance of 81.04 feet to a point; thence bear North 43° 06' 26" East, continuing along said West top of bank for a distance of 34.03 feet to the intersection with the said North Right-of-Way line of the now abandoned Florida East Coast Railroad; thence bear South 89° 54' 49" West, along said North Right-of-Way line, for a distance of 221.23 feet to the Point of Beginning.

The Property address and/or tax parcel identification number(s) listed are provided solely for informational purposes, without warranty as to accuracy or completeness and are not hereby insured.

Property surveyed and shown hereon is the same property as described in title commitment number 19-34712, dated October 2, 2019, prepared by First American Title Insurance Company.

- MISCELLANEOUS NOTES AND SURVEYOR'S REPORT:**
- BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF N.E. PARK STREET BEING N 89°54'49" E, AS PER THE LEGAL DESCRIPTION.
 - UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER, THIS DRAWING IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.
 - ALL UTILITIES SHOWN HEREON ARE BASED ON SURFACE EVIDENCE. ANY UTILITIES NOT SHOWN ARE LACKING SURFACE EVIDENCE TO MAKE A DETERMINATION OF LOCATION IN THE FIELD.
 - THE WESTERLY BOUNDARY LINE IS THE SAME AS THE EASTERLY RIGHT OF WAY LINE OF S.E. 6TH AVENUE.
 - THE ORIGINAL DRAWING FROM WHICH THIS COPY WAS MADE IS AT THE SCALE SHOWN HEREON, HOWEVER IN THE PROCESS OF REPRODUCTION, THIS SCALE MAY BE SLIGHTLY REDUCED, ENLARGED, OR OTHERWISE DISTORTED FROM ITS ORIGINAL SCALE.
 - THIS SURVEY WAS PREPARED USING CONVENTIONAL SURVEYING METHODS AND NONE OF THE METHODOLOGY ALLOWED UNDER NO. 15 OF TABLE A OF THE 2016 ALTA/NSPS SURVEYING REQUIREMENTS WAS UTILIZED IN THE PREPARATION OF THIS SURVEY.
 - UNLESS OTHERWISE SHOWN ON SURVEY:
 - THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
 - THERE IS NO OBSERVABLE EVIDENCE NOR INFORMATION PROVIDED INDICATING CHANGES IN STREET RIGHT OF WAY LINES.
 - THERE IS NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
 - THERE IS NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP, SANITARY LANDFILL OR CEMETERY.
 - NO EVIDENCE OF POTENTIAL WETLANDS WERE OBSERVED ON THE SUBJECT PROPERTY AT THE TIME THE SURVEY WAS CONDUCTED, NOR HAVE WE RECEIVED ANY DOCUMENTATION OF ANY WETLANDS BEING LOCATED ON THE SUBJECT PROPERTY.
 - ADDRESS WAS NOT OBSERVED IN THE FIELD.
 - FROM A VISUAL INSPECTION ONLY, ALL UTILITIES APPEAR TO ENTER THE SUBJECT PROPERTY FROM A PUBLIC RIGHT OF WAY.
 - THERE ARE NO DISCREPANCIES BETWEEN THE BOUNDARY LINES SHOWN ON THIS SURVEY AND THE LEGAL DESCRIPTION CONTAINED IN THE TITLE COMMITMENT.
 - THE BOUNDARY LINE DIMENSIONS AS SHOWN ON THIS SURVEY MAP FORM A MATHEMATICALLY CLOSED FIGURE WITHIN +/- 0.1 FOOT.
 - IF THE SUBJECT PROPERTY IS COMPRISED OF MULTIPLE PARCELS, THE PARCELS ARE CONTIGUOUS ALONG THEIR COMMON BOUNDARIES AS SHOWN ON THIS SURVEY, AND THERE ARE NO GAPS, STRIPS OR CORES IN SAID PROPERTIES.
 - THE BOUNDARY LINES OF THE SUBJECT PROPERTY ARE CONTIGUOUS WITH THE BOUNDARY LINES OF ALL ADJOINING STREETS, HIGHWAYS, RIGHTS OF WAYS AND EASEMENTS, PUBLIC OR PRIVATE, AS DESCRIBED IN THEIR MOST RECENT RESPECTIVE LEGAL DESCRIPTIONS OF RECORD.
 - ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 1988) DETERMINED BY G.P.S. OBSERVATIONS DERIVED FROM TIES TO THE FLORIDA DEPARTMENT OF TRANSPORTATION F.P.R.N. RTN NETWORK.

- LEGEND:**
- P.O.C. = Point of Commencement
 - P.O.B. = Point of Beginning
 - FM = Found
 - CM = concrete monument
 - IP = iron pipe
 - = set 1/2" rebar with cap No. 7563
 - = found rebar or iron pipe as indicated
 - = found concrete monument as indicated
 - = found nail as indicated
 - ▲ = set nail with cap No. 7563
 - = fence
 - = right-of-way
 - (D) = deed bearing and/or distance
 - (M) = measured bearing and/or distance
 - (B) = plat bearing and/or distance
 - = concrete area
 - = canopy or covered area
 - = power pole
 - = guy anchor
 - = light pole
 - = fire hydrant
 - = water meter
 - = water valve
 - = telephone pedestal
 - = sanitary sewer manhole
 - = sanitary sewer cleanout
 - = stormwater manhole
 - = grease trap manhole
 - = sign
 - = electric meter
 - = gas valve
 - = gas meter
 - = catch basin or curb inlet
 - = utility benchmark
 - = overhead powerline
 - = radius
 - = delta (or central angle)
 - = arc length
 - = chord bearing and/or distance
 - = mass hole
 - = palm tree
 - = oak tree
 - = unknown tree
 - = pine tree
 - R.C.P. = reinforced concrete pipe



ALTA/NSPS 2016 CERTIFICATION

TO: BravoFlorida, LLC, First American Title Insurance Company, Meridian Title Corporation and Bank of America, N.A., its successors and/or assigns.

This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6(c), 7(c), 8, 9, 13, 16 and 20 of Table A thereof. The fieldwork was completed on October 1, 2019.

Date of Plot or Map: October 1, 2019

DAVID A. BRIGGS
PROFESSIONAL SURVEYOR AND MAPPER
NO. 5890
STATE OF FLORIDA

FLOOD ZONE:

AS PER THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NUMBER 120178 0480 C, DATED JULY 16, 2015, THE SUBJECT PROPERTY LIES IN ZONE "X", BY SCALE LOCATION ONLY.

LAND AREA:

THE LAND AREA IS 53,834 SQUARE FEET OR 1.26 ACRES.

SOURCE OF ZONING DATA:

THE CITY OF OKEECHOBEE, FLORIDA ZONING DEPARTMENT
PHONE: 863-763-9820

ZONING:

THE CURRENT ZONING IS CHV (HEAVY COMMERCIAL).
THE CURRENT ZONING ALLOWS FOR THE CURRENT USE OF THE PROPERTY.

BUILDING SETBACK REQUIREMENTS:

FRONT 20 FEET TO BUILDINGS, 10 FEET TO PARKING & DRIVEWAYS
SIDE 8 FEET OR 20 FEET ABUTTING RESIDENTIAL
REAR 10 FEET OR 20 FEET ABUTTING RESIDENTIAL

BUILDING HEIGHT RESTRICTION:

45 FEET (UNLESS A SPECIAL EXCEPTION IS GRANTED)

PARKING SPACE TABLE:

REGULAR PARKING SPACES:	0
HANDICAP PARKING SPACES:	0
TOTAL:	0

PARKING SPACE REQUIREMENTS:

1 SPACE PER 75 SQ. FT. OF FLOOR AREA.

Because there may be a need for interpretation of the applicable zoning codes, we refer you to the City of Okeechobee, Florida and the applicable zoning codes.

BUILDING AREA:

EXTERIOR FOOT PRINT AT GROUND FLOOR IS 0 SQUARE FEET.

ACCESS NOTE:

ACCESS TO THE SUBJECT PROPERTY IS BY PUBLIC RIGHTS OF WAY OF S.E. 6TH AVENUE.

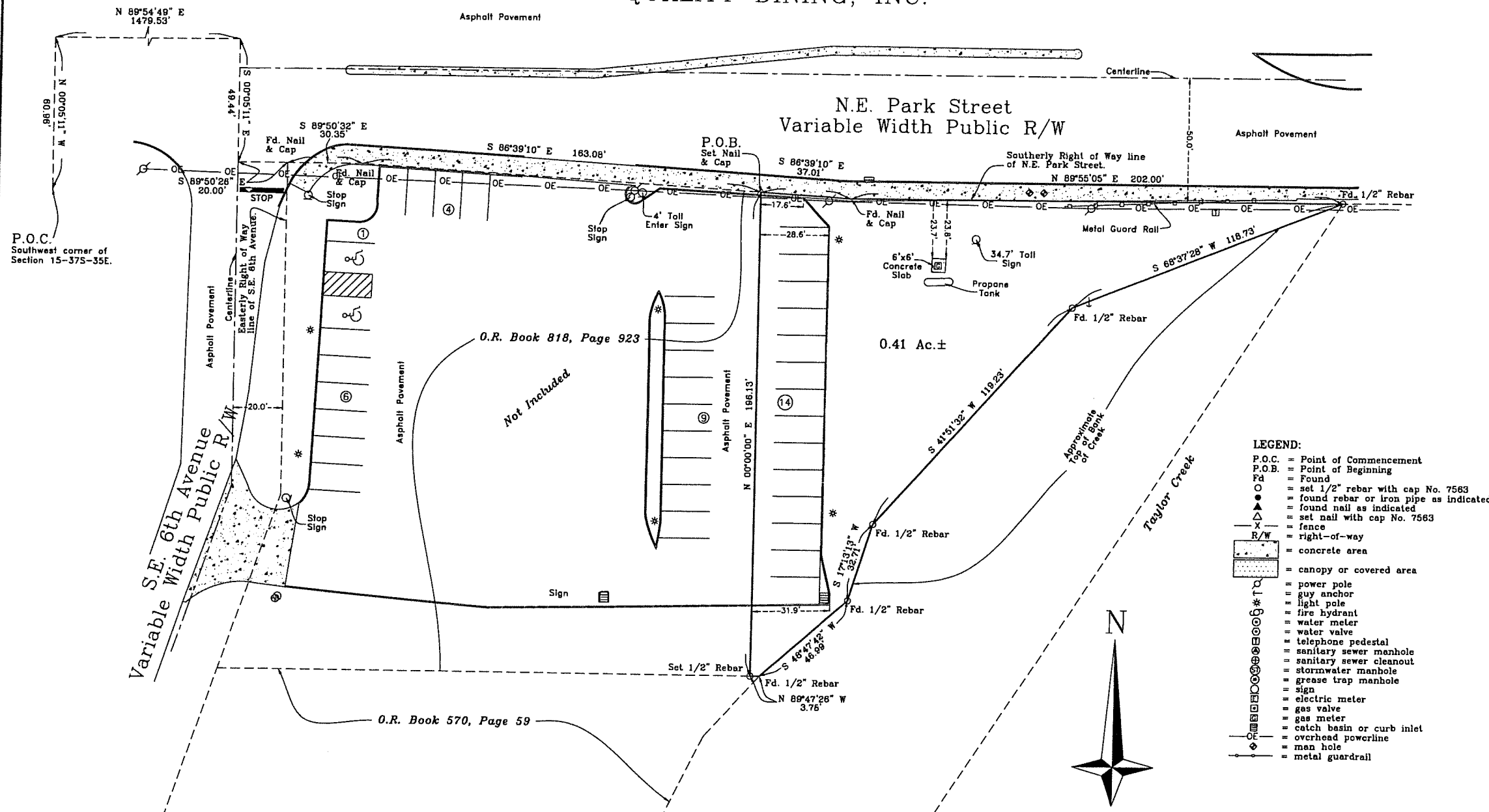
ENCROACHMENTS:

THERE ARE NO APPARENT ENCROACHMENTS.

BRIGGS, WASHINGTON & THOMPSON
LAND SURVEYING, INC.
406 SW Rutledge Street, P.O. Box 263
Madison, FL 32340
LB No. 7563 850-973-6186 800-882-8396 Fax: 850-973-6931
FB - See Folder DWG File: 19-204.dwg Calc File: 19-173-18.crd
Okeechobee Co., FL
Drawn by: SEB B-2 by: DAB Job Order No: 19-204
Field work completed: October 1, 2019

"ALTA/NSPS LAND TITLE SURVEY"			
PREPARED FOR:			
BravoFlorida, LLC			
SE 6th Avenue Okeechobee, FL			
SCALE: 1"= 30'	CHKD/APV'D: DAB		
DATE: October 1, 2019	APPROVED: DAB		
DWN BY: SEB			
CHKD BY: DAB			

BOUNDARY SURVEY
for
QUALITY DINING, INC.



NOTES:

- The undersigned and BRIGGS, WASHINGTON & THOMPSON LAND SURVEYING, INC. make no representations as to the information reflected hereon pertaining to easements, Rights-of-Way, setback lines, reservations, agreements and other similar matters, and further, this instrument is not intended to reflect or set forth such matters. Such information should be obtained and confirmed by others through appropriate title verification.
- Lands shown hereon were not abstracted for Right-of-Way and/or easements of record.
- Unless it bears the signature and the original raised seal of a Florida licensed surveyor and mapper, this drawing, sketch, plot or map is for informational purposes only and is not valid.
- This drawing, sketch, plot, or map does not reflect or determine ownership.
- The bearings shown hereon are based on the Southerly right of way line of N.E. Park Street as being N 89°55'05" E on assumed bearing.
- The original drawing from which this copy was made is at the scale shown hereon, however in the process of reproduction, this scale may be slightly reduced, enlarged, or otherwise distorted from its original scale.
- There was no effort made to determine the existence or location of any underground improvements of any nature.
- We have surveyed the parcel shown hereon at your direction, however we in no way are implying that this parcel is eligible for a building permit. The appropriate governmental agencies should be consulted prior to transfer of title of the parcel(s) shown hereon to ensure that a building permit will be issued.

LEGAL DESCRIPTION:

A portion of those lands described in O.R. Book 818, Page 923 of the public records of Okeechobee County, Florida, being more particularly described as follows:

COMMENCE at the southwest corner of Section 15, Township 37 South, Range 35 East, Okeechobee County, Florida; thence North 00°05'11" West along the west line of said Section 15 a distance of 60.95 feet to the centerline of State Road No. 70 (North Park Street); thence North 89°54'49" East along said centerline a distance of 1479.53 feet; thence South 00°05'11" East a distance of 49.44 feet; thence South 89°50'26" East a distance of 20.00 feet to a nail and cap marking the intersection of S.E. 6th Avenue (Variable width right of way) with the Southerly right of way line of N.E. Park Street (Variable width right of way); thence along said Southerly right of way line the following courses: South 89°50'32" East a distance of 30.35 feet to a nail and cap; thence South 86°39'10" East a distance of 163.08 feet to a nail and cap marking the POINT OF BEGINNING of the following described parcel; thence continue South 86°39'10" East a distance of 202.00 feet to a nail and cap; thence North 89°55'05" East a distance of 202.00 feet to a rebar marking the intersection of said Southerly right of way line with the Westerly Top of Bank of Taylor Creek; thence South 68°37'28" West along said Top of Bank a distance of 118.73 feet to a rebar; thence South 41°51'32" West along said Top of Bank a distance of 119.23 feet to a rebar; thence South 17°13'13" West along said Top of Bank a distance of 32.71 feet to a rebar; thence South 48°47'42" West along said Top of Bank a distance of 46.99 feet to a rebar marking the southeast corner of said O.R. Book 818, Page 923; thence North 89°47'26" West along the south line of said O.R. Book 818, Page 923 a distance of 3.78 feet to a rebar; thence North 00°00'00" East a distance of 196.13 feet to the POINT OF BEGINNING.

Containing 0.41 acres, more or less.

Said lands situate, lying and being in Okeechobee County, Florida.

CERTIFICATION:
Certify to: Quality Dining, Inc.

I hereby certify to the above that this survey was made under my responsible charge and meets the Minimum Technical Standards as set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 61G17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes

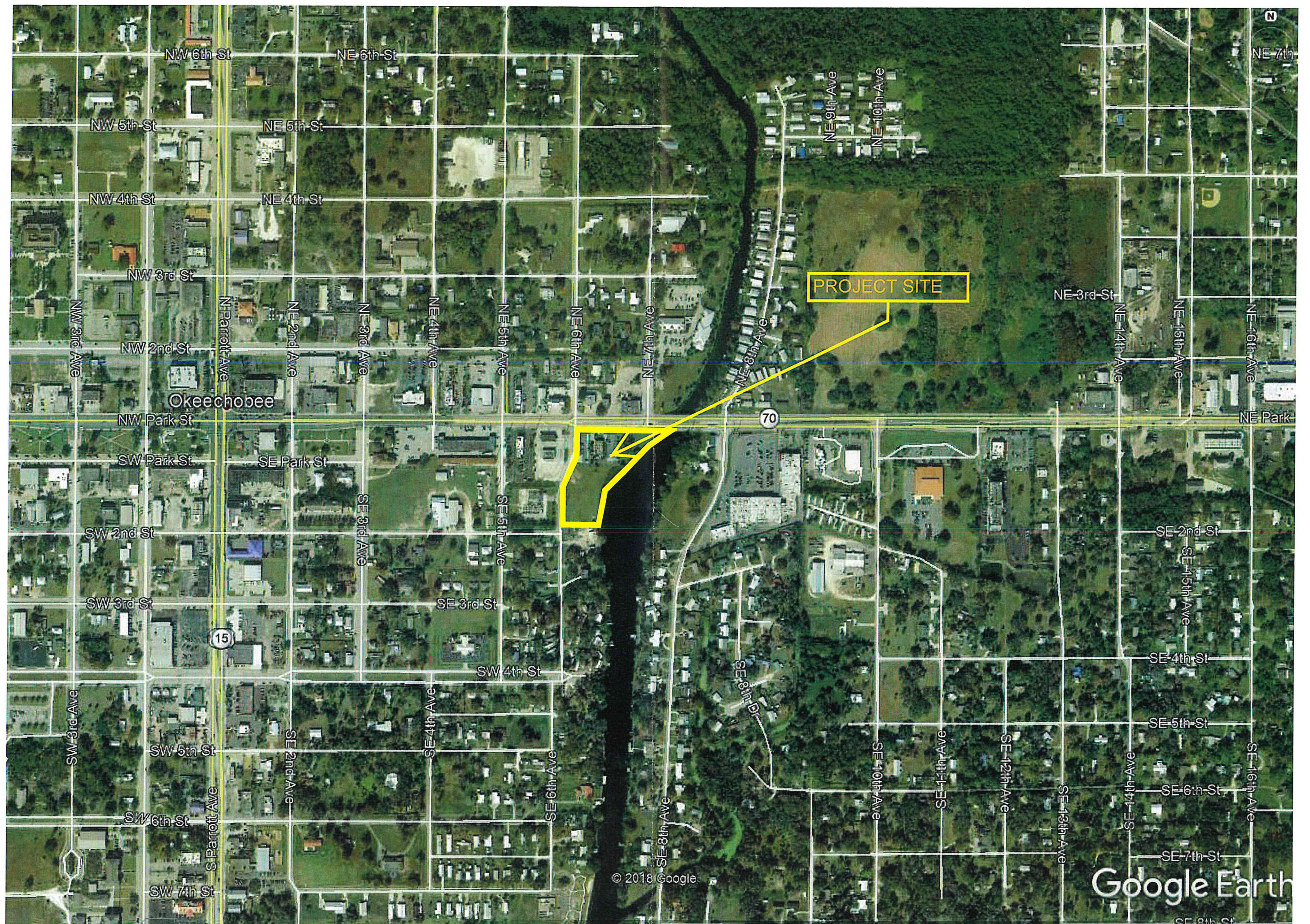
DAVID A. BRIGGS
Professional Surveyor and Mapper No. 5890
State of Florida

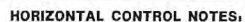
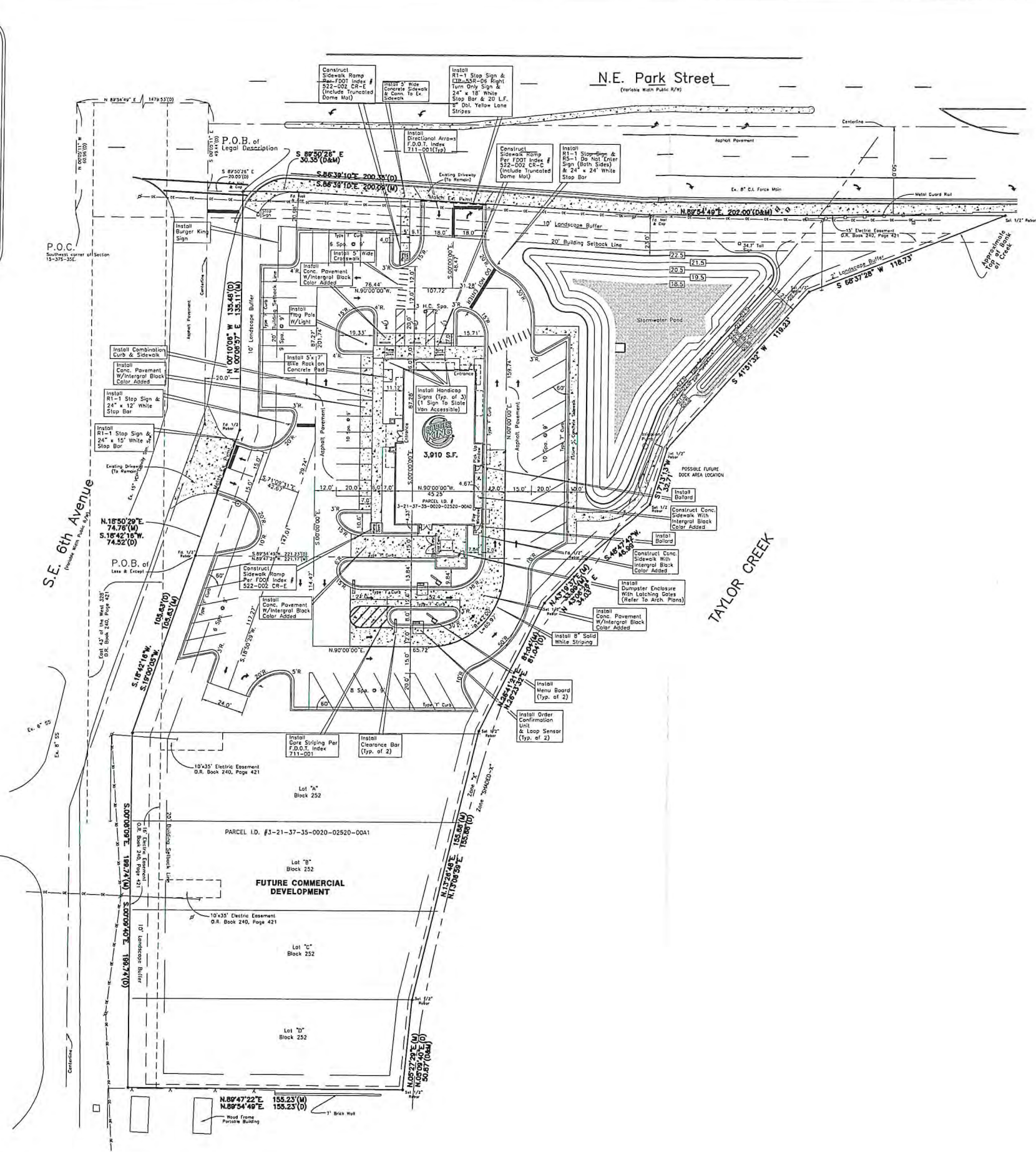
Date: August 13, 2018

Not valid unless sealed with embossed Surveyor's Seal. (See Note 3)

Field Work Completed: August 13, 2018

Date: August 13, 2018			
County: Okeechobee			
SEC.	TWP.	RG.	35E
15	37S		
JO NO: 18-173			
SHEET 1 of 1			
BRIGGS, WASHINGTON & THOMPSON LAND SURVEYING, INC.			
406 SW Rutledge Street P.O. Box 263 Madison, Florida 32340			
850-973-6186 Fax: 850-973-6931			
LB No. 7563			
Date:			
Revisions:			
CAD file: 18-173-041ac.dwg			
Calc file: 18-173.crd			
Drawn By: SEB			
FB See PR Folder			
Scale: 1" = 30'			





1. ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS SHOWN OTHERWISE.
2. REFER TO LANDSCAPE PLAN FOR LANDSCAPE DESIGN.
3. CONTRACTOR TO INSTALL TRUNCATED DOMES AT EACH SIDE OF CROSSWALK, WHERE SIDEWALK MEETS DRIVE.
4. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
5. ALL SIGNAGE AND STRIPING SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION) & FDOT STANDARDS.
6. ALL SIGNS SHALL BE PERMITTED SEPARATELY THROUGH THE CITY OF OKEECHOBEE.
7. ALL STANDARD PARKING SPACES SHALL BE 9'x20'. ALL DISABLED PARKING SPACES SHALL BE 12'x20'.
8. DUMPSTER ENCLOSURE MATERIALS SHALL MATCH THOSE OF THE PRINCIPAL STRUCTURE. MINIMUM HEIGHT SHALL BE 6 FEET. LATCHING GATES BE PROVIDED. REFER TO ARCHITECT'S FOR DETAILS.
9. ALL EROSION & SEDIMENT CONTROL WITHIN R/W SHALL CONFORM TO FDOT INDICES.
10. CONSTRUCT SIDEWALK AND RAMPS IN ACCORDANCE TO FDOT INDEX 522-002 AND IN COMPLIANCE WITH ADA STANDARDS.
11. CONTRACTOR IS TO SOD ALL DISTURBED PORTIONS OF THE R/W WITH BAHIA.
12. ANY SIDEWALK DAMAGED DURING CONSTRUCTION SHALL BE REPLACED TO THE NEAREST JOINT.
13. SAWCUT EXISTING ASPHALT PRIOR TO REMOVAL OF ANY MATERIAL.
14. ALL MAINTENANCE OF TRAFFIC SHALL CONFORM TO FDOT INDEX 102-500. NO LANE CLOSURES WILL BE ALLOWED UNLESS OTHERWISE AUTHORIZED BY FDOT.
15. ALL WORK WITHIN FOOT R/W SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS AND DESIGN STANDARDS (LATEST EDITIONS):
 - THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST STANDARD SPEC)
 - FDOT DESIGN STANDARDS FOR DESIGN, CONSTRUCTION, MAINTENANCE AND OPERATIONS ON THE STATE HIGHWAY SYSTEM (INDEX REFERENCES ARE TO FDOT STANDARD PLANS FOR ROAD CONSTRUCTION). COMPLIANCE WITH ALL APPLICABLE INDICES IS REQUIRED.
 - ROADWAY AND TRAFFIC DESIGN STANDARDS
 - FDOT ROADWAY PLANS PREPARATION MANUAL, VOLUME 1, CHAPTER 2 AND 25
 - FDOT FLEXIBLE PAVEMENT DESIGN MANUAL FOR NEW CONSTRUCTION AND PAVEMENT REHABILITATION
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING PUBLIC ROADWAY, CURBS, GUTTERS, SIDEWALK, DRAINAGE SYSTEM, AND UTILITIES AS A DIRECT RESULT OF NEW CONSTRUCTION.
17. THE SITE DRAINAGE AND CONSTRUCTION IMPROVEMENTS SHALL NOT ADVERSELY IMPACT ADJOINING PROPERTIES.
18. ACCESS SHALL BE PROVIDED DURING CONSTRUCTION OF BUILDING BY AN UNOBSTRUCTED 20FT WIDE ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING A 32 TON EMERGENCY VEHICLE. THE DRIVING SURFACE SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
19. ALL MEDICAL EQUIPMENT SHALL BE LOCATED ON THE ROOF AND SCREENED FROM PUBLIC VIEW.

Consultant:

CARLOS A. SOLIS, P.E.

P.O. BOX 431764

BIG PINE KEY, FL 33043-1764

(813) 426-4880

FLORIDA PROFESSIONAL ENGINEER No.
42758

06171

REVISIONS

[illegible]

SITE PLAN

**BURGER KING #6400
604 NE PARK STREET
OKEECHOBEE, FLORIDA**

SCALE: 1"=30'	DATE: 11.1.19
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CAD FILE:

JOB NUMBER

SHEET

SITE

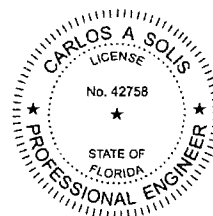
DRAINAGE REPORT

**FOR
BURGER KING # 6400
604 NE PARK STREET
OKEECHOBEE, FLORIDA**

**PREPARED FOR:
BRAVOFLORIDA, LLC
3018 U.S. HIGHWAY 301 N.
SUITE 100
TAMPA, FLORIDA 33619
813.374.2413**

**PREPARED BY
CARLOS A. SOLIS, P.E.
P.O. BOX 431764
BIG PINE KEY, FLORIDA 33043-1764
813.426.4880**

NOVEMBER, 2019



Digitally signed by Carlos
A Solis
DN: c=US, o=Unaffiliated,
ou=A01410D0000016C1E
95E135000022AE,
cn=Carlos A Solis
Date: 2020.02.12 09:50:19
-05'00'

Introduction

The project consist of the redevelopment of an existing Burger King restaurant on a developed 2.56 acres parcel located on NE Park Street (SR 70) in Okeechobee, FL. The restaurant is being re-developed in a similar fashion, and the proposed design will incorporate the balance of the parcel in the new stormwater management system for future development. The project was previously granted an exemption from the SFWMD. The re-development proposes a similar building and site footprint, with an increase to the parking area.

The site currently has approximately 0.80 acres of impervious area consisting of asphalt parking, building and sidewalk area on the north third of the site, with the remainder of the site undeveloped and runoff from all flows off to the east onto Taylor Creek.

The allowable discharge is based on the pre=developed rate from the 25 year 24 hour storm for the site. The proposed design will also meet the current water quality requirements.

Site specific soils investigation were performed on the site. The analysis indicates Review of the *Soils Survey* indicates the site is predominantly Udorthents soils, which is likely spoil material from excavation of Taylor Creek. Water levels at the site were observed at 8 feet depth along the northern portion, including the pond area, and 5 feet towards the south in mid-October. Considering that the area is coming out of an above average wet season, the SHWT is established at 6 below the surface or El. 16.0 in the vicinity of the pond adjacent to Taylor Creek.

Existing Conditions

As previously mentioned, the allowable discharge will be based on the existing conditions prior to any development on the site. The SCS methodology shall be used for the stormwater design. The existing soils are typically classified as type B soils, and CN for open space of 42 will be used.

Tributary Area = 2.56 Ac (111,435 SF)
Imp. Area = 0.80
Perv. Area = 1.76

The result of the analysis indicates the allowable discharge from the site is
4.21cfs @ 60.0Hr

See attached input and results

Post Developed

The site will be developed such that runoff from the re-developed restaurant will be routed to a proposed detention pond, which will also be sized to accommodate future development for the rest of the site. The impervious area allocated for the future development is 0.72ac. The pond will be designed to provide water quality for the entire site, and restrict the site discharge for the 25 yr-72hr to the pre-developed rate for the same event. Runoff is controlled by a proposed control structure which will discharge to an approximately 75 long spreader swale along the eastside of the proposed pond. The required water quality volume will be retained below the overflow elevation, providing dry retention.

Water Quality

The water quality requirement for the project will be accomplished by means of off-line Dry Retention utilizing the proposed stormwater pond.

Required Volume:

The minimum water quality volume shall be the greater of 1" of runoff from the entire site or 2.5" of runoff times the percent of impervious area. The required volume is reduced by 50% since a dry retention system is used.

Area = 111,435 sf

Impervious area = 35,461 sf = 64%

$$V = 111,435 \text{ sf} \times 1''/12''/\text{ft} = 9286.25 \times .5 = 4,643 \text{ cf}$$

$$V = 111,435 \text{ sf} \times 2.5''/12''/\text{ft} \times .64 \times .5 = 7,708 \text{ cf (req. Vol)}$$

MODRET groundwater mounding analysis is used to demonstrate the recovery of the required volume within 72 hours. A DRI was performed onsite yielding a result of 8 inch/hr of infiltration, which equates to 16 ft/day of vertical infiltration and 32 ft/day of horizontal infiltration. The following parameters are used in the analysis:

SHWT El = 16.0

Bttm Pond Area = 2724

K_v = 16ft/day

K_h = 2 x K_v = 32ft/day

SF = 2

The result of the analysis indicates that the pond recovers to elevation 18.5, at 24.25 hours less than the required 72 hours.

See attached input and results

System Volume

Volume for water quantity is provided in the proposed stormwater pond. Discharge from the site is via a 0.7' weir set at the El 20.5 providing a water quality volume of 8,332 CF, which is greater than the required 7,708 CF

EL.	Area (SF)	Vol (CF)
18.5	27245	0
19.5	4105	3415
20.5	5710	8332 WQ Vol
21.5	7465	14910
22.5	9332	23310

Runoff from the site is routed to the proposed retention/detention pond. After retaining the water quality volume, the site will discharge via the control structure, utilizing a 0.7' weir to a spreader swale and ultimately to Taylor Creek. Input and results for the post developed conditions are as follow:

Hydrograph input

Area = 2.56 Ac (111,435 SF)

Imp. Area = 1.70 Ac (0.8 ac for BK, 0.9 ac for future development)

Perv. Area = 0.71

Pond Area = 0.15

$$CN = \frac{(1.70 \times 98) + (0.71 \times 42) + (0.15 \times 100)}{0.85} = 82.9$$

Results

25YR

Q= 4.07 cfs < 4.21 cfs OK

Peak Stage = 21.96

100Yr

Q= 5.6 cfs

Peak Stage = 22.31

See attached input and results

BASIN MAP

The map is a detailed site plan for a proposed development. A red outline delineates the 'MAX IMP AREA', which is labeled as 'FUTURE DEVELOPMENT' and 'MAX IMP AREA' with a total area of '0.72 AC.'. The plan shows a central building footprint with a circular feature, surrounded by parking lots and access roads. To the north, 'N.E. Park Street' runs horizontally. To the west, 'S.E. 8th Avenue' runs vertically. To the east, 'TAYLOR CREEK' flows diagonally. The map includes numerous lot numbers, acreage measurements, and boundary descriptions. A 'P.O.C.' (Point of Commencement) is marked at the top left, and a 'P.O.B.' (Point of Beginning) is marked at the top center. The map also shows existing infrastructure like 'Taylor Creek' and 'Taylor Creek Bridge'.

PRE-DEVELOPED

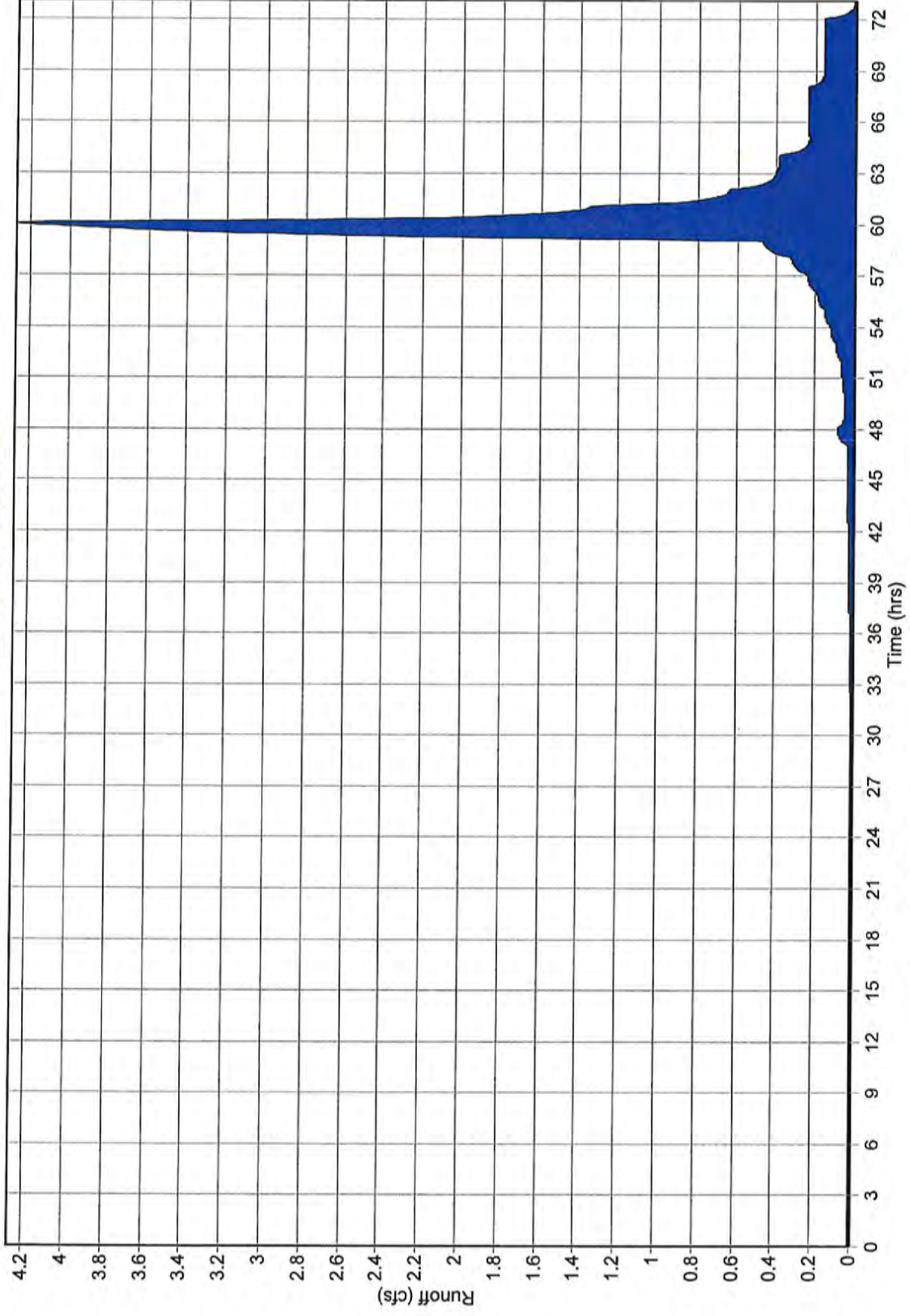
MODRET

HYDROGRAPH DATA INPUT - SCS UNIT METHOD

Project Name : BK Okeechobee 25Yr 72Hr
Rainfall Distribution : SFWMD (72 hrs)

Contributing Basin Area	2.56 ac.
SCS Curve Number	59.50
Time of Concentration	10.00 min.
Rainfall Depth	9.00 in.
Shape Factor	256
Percent DCIA	0.00 %

HYDROGRAPH : BK Okeechobee 25Yr 72Hr



Qpeak: 4.2721 cfs Time of peak: 60.0 hrs Vtotal: 37,571 ft³

WATER QUALITY

MODRET

SUMMARY OF UNSATURATED & SATURATED INPUT PARAMETERS

**PROJECT NAME : BK Okeechobee Water Quality Drawdown
POLLUTION VOLUME RUNOFF DATA USED
UNSATURATED ANALYSIS INCLUDED**

Pond Bottom Area	2,445.00 ft ²
Pond Volume between Bottom & DHWL	7,885.00 ft ³
Pond Length to Width Ratio (L/W)	2.30
Elevation of Effective Aquifer Base	8.00 ft
Elevation of Seasonal High Groundwater Table	16.00 ft
Elevation of Starting Water Level	18.50 ft
Elevation of Pond Bottom	18.50 ft
Design High Water Level Elevation	20.50 ft
Avg. Effective Storage Coefficient of Soil for Unsaturated Analysis	0.15
Unsaturated Vertical Hydraulic Conductivity	16.00 ft/d
Factor of Safety	2.00
Saturated Horizontal Hydraulic Conductivity	32.00 ft/d
Avg. Effective Storage Coefficient of Soil for Saturated Analysis	0.21
Avg. Effective Storage Coefficient of Pond/Exfiltration Trench	1.00

Hydraulic Control Features:

Groundwater Control Features - Y/N

	Top	Bottom	Left	Right
Distance to Edge of Pond	N 0.00	N 0.00	N 0.00	N 0.00
Elevation of Water Level	0.00	0.00	0.00	0.00

Impervious Barrier - Y/N

	Top	Bottom	Left	Right
Elevation of Barrier Bottom	N 0.00	N 0.00	N 0.00	N 0.00

MODRET

TIME - RUNOFF INPUT DATA

PROJECT NAME: BK OKEECHOBEE WATER QUALITY DRAWDOWN

STRESS PERIOD NUMBER	INCREMENT OF TIME (hrs)	VOLUME OF RUNOFF (ft³)
Unsat	1.13	916.88
1	1.00	6,791.13
2	8.73	0.00
3	8.73	0.00
4	8.73	0.00
5	8.73	0.00
6	8.73	0.00
7	8.73	0.00
8	8.73	0.00
9	8.73	0.00

MODRET

SUMMARY OF RESULTS

PROJECT NAME : BK Okeechobee Water Quality Drawdown

CUMULATIVE TIME (hrs)	WATER ELEVATION (feet)	INSTANTANEOUS INFILTRATION RATE (cfs)	AVERAGE INFILTRATION RATE (cfs)	CUMULATIVE OVERFLOW (ft ³)
00.00 - 0.00	16.000	0.000 *		
			0.00000	
0.00	16.000	0.28522		
			0.25560	
2.13	19.959	0.22599		0.00
			0.10428	
10.86	19.127	0.08086		0.00
			0.05745	
19.59	18.669	0.04839		0.00
			0.03934	
24.31	18.500	0.03445		0.00
			0.02957	
37.06	18.120	0.02660		0.00
			0.02362	
45.80	17.931	0.02157		0.00
			0.01952	
54.53	17.776	0.01801		0.00
			0.01649	
63.27	17.644	0.01534		0.00
			0.01419	
72.00	17.531			0.00

Maximum Water Elevation: 19.959 feet @ 2.13 hours

Recovery @ 24.305 hours

* Time increment when there is no runoff

Maximum Infiltration Rate: 5.602 ft/day

Analysis Date: 11/5/2019

POST-DEVELOPED

25 Year Storm Sewer

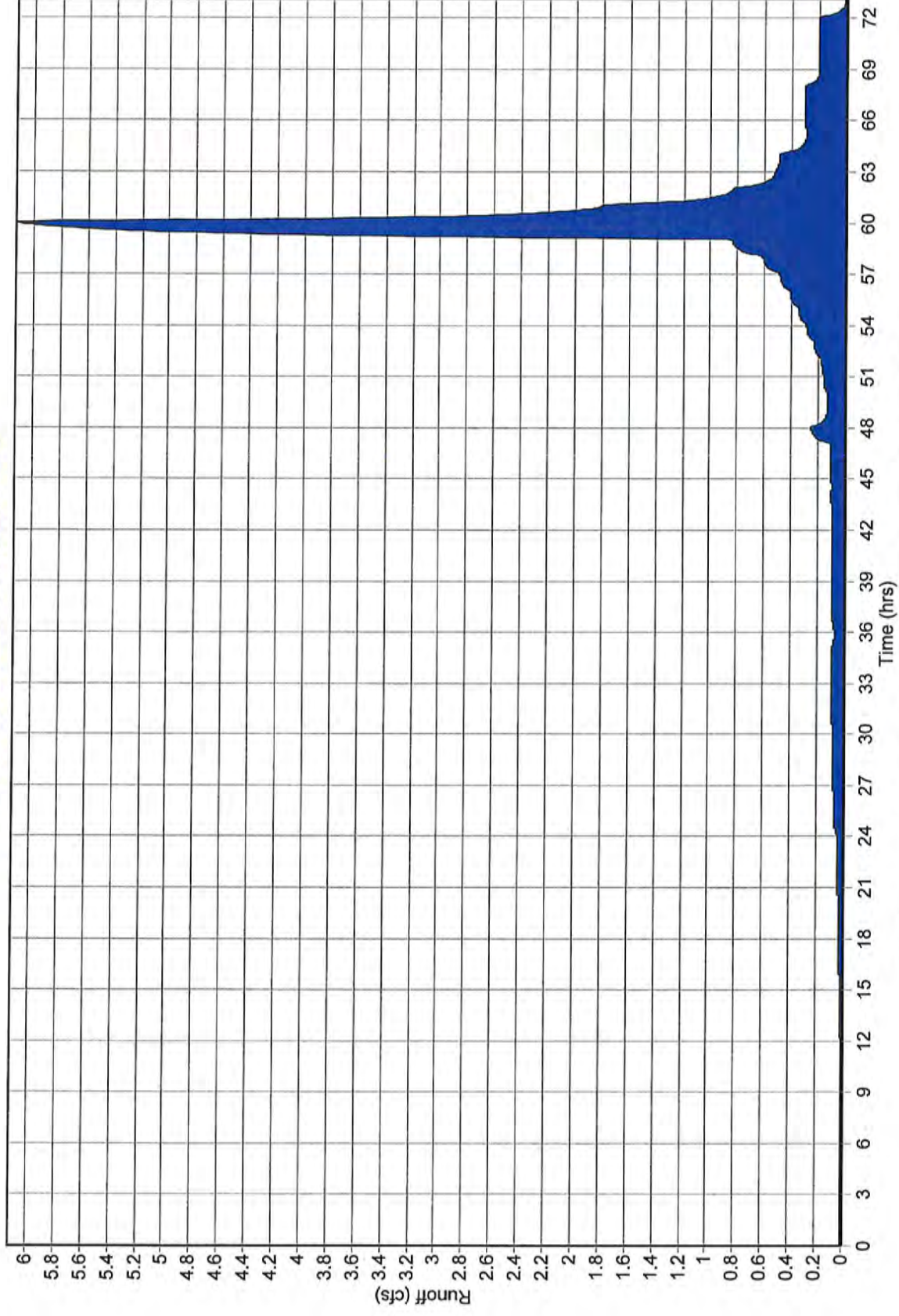
MODRET

HYDROGRAPH DATA INPUT - SCS UNIT METHOD

Project Name : BK Okeechobee 25Yr 72Hr
Rainfall Distribution : SFWMD (72 hrs)

Contributing Basin Area	2.56 ac.
SCS Curve Number	82.90
Time of Concentration	10.00 min.
Rainfall Depth	9.00 in.
Shape Factor	256
Percent DCIA	0.00 %

HYDROGRAPH : BK Okeechobee 25Yr 72Hr



Qpeak: 6.1248 cfs Time of peak: 60.0 hrs Vtotal: 64,405 ft³

POST DEVELOPED RESULTS

MODRET

ROUTING MODULE

STAGE-STORAGE INPUT DATA

DATA POINT	ELEVATION (feet)	POND VOLUME (ft³)
1	18.50	0.00
2	19.50	3,415.00
3	20.50	8,332.00
4	21.50	14,910.00
5	22.50	23,310.00

Zero-Infiltration option is OFF

MODRET

ELEVATION VS OVERFLOW RELATIONSHIP

PROJECT NAME : BK Okeechobee Water Quality Drawdown

Structure Type: BROAD CRESTED

Crest Elevation

20.50 ft

Crest Length

0.70 ft

Coefficient of Discharge

3.31

Weir Flow Exponent

1.50

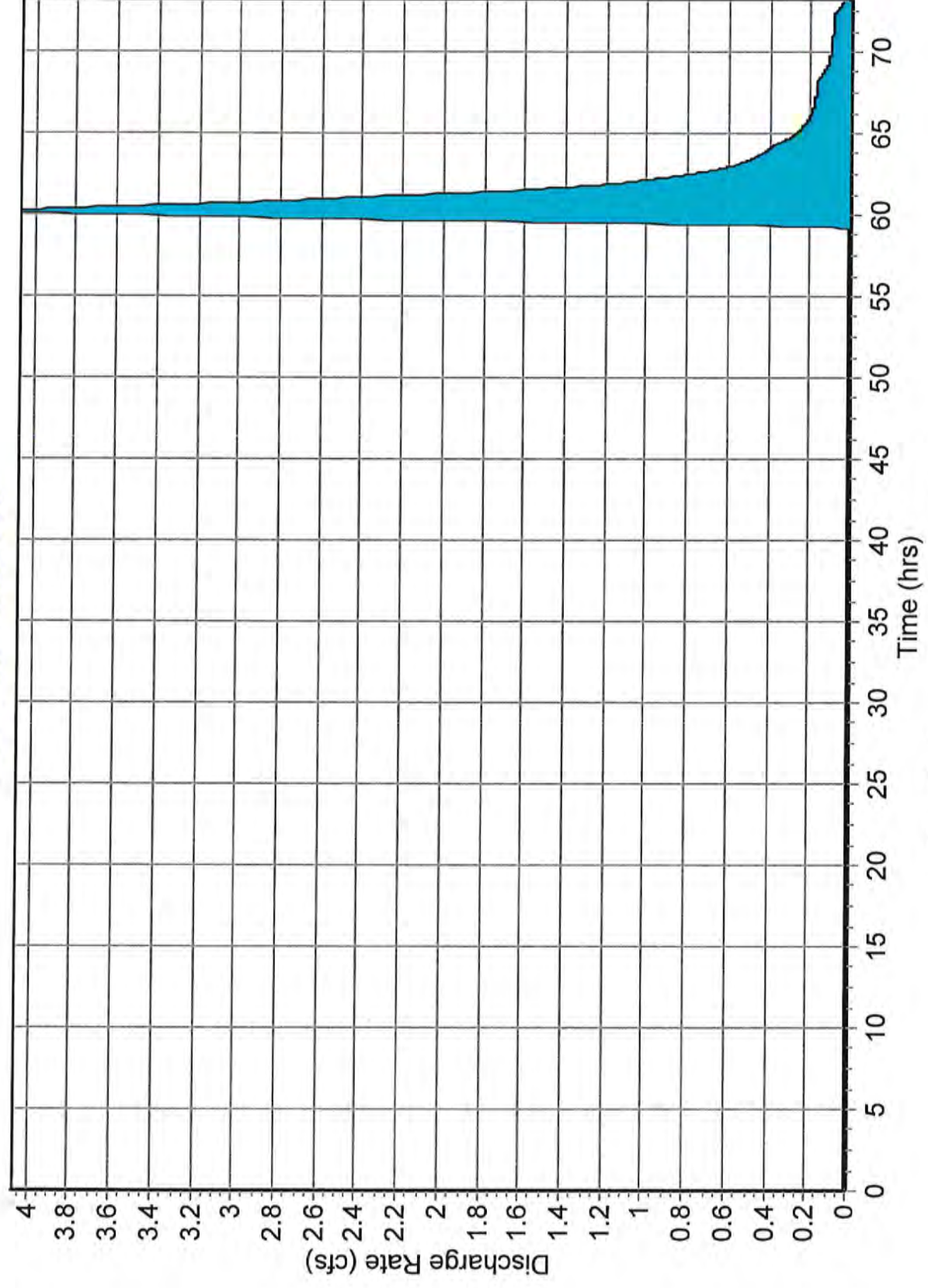
Number of Contractions

0.00

Design High Water Level Elevation

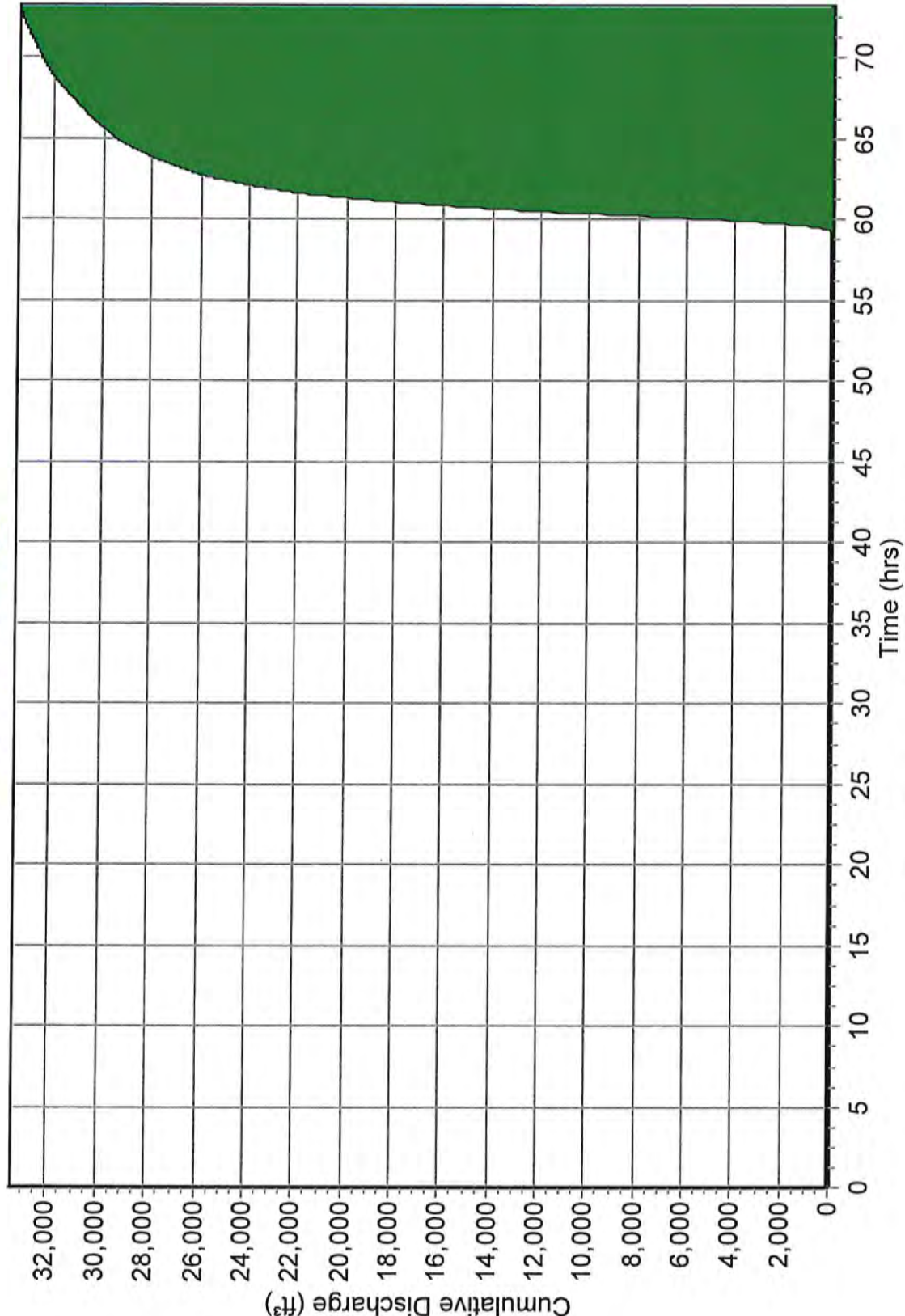
22.50 ft

ROUTING : SCS2.SCS



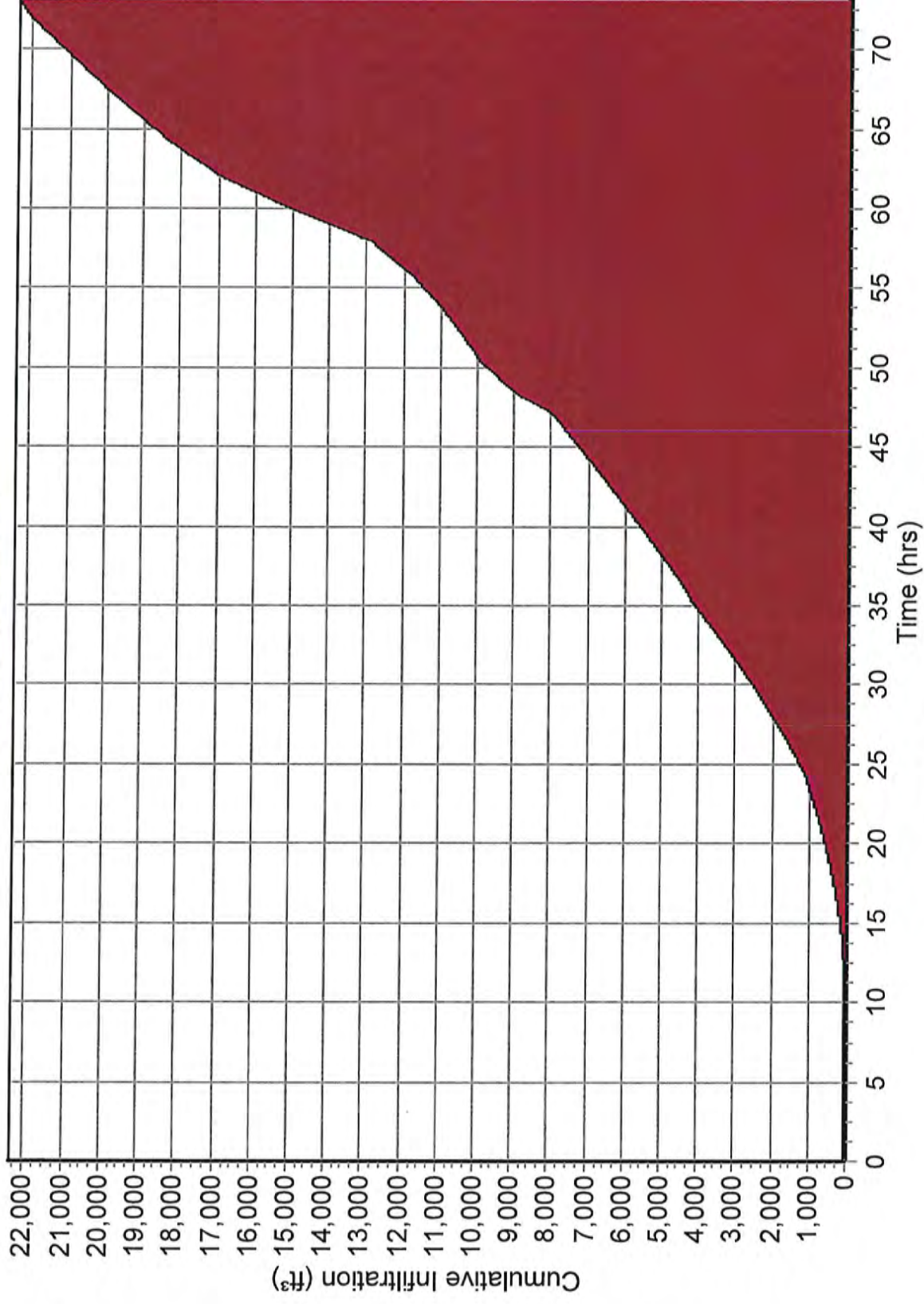
Max Discharge Rate = 4.0679 cfs

ROUTING : SCS2.SCS



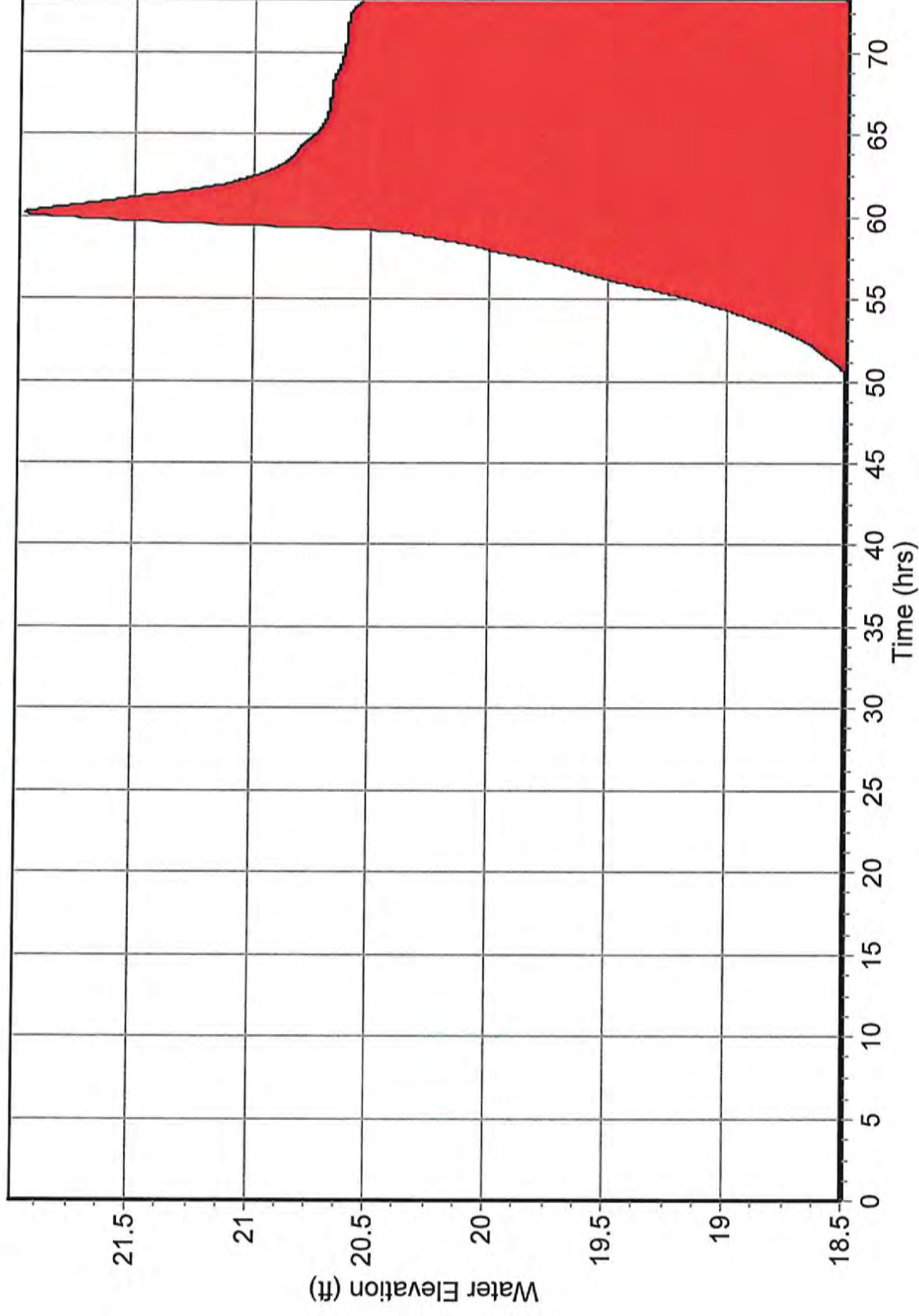
Total Discharge Volume = 33,424 ft³

ROUTING : SCS2.SCS



Total Infiltration = 22,361 ft³

ROUTING : SCS2.SCS



Max Water Elevation = 21.96 ft

100 Year Design

MODRET

HYDROGRAPH DATA INPUT - SCS UNIT METHOD

Project Name : BK Okeechobee 100yr Post
Rainfall Distribution : SFWMD (72 hrs)

Contributing Basin Area

2.56 ac.

SCS Curve Number

82.90

Time of Concentration

10.00 min.

Rainfall Depth

11.00 in.

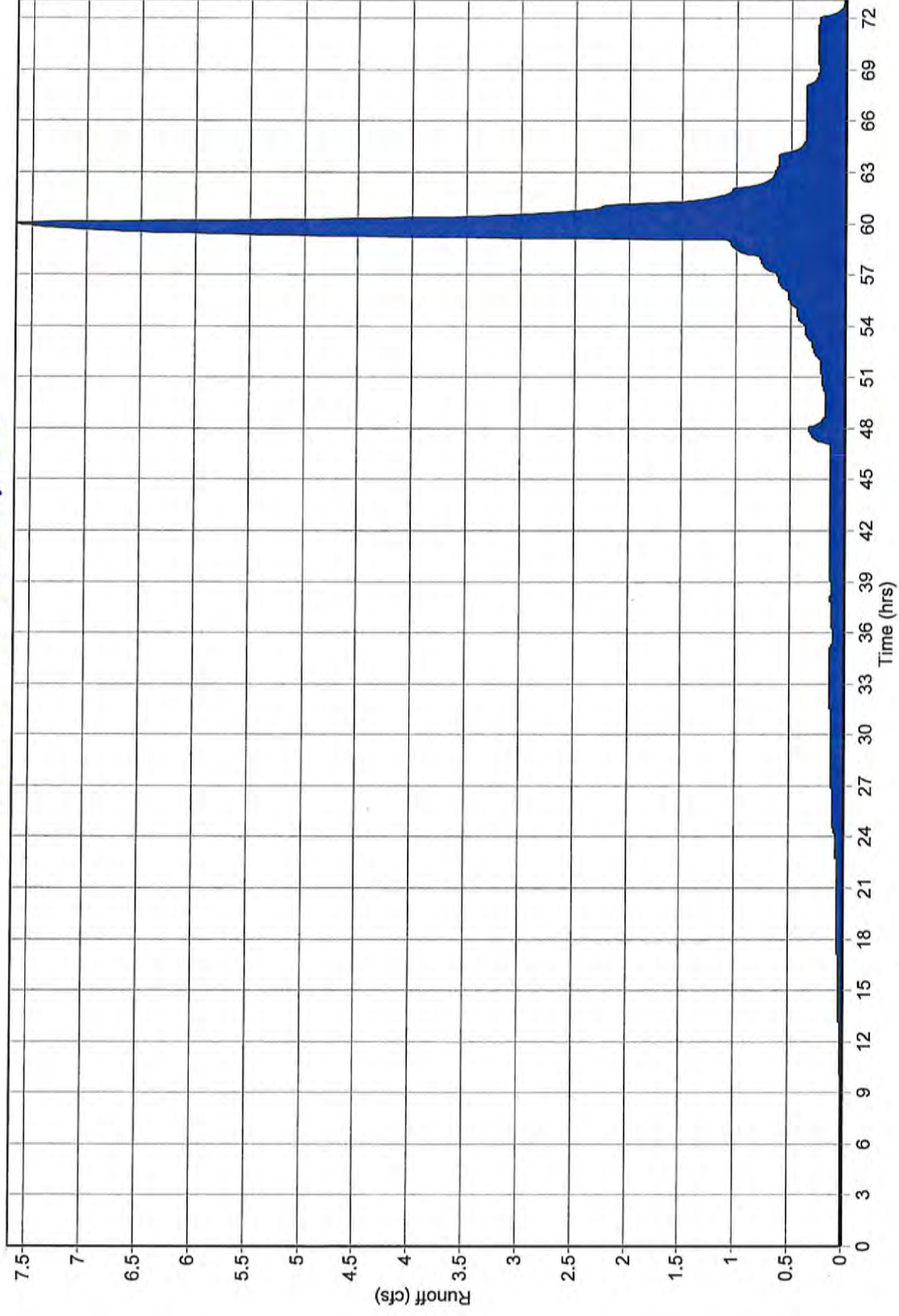
Shape Factor

256

Percent DCIA

0.00 %

HYDROGRAPH : BK Okeechobee 100yr Post



Qpeak: 7.6475 cfs Time of peak: 60.0 hrs Vtotal: 82,421 ft³

MODRET

ROUTING MODULE

STAGE-STORAGE INPUT DATA

DATA POINT	ELEVATION (feet)	POND VOLUME (ft³)
1	18.50	0.00
2	19.50	3,415.00
3	20.50	8,332.00
4	21.50	14,910.00
5	22.50	23,310.00

Zero-Infiltration option is OFF

MODRET

ELEVATION VS OVERFLOW RELATIONSHIP

PROJECT NAME : BK Okeechobee Water Quality Drawdown

Structure Type: BROAD CRESTED

Crest Elevation

Crest Length

Coefficient of Discharge

Weir Flow Exponent

Number of Contractions

Design High Water Level Elevation

20.50 ft

0.70 ft

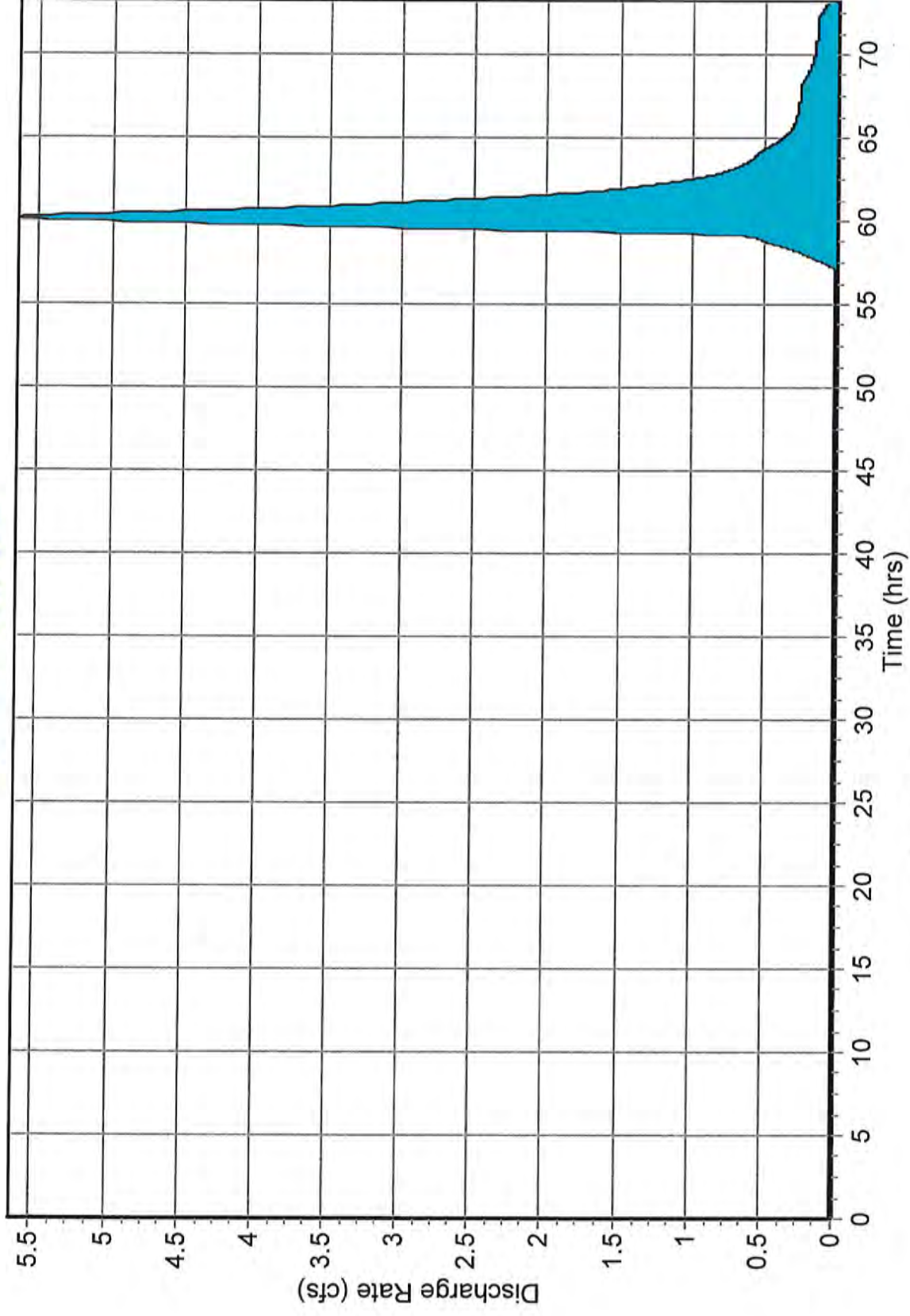
3.31

1.50

0.00

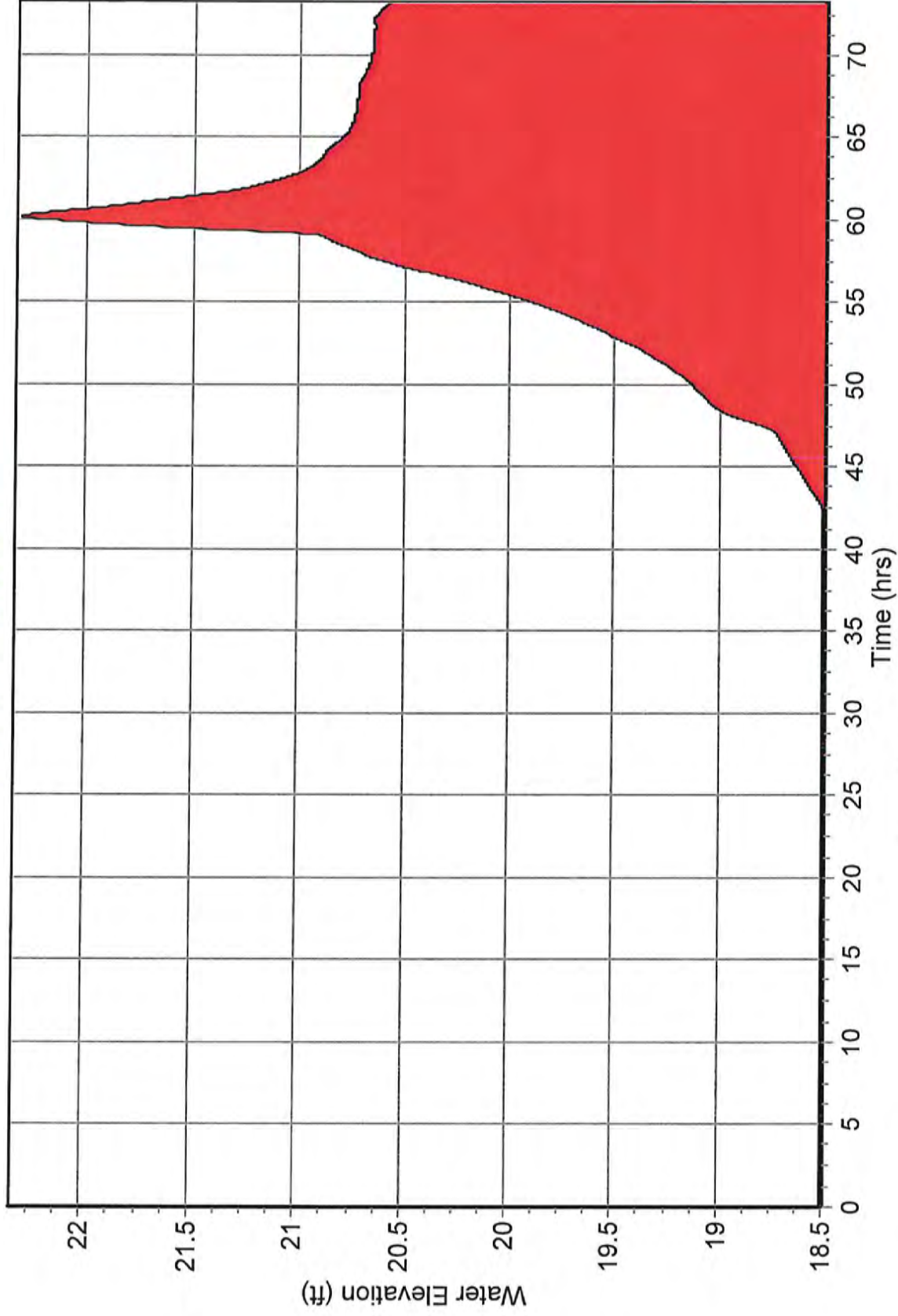
22.50 ft

ROUTING : SCS2.SCS



Max Discharge Rate = 5.6397 cfs

ROUTING : SCS2.SCS



Max Water Elevation = 22.31 ft



TECHNICAL MEMORANDUM

TO: BravoFlorida, LLC
4220 Edison Lakes Parkway
Mishawaka, Indiana 46545

FROM: Michael D. Raysor, P.E.
RAYSOR Transportation Consulting, LLC

SUBJECT: Burger King #6400; 604 NE Park Street
Traffic Impact Statement

DATE: December 10, 2019

Michael D. Raysor, PE
Digitally signed by Michael D. Raysor, PE
Date: 2019.12.10 20:00:32 -05'00'



1.0 INTRODUCTION

This technical memorandum documents a traffic impact statement prepared in association with the redevelopment of Burger King #6400, located at 604 NE Park Street, in Okeechobee, Florida; as shown in Figure 1.0. The subject site is currently developed with a 2,720 square foot Burger King fast food restaurant (with 80 customer seats), with a single lane drive-thru; which will remain in operation until demolished. Upon redevelopment, the project site will consist of a 3,910 square foot Burger King fast food restaurant (with 70 customer seats) with dual ordering stations and single lane payment and pick-up windows. Access to the site is currently provided via one full access connection to SE 6th Avenue and one right-in/right-out connection to NE Park Street (State Road 70). The existing access connections are planned to remain upon redevelopment, with no additional new access connections. Existing and proposed site conditions are shown in Figure 2.0.

2.0 PROJECT SITE TRIP GENERATION

The daily and peak hour trip generation of the project site was estimated using trip characteristic data as identified in the Institute of Transportation Engineers *Trip Generation Manual* (ITE, 10th edition, 2017) and *Trip Generation Handbook* (ITE, 3rd edition, 2017), as summarized in Table 1.0.



FIGURE 1.0 PROJECT SITE LOCATION MAP

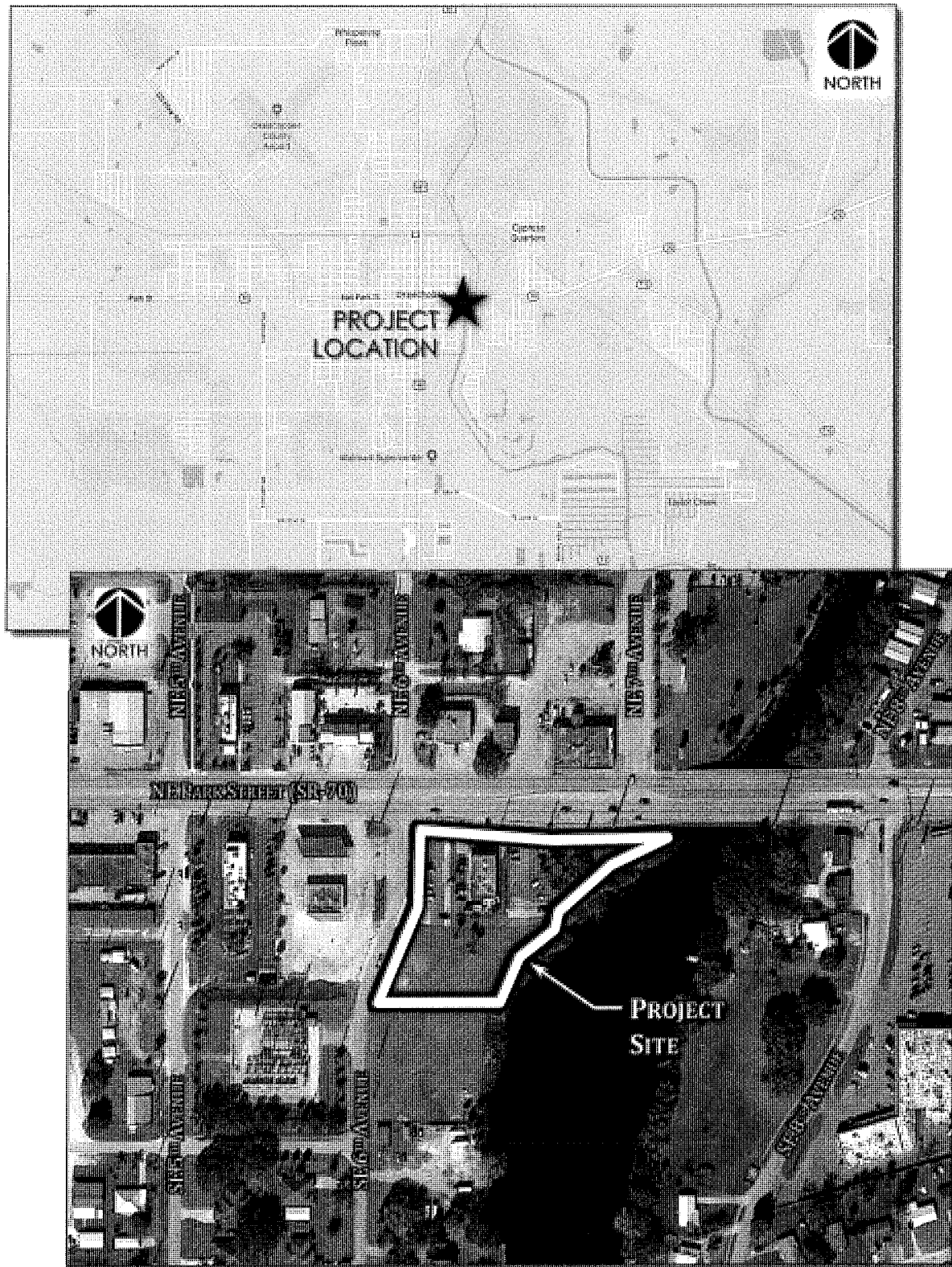




FIGURE 2.0 PROJECT SITE EXISTING AND PROPOSED CONDITIONS

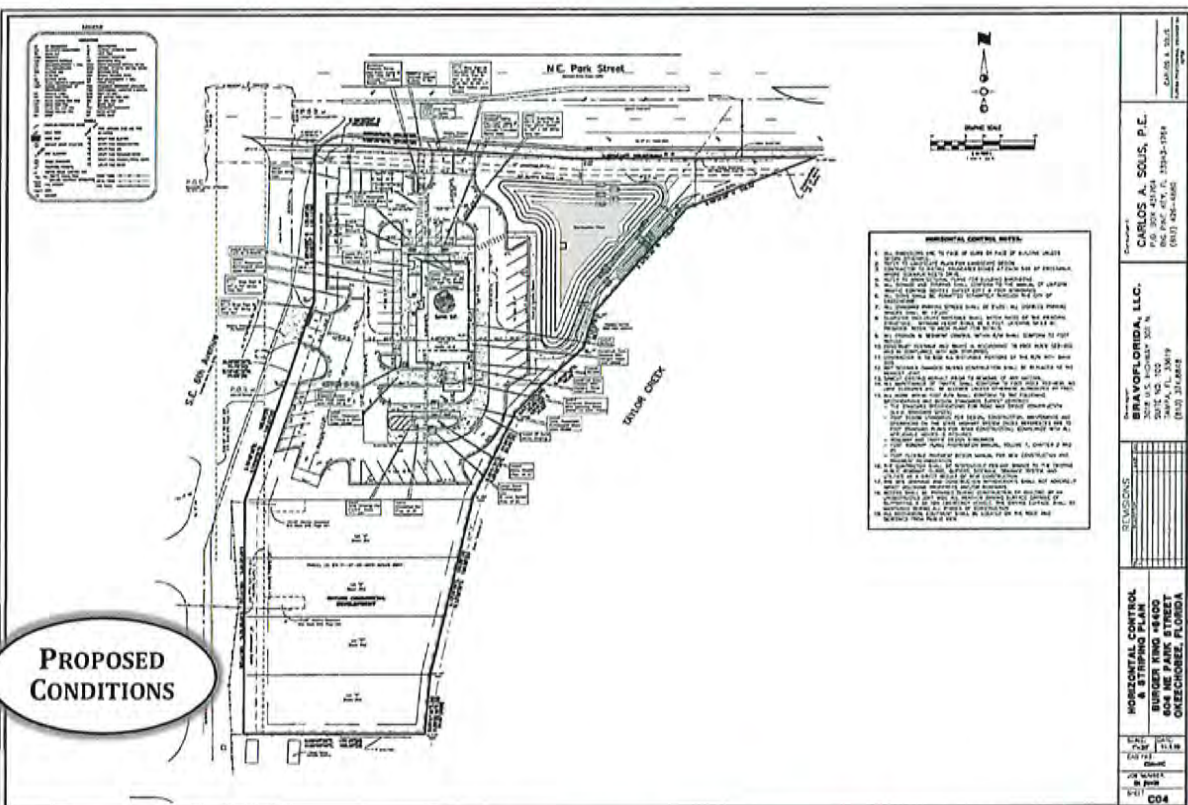
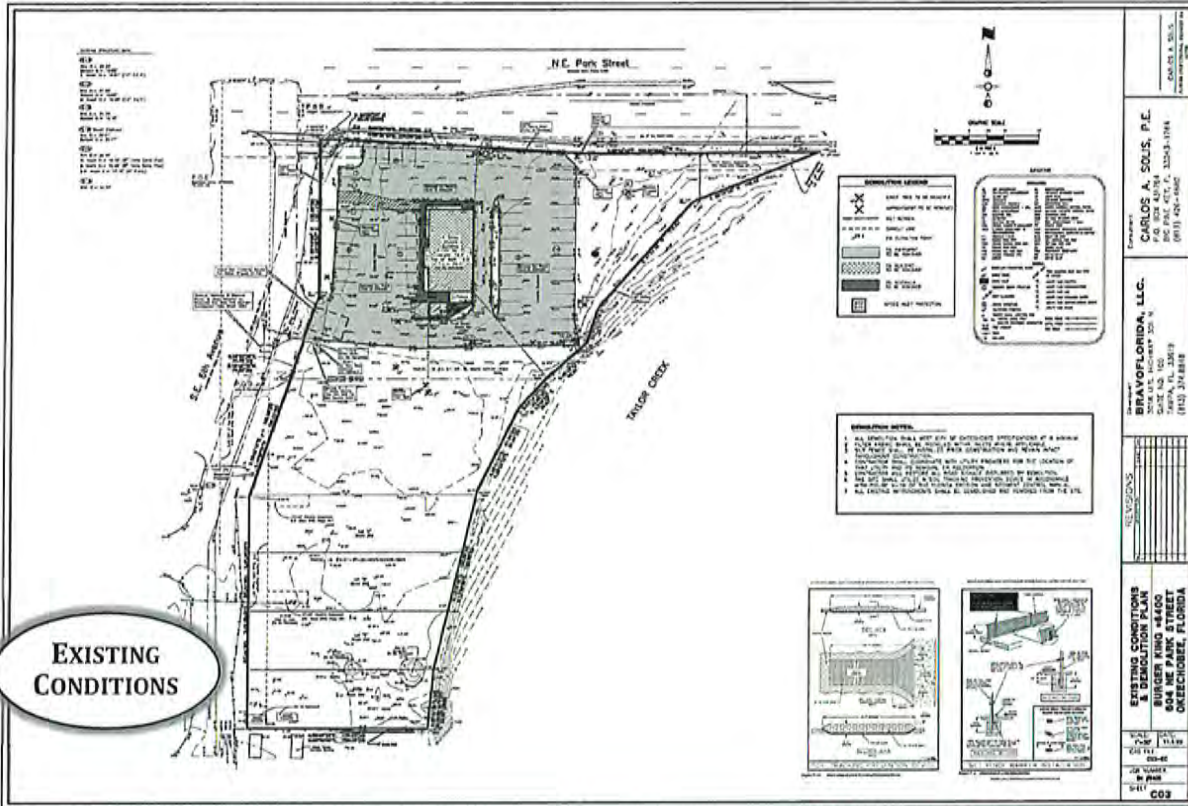




TABLE 1.0 PROJECT SITE TRIP GENERATION ESTIMATE SUMMARY

Existing Site Conditions

ITE LUC	Land Use Description	Size	Daily Trips	AM Peak Hour			PM Peak Hour		
				Trips	Enter	Exit	Trips	Enter	Exit
934	Fast-Food Restaurant with Drive Through	2,720 sf	1,282	109	56	53	89	46	43
	Pass-By Trips		512	53	27	26	44	22	22
	New External Trips		770	56	29	27	45	24	21

Proposed Site Conditions

ITE LUC	Land Use Description	Size	Daily Trips	AM Peak Hour			PM Peak Hour		
				Trips	Enter	Exit	Trips	Enter	Exit
934	Fast-Food Restaurant with Drive Through	3,910 sf	1,842	157	80	77	128	67	61
	Pass-By Trips		736	77	39	38	63	32	31
	New External Trips		1,106	80	41	39	65	35	30

Trip Differential

Trip Type	Daily Trips	AM Peak Hour			PM Peak Hour		
		Trips	Enter	Exit	Trips	Enter	Exit
Driveway Trips	560	48	24	24	39	21	18
New External Trips	336	24	12	12	20	11	9



3.0 TRAFFIC IMPACTS

Pursuant to the trip generation estimate summarized in Table 1.0, the following summarizes the current and post-redevelopment traffic impacts for the subject Burger King site.

- The project site is estimated to currently generate 1,282 daily *driveway* trips and is anticipated to generate 1,842 daily *driveway* trips upon redevelopment, resulting in a **net increase of 560** daily *driveway* trips.
- The project site is estimated to currently generate 760 *new external* daily trips and is anticipated to generate 1,106 *new external* daily trips upon redevelopment, resulting in a **net increase of 336** *new external* daily trips.
- The project site is estimated to currently generate 109 AM peak hour *driveway* trips and is anticipated to generate 157 AM peak hour *driveway* trips upon redevelopment, resulting in a **net increase of 48** AM peak hour *driveway* trips.
- The project site is estimated to currently generate 56 *new external* AM peak hour trips and is anticipated to generate 80 *new external* AM peak hour trips upon redevelopment, resulting in a **net increase of 24** *new external* AM peak hour trips.
- The project site is estimated to currently generate 89 PM peak hour *driveway* trips and is anticipated to generate 128 PM peak hour *driveway* trips upon redevelopment, resulting in a **net increase of 39** PM peak hour *driveway* trips.
- The project site is estimated to currently generate 45 *new external* PM peak hour trips and is anticipated to generate 65 *new external* PM peak hour trips upon redevelopment, resulting in a **net increase of 20** *new external* PM peak hour trips.

SITE CONSTRUCTION PLANS FOR:
BURGER KING #6400
604 NE PARK STREET
OKEECHOBEE, FL.

SECTION 15, TOWNSHIP 37 SOUTH, RANGE 35 EAST

LEGAL DESCRIPTION

All that parcel of land lying South of State Road #70 (North Park Street), West of Taylor Creek, East of S.E. 6th Avenue (Meridith Avenue), as now constructed and maintained, and North of the South line of Lot "D", Block 252, according to the Plat thereof as recorded in Plat Book 2, page 4, public records of Okeechobee County, Florida. Lying in Sections 15 and 22, Township 37 South, Range 35 East, being more particularly described as follows:

AS SURVEYED LEGAL DESCRIPTION:

COMMENCE at the Southwest corner of Section 15, Township 37 South, Range 35 East, Okeechobee County, Florida; thence North 00°05'11" West along the east line of said Section 15 a distance of 60.96 feet; thence North 89°54'49" East a distance of 1479.53 feet; thence South 00°05'11" East a distance of 49.44 feet; thence South 89°50'26" East a distance of 20.00 feet to a nail and cap marking the intersection of S.E. 6th Avenue (Variable width right of way) with the Southerly right of way of N.E. Park Street (Variable width right of way) and the POINT OF BEGINNING of the following described parcel; thence along said Southerly right of way line the following courses: South 89°50'32" East a distance of 30.35 feet to a nail and cap; thence South 86°39'10" East a distance of 200.09 feet to a nail and cap; thence North 89°55'05" East a distance of 202.00 feet to a rebar marking the intersection of said Southerly right of way line with the Westerly Top of Bank of Taylor Creek; thence South 68°37'28" West along said Top of Bank a distance of 118.73 feet to a rebar; thence South 41°51'32" West along said Top of Bank a distance of 119.23 feet to a rebar; thence South 17°13'13" West along said Top of Bank a distance of 32.71 feet to a rebar; thence South 48°47'42" West along said Top of Bank a distance of 46.99 feet to a rebar; thence North 89°47'26" West a distance of 221.17 feet to a rebar on the aforesaid Easterly right of way line of S.E. 6th Avenue; thence North 18°50'29" East along said Easterly right of way line a distance of 74.76 feet to a rebar; thence North 00°02'22" East a distance of 134.19 feet to the POINT OF BEGINNING.

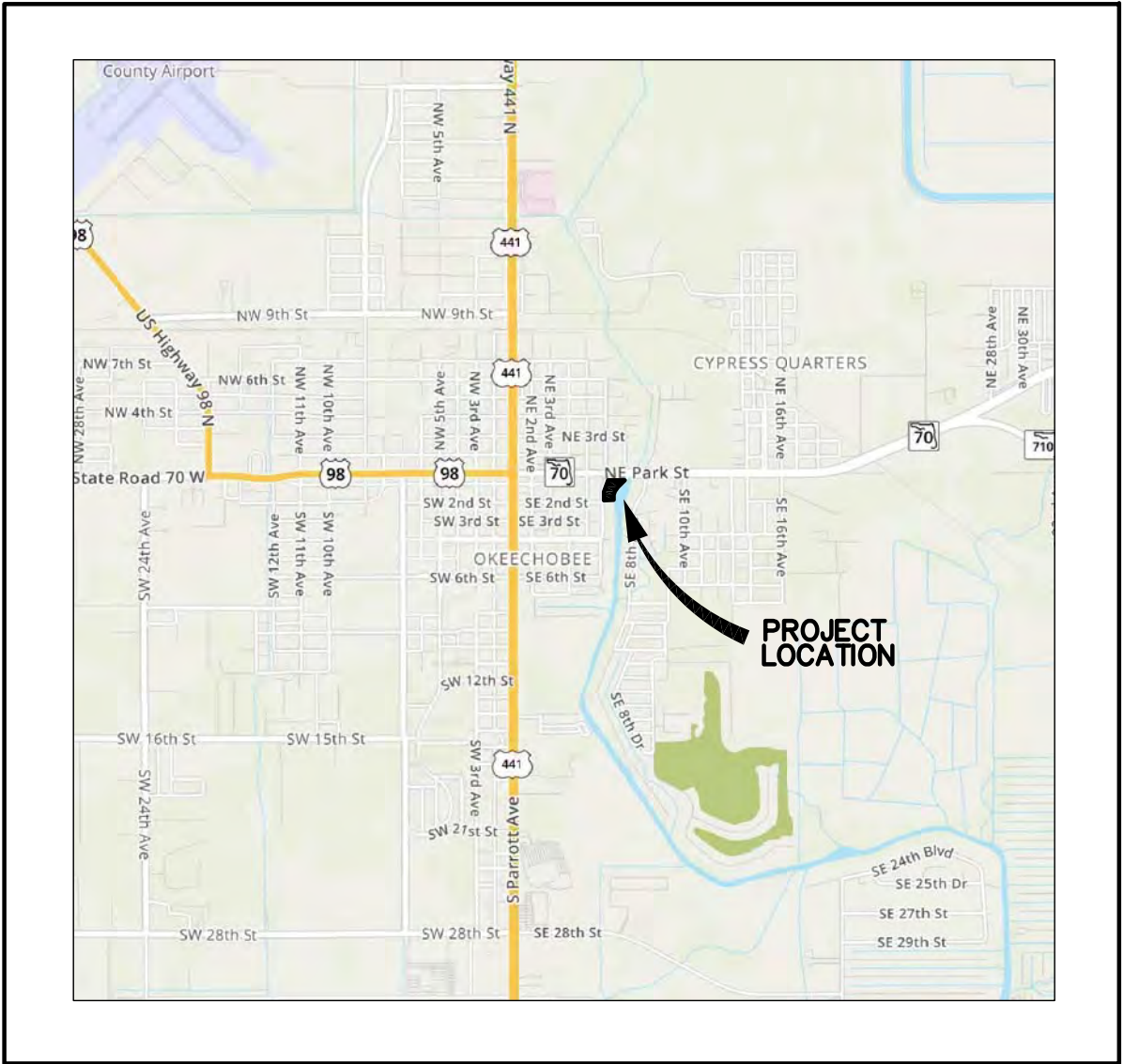
Property surveyed and shown hereon is the same property as described in title commitment number 17050121, dated December 14, 2018, revised December 21, 2018 prepared by Old Republic National Title Insurance Company.

TOGETHER WITH:

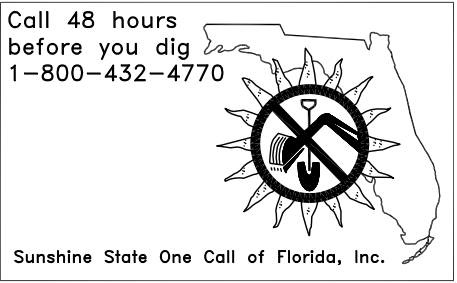
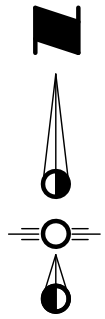
The land referred to herein below is situated in the County of OKEECHOBEE, State of Florida, and described as follows:

Being a portion of that certain parcel of land as described in O.R. Book 297, Page 1831, of the Public Records of Okeechobee County, Florida, being bounded on the North by the North Right-of-Way line of the now abandoned Florida East Coast Railroad, on the East by the West top of bank of Taylor Creek, on the West by the East Right-of-Way line of S. E. 6th Avenue (Meredith Avenue), as now constructed and maintained, and on the South by the South boundary line of Lot "D", Block 252, according to the Plat thereof as recorded in Plat Book 2, Page 4, Public Records of Okeechobee County, Florida, lying in Section 22, Township 37 South, Range 35 East, and being more particularly described as follows: Commence at the Northwest corner of said Section 22, thence bear North 00° 05' 11" West for a distance of 60.96 feet to the intersection with the centerline of State Road 70 (North Park Street), thence bear North 89° 54' 49" East, along said centerline of S. R. 70, for a distance of 1479.53 feet to the intersection with the centerline of N. E. 6th Avenue extended South; thence bear South 00° 05' 11" East, along said centerline extension for a distance of 49.44 feet to the intersection with the said South Right-of-Way line of S. R. 70, as now maintained and located; thence bear South 89° 50' 26" East, along said South Right-of-Way line, for a distance of 20.00 feet to the Point of Intersection with the said East Right-of-Way line of S. E. 6th Avenue. Said point being also the Northwest corner of said O.R. Book 297, Page 1831; thence bear South 00° 10' 06" East, along said East Right-of-Way line, and along the West boundary line of said O.R. Book 297, Page 1831, for a distance of 135.48 feet to a point; thence bear South 18° 42' 16" West, continuing along said East Right-of-Way line, and along said West boundary line for a distance of 74.52 feet to the Point of Beginning; thence continue South 8° 42' 16" West along said East Right-of-Way line and along said West boundary line for a distance of 105.63 feet to a point; thence bear South 00° 09' 40" East, continuing along said East Right-of-Way line and along said West boundary line for a distance of 199.74 feet to the Southwest corner of said Lot "D", Block 252; thence bear North 89° 54' 49" East, along the South boundary line of said Lot "D", Block 252, for a distance of 155.23 feet to the intersection with the said West top of bank of Taylor Creek; thence bear North 05° 09' 40" East, along said West top of bank, for a distance of 50.87 feet to a point; thence bear North 13° 08' 59" East, continuing along said West top of bank, for a distance of 155.88 feet to a point; thence bear North 26° 23' 32" East, continuing along said West top of bank for a distance of 81.04 feet to a point; thence bear North 43° 06' 26" East, continuing along said West top of bank for a distance of 34.03 feet to the intersection with the said North Right-of-Way line of the now abandoned Florida East Coast Railroad; thence bear South 89° 54' 49" West, along said North Right-of-Way line, for a distance of 221.23 feet to the Point of Beginning.

Property surveyed and shown hereon is the same property as described in title commitment number 19-34712, dated October 2, 2019, prepared by Alliant National Title Insurance Company.



VICINITY MAP



Call 48 hours
before you dig
1-800-432-4770

GOVERNING SPECIFICATIONS: STATE OF FLORIDA
DEPT. OF TRANSPORTATION, STANDARD SPEC-
IFICATIONS, LATEST EDITION

CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE
CITY OF OKEECHOBEE STANDARDS AND SPECIFICATIONS.

CIVIL ENGINEER

CARLOS A. SOLIS, P.E.

P.O. Box 431764
Big Pine Key, FL 33043-1764
(813) 426-4880

Email: cas58@earthlink.net

OWNER:

BRAVOFLORIDA, LLC.

3018 U.S. Highway 301 N.
Suite 100
Tampa, Florida, 33619
813-559-8256
Email: rkendall@qdi.com

INDEX OF DRAWINGS

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PROJECT DATA TABLE

ADDRESS:	604 NE PARK STREET OKEECHOBEE, FL. 34972
TOTAL SITE AREA:	111,435 S.F. or 2.56 ACRES
EXISTING ZONING:	HEAVY COMMERCIAL (CHV)
PARCEL I.D. NUMBER:	3-21-37-35-0020-02520-00A0 (1.32 AC.) 3-21-37-35-0020-02520-00A1 (1.24 AC.)
NUMBER OF STORIES:	1-STORY
BUILDING HEIGHT:	25 FEET
PROP. FLOOR AREA RATIO (FAR):	0.04
BUILDING SETBACKS:	NORTH 20 FEET WEST 20 FEET SOUTH 8 FEET EAST 8 FEET
BUILDING:	
CLASSIFICATION:	A2
TYPE OF CONSTRUCTION:	VB
MAXIMUM BUILDING HEIGHT	25' - 0"
NUMBER OF STORIES:	1-STORY
NUMBER OF SEATS:	70
FLOOD ZONE CLASSIFICATION:	FLOOD ZONE "X" & "AE" PER FLOOD INSURANCE RATE MAP, COMMUNITY NO. 120178, PANEL NO. 0480, SUFFIX C, EFFECTIVE 7/16/15. (B.F.E.=16.00)
EXISTING IMPERVIOUS AREA:	34,842 SF 31.3%
PROPOSED IMPERVIOUS AREA:	41,720 SF 37.4%

EXISTING SITE AREA DESCRIPTION

DESCRIPTION	SQUARE FEET	PERCENTAGE
SIDEWALK	1,331	1.2
BUILDING	3,070	2.8
PAVEMENT	30,441	27.3
OPEN SPACE	76,593	68.7
TOTAL	111,435	100

PROPOSED SITE AREA DESCRIPTION

DESCRIPTION	SQUARE FEET	PERCENTAGE
SIDEWALK	1,563*	1.4
BUILDING	3,910	3.5
PAVEMENT	36,247	32.5
POND	8,144	7.3
OPEN SPACE	61,571	55.3
TOTAL	111,435	100

(* EXCLUDES FUTURE SIDEWALK)

PARKING REQUIRED: 52 SPACES (1 SPA. PER 75 S.F.) (3,910 S.F.)
PARKING PROVIDED: 52 SPACES INCLUDING 3 HANDICAP SPACES

UTILITY PROVIDERS:

WATER

OKEECHOBEE UTILITY AUTHORITY
JOHN F. HAYFORD, P.E.
100 SW 5TH AVENUE
OKEECHOBEE, FL. 34974
863-763-9460

SEWER

OKEECHOBEE UTILITY AUTHORITY
JOHN F. HAYFORD, P.E.
100 SW 5TH AVENUE
OKEECHOBEE, FL. 34974
863-763-9460

GAS

FLORIDA PUBLIC UTILITIES CO.
BRAD COLLINS
P.O. BOX 3395
WEST PALM BEACH, FL. 33402
561-252-3308

TELEPHONE

CENTURYLINK
BILL McCLOUD
1325 BLAIRSTONE ROAD RM 113
TALLAHASSEE, FL. 32301
850-599-1444

ELECTRIC

FLORIDA POWER & LIGHT-OKEECHOBEE
JOEL BRAY
CONTACT BY PHONE
-
386-586-6403

CABLE

COMCAST-BOCA DELRAY
JOHN SCOTT STRAHN
10435 IRONWOOD ROAD
PALM BEACH GRADENS, FL. 33410
561-227-3417

CONSTRUCTION SURFACE WATER MANAGEMENT PLAN

The following notes have been developed for the Contractor's use in generating a Stormwater Pollution Prevention Plan in accordance with the Florida Department of Environmental Protection's (FDEP) ~~Generic Permit For Stormwater Discharge from large and small Construction Activities~~. The aforementioned Construction General Permit (CGP) constitutes authorization to discharge stormwater associated with industrial activity to surface waters under the EPA's "National Pollutant Discharge Elimination System" (NPDES).

The following entities are identified as team members of SWPPP: The Developer as identified on the cover sheet of these plans, and the site contractor and his subcontractors. Each team member has specific responsibilities and obligations. In general, all team members, with regard to their involvement and responsibilities on the project, are to implement all necessary stormwater management controls to assure compliance with the CGP, the South Florida Water Management District Permit and the guidelines listed in the SWPPP. The duties and responsibilities of the team members as they pertain to the SWPPP are as follows:

Developer

A. Submit and obtain the necessary design-related stormwater permits from the Florida Department of Environmental Protection, the Southwest Florida Water Management District and other applicable governmental bodies.

B. Submit to SFWMD and the operator of the municipal separate stormwater system, if applicable, a copy of the Notice of Intent.

Contractor

A. Upon notification by the developer of his intent to commence construction, submit a Notice of Intent to the Department of Environmental Protection on behalf of the developer, along with the Certification of the Stormwater Pollution Prevention Plan. Also, submit the SFWMD permit number or completeness letter if the permit number is not yet available. This submittal will be made no later than 48 hours prior to beginning of construction.

B. Develop Stormwater Pollution Prevention Plan (SWPPP including, but not limited to, retention/detention ponds, control structures, erosion control methods and locations and stabilization criteria). This design is depicted within these construction plans and the following notes and instructions.

C. During construction, assure compliance with the designed Stormwater Pollution Prevention Plans and the FDEP Generic Permit For Stormwater Discharge From Construction Activities That Disturb Five or More Acres of Land.

D. Maintain a copy of the construction plans, which include the Stormwater Pollution Prevention Plan, the NOI and all inspection reports and certifications on site.

E. Undertake all reasonable Best Management Practices (BMPs) to assure that silted or otherwise polluted stormwater is not allowed to discharge from the site during all phases of construction. Stabilization BMP's that may be used include: temporary or permanent seeding, mulching, geotextiles, sodding, vegetative buffer strips, protection of trees and preservation of mature vegetation. Structural erosion and sediment control BMP's that may be used include: straw bale dikes, silt fences, earth dikes, brush barriers, drainage swales, check dams, subsurface drain, pipe slope drain, level spreaders, storm drain inlet protection, outlet protection, sediment traps, and temporary sediment basins. Detention ponds shall be used as temporary sediment basins. Additional BMP's that may need to be implemented include: Provide protected storage areas for chemicals, paints, solvents, fertilizers, and other potentially toxic materials; Providing waste receptacles at convenient locations and provide regular collection of wastes, including building material wastes; Minimizing off-site tracking of sediments; Making adequate preparations, including training and equipment to contain spills of oil and hazardous materials; Complying with applicable state or local waste disposal, sanitary sewer or septic system regulations and the use of appropriate pollution prevention measures for allowable non-storm water components of discharge.

F. Notify the developer in writing of any non-storm water pollution sources which are being stored, or otherwise used during the construction of the project, i.e., fertilizers, fuels, pesticides, other chemicals. This notification should be accompanied with the contractor's design and methods to prevent pollution run-off from these sources.

G. Develop a maintenance and inspection plan which includes, but is not limited to the following:

- The specific areas to be inspected and maintained that includes all the disturbed areas and material storage areas of the site.
- The erosion and sediment controls identified in the SWPPP to be maintained and inspected and those additional controls which the contractor deems necessary.
- Maintenance procedures.
- The procedure to follow if additional work is required or whom to call.
- Inspections and maintenance forms.
- The personnel assigned to each task.

H. Complete and submit a Notice of Termination. The NOT shall be submitted no more than 14 days after completion of the project and final stabilization of the site. Final stabilization as defined by FDEP is when all soil disturbing activities at the site have been completed and uniform (e.g. evenly distributed, without large bare areas) perennial vegetative cover with a density of 70 % of the native background vegetative cover for the area has been established on all unpaved areas and areas not covered by permanent structures. As an alternative, equivalent permanent stabilization measures (such as rip rap, gabions, or geotextiles) may be employed. The contractor shall notify the Engineer and developer when this criteria is met.

H. The following shall be inspected a minimum of once a week or within 24 hours after 0.25 inches of rainfall:

- Stabilization measures (once a month if fully stabilized).
- Structural controls.
- Discharge points.
- Construction entrances and exits.
- Areas used for storage of exposed materials.

I. An inspection form shall be completed for each inspection. Any permit violations should be noted and corrective measures to be taken shall be noted. If revisions to the SWPPP are needed, a report form for changes in the SWPPP shall be completed and a copy sent to the developer. The original shall be kept on-site as documentation of the change. If the inspection poses, a certification that the facility is in compliance with the SWPPP and the Generic Permit must be signed by one of the following:

- The principal executive officer or ranking elected official of the operator of the SWPPP.
- A duly authorized representative of the principal executive official of the operator of the SWPPP.

J. Retain inspection reports and certifications for at least three years.

K. Initiate site stabilization measures no more than 14 days after construction activities have temporarily or permanently ceased on any major portion of the site except when construction will resume within 21 days.

L. Sign and submit to the developer certification that construction and final stabilization as defined under Part E of the developer section of the SWPPP has been completed.

M. The contractor is responsible for implementation of each measure identified in the SWPPP and shall provide documentation certifying that before conducting any professional service identified in the SWPPP: That under penalty of law that I understand the terms and conditions of the generic stormwater permit issued pursuant to Section 403.0885, F.S., that authorizes the stormwater discharges associated with industrial activity from the construction site identified as part of this certification.

STORMWATER OPERATIONS AND MAINTENANCE INSTRUCTIONS:

OPERATION: BURGER KING IS RESPONSIBLE FOR O&M

MAINTENANCE:

Pipes and Inlets

Maintenance of the system shall consist of the following:
The structures of the system consist of inlets with grated covers and interconnected storm drain piping system. Periodic inspection inspection of these items shall consist of removing the grated covers and checking and removing for trash or debris that may have accumulated inside the structure restricting the flow necessary to the function of the system.
The bottom of the inlets shall be vacuumed out on a yearly basis.

Pond

The pond shall be sodded and shall be mowed on a regular basis and cleaned of any debris.

WATER & SEWER CROSSINGS & PARALLEL INSTALLATION NOTES:

New or relocated, underground water mains shall be laid to provide a horizontal distance of at least six feet, and preferably ten feet, between the outside of the water main and the outside of any existing or proposed gravity- or pressure-type sanitary sewer, wastewater force main, or pipeline conveying reclaimed water not regulated under Part III of Chapter 62-610, F.A.C. The minimum horizontal separation distance between water mains and gravity-type sanitary sewers shall be reduced to three feet where the bottom of the water main is laid at least six inches above the top of the sewer. New or relocated, underground water mains crossing any existing or proposed gravity- or vacuum-type sanitary sewer shall be laid so the outside of the water main is at least six inches, and preferably 12 inches, above or at least 12 inches below the outside of the other pipeline. However, it is preferable to lay the water main above the other pipeline.

At the utility crossings described above, one full length of water main pipe shall be centered above or below the other pipeline so the water main joints will be as far as possible from the other pipeline. Alternatively, at such crossings, the pipes shall be arranged so that all water main joints are at least three feet from all joints in vacuum-type sanitary sewers, or pipelines conveying reclaimed water regulated under Part III of Chapter 62-610, F.A.C., and at least six feet from all joints in gravity- or pressure-type sanitary sewers, wastewater force mains, or pipelines conveying reclaimed water not regulated under Part III of Chapter 62-610, F.A.C.

GENERAL NOTES:

- The proposed Burger King parcel shown hereon falls within Zone "X" and "AE", according to the Flood Insurance Rate Map, Community Number 120178 Panel Number 0480 C. Effective date July 16, 2015. (B.F.E.=16.0)
- Boundary & Topographic surveys used for design purposes was provided by Briggs, Washington & Thompson Land Surveying, dated August 13, 2018 and October 1, 2019.
- The location of existing utilities are approximate as shown and it is the contractor's responsibility to determine the exact location of the utilities prior to construction in their vicinity. The contractor shall notify all concerned public agencies and utility companies in the area before beginning construction, including "Sunshine" at 1-800-432-4770.
- Prior to beginning work, the contractor shall expose all existing utilities to be extended or crossed. Any conflicts shall be brought to the engineer's attention for resolution.
- The contractor is to exercise extreme caution in the vicinity of trees to remain and is responsible for any damage resulting from his work.
- All roadway spot elevations refer to pavement or edge of pavement elevations, unless otherwise shown.
- Prior to casting structures, the contractor shall submit electronic copies of shop drawings to the Engineer for review. Shop drawings (as applicable) shall include:
 - Dip/pvc certificate of manufacture.
 - Manhole shop drawings and strength report.
 - Frame and cover shop drawings.
 - Flexible coupling shop drawings.
 - Crushed stone submittal.
 - Valve shop drawing.
 - Double detector check valve assembly details
 - Backflow preventor details
 - Manhole drop connection details.
 - Storm structures and piping
 - Paving data
- All design and construction must conform to the minimum standards set forth in the City of Okeechobee Land Development Code and the Okeechobee Utility Authority Utility Standards.
- The contractor shall keep record drawings of the work and shall submit one certified copy, prepared by a registered land surveyor to the engineer prior to final payment.
- Construction material testing will be provided by the contractor.
- Contractor to notify the Okeechobee Utility Authority Utility Department at least 48 hours in advance of utility installation.
- Parking spaces shall be delineated with 6-inch white stripes. Handicap spaces per details, stop bars (24" wide). All pavement markings shall be in accordance with MUTCD standards.
- All right-of-way installations will be in accordance with practices referenced in the State of Florida Utilities Accommodations Manual.
- Utility installations involving concrete and asphalt driveway, in good condition must be accomplished by open cut, jack and bore or pushing. No jetting will be allowed.
- All existing traffic signs shall be maintained throughout construction.
- Material quality and workmanship shall be in accordance with current FDOT specifications as modified by Section 7-3.1.
- All improvements shall comply with the City of Okeechobee Land Development regulations, such as Tree and Landscape Code, Stormwater Management Regulations and Fire Codes applicable to the project at time of permitting.
- Water service provided by the Okeechobee Utility Authority Utility Department.
- Sanitary Sewer service provided by Okeechobee Utility Authority Utility Department.
- Prior to any construction/demolition, contractor shall schedule a pre construction meeting with utility providers and the City of Okeechobee and shall coordinate meeting with owner.

REFERENCED SPECIFICATIONS (LATEST EDITIONS):

- Florida Department of Transportation Standard Specifications and Standard Plans
- City of Okeechobee Land Development Regulations.
- F.D.E.P. requirements and standards for water and wastewater construction and testing.
- Okeechobee Utility Authority Water and Wastewater Utility Manual.

SIGNING AND STRIPING NOTES:

- Signing and striping notes refer to the latest version of the City of Okeechobee Standard Specifications and shall comply with these standards.
- All existing signing that conflicts with proposed signing shall be removed.
- All signs shall be standard size unless otherwise noted.
- All parking restriction signs shall have engineering grade reflective sheeting. All other signs shall have diamond grade reflective sheeting.
- New signs shall be installed on street light poles or 2" diameter tubular galvanized steel posts with vandal-resistant hardware. The posts shall be set in concrete. One or more sign panels mounted on a single sign post or street light pole shall be counted as one roadside sign installation unless otherwise noted.
- Signs shall be mounted so that the bottom of the sign is at least seven feet from the finished grade in areas where pedestrians may be present, even if there is no sidewalk. To satisfy this requirement, existing post may have to be replaced if additional signs are added.
- Where possible, at least two feet of clearance should be provided from curb face to edge of sign.
- All striping and markings shall be reflectorized unless otherwise directed.
- All existing striping and markings that conflict with proposed striping and markings will be removed by milling or sandblasting of pavement.
- Blue reflective pavement markers shall be placed across from all fire hydrants.
- All traffic control signs and pavement markings shall comply with the manual of uniform traffic control devices.

EARTHWORK NOTES:

- The contractor shall install silt fence and tree barricades as shown on construction plans. The city of Okeechobee should be contacted to inspect silt fence and tree barricades prior to commencement of earthwork operations.
- Upon issuance of Clearing Permit, contractor shall remove and dispose of trees called for such on plans. All ground vegetation and topsoil within the limits of construction shall be removed. Any unsuitable material encountered shall be removed to the satisfaction of the geotechnical engineer. All organic soils/debris should be removed.
- Contractor shall backfill all landscape areas with clean fill material.
- After clearing operations, the exposed subgrade should be evaluated and proof rolled as directed by the geotechnical engineer. Proof rolling shall consist of compaction with a large-diameter, heavy vibratory drum roller. Observation should be made to identify any areas of yielding soils that may require over excavation and replacement, as determined by the geotechnical engineer.
- The Geotechnical Report and recommendations shall become a part of these construction documents.

STORM SEWER NOTES:

- Pipe measurements are to center of structure.
- Storm piping shall be ADS N-12.
- All installations, shall be in accordance with the City of Okeechobee standards, FDOT standard specifications and standard plans and the Okeechobee Utility Authority. (Unless noted otherwise)

CONSULTANT:
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P.O. BOX 431764
BIG PINE KEY, FL 33043-1764
(813) 426-4880
CARLOS A. SOLIS
FLORIDA PROFESSIONAL ENGINEER No. 42758

DEVELOPER:
BRAVOFLORIDA, LLC.
3018 U.S. HIGHWAY 301 N.
SUITE NO. 100
TAMPA, FL 33619
(813) 374.2413

REVISIONS

No.	DESCRIPTION	DATE	BY
1			
2			

GENERAL NOTES

BURGER KING #6400
604 NE PARK STREET
OKEECHOBEE, FLORIDA

SCALE:
NTS

DATE:
1.11.19

CAD FILE:
C02-GN

JOB NUMBER:
BK #6400

SHEET
C02

This item has been digitally signed and sealed by Carlos A. Solis, PE #42758 using a SHA-1 authentication code.
Printed copies of this document are not considered signed and sealed and the SHA-1 authentication code must be verified on any electronic copies.

EXISTING STRUCTURE DATA

S-1
Rim El.= 22.22'
Bottom El.= 19.62'
E. Invert El.= 19.87' (12" R.C.P.)

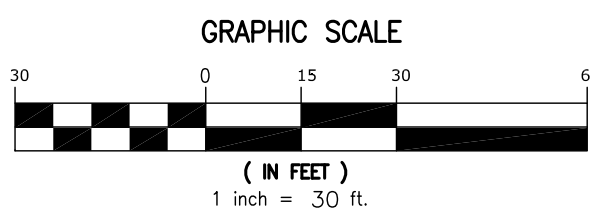
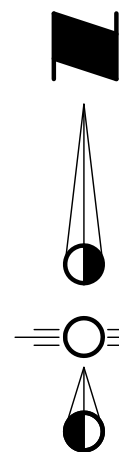
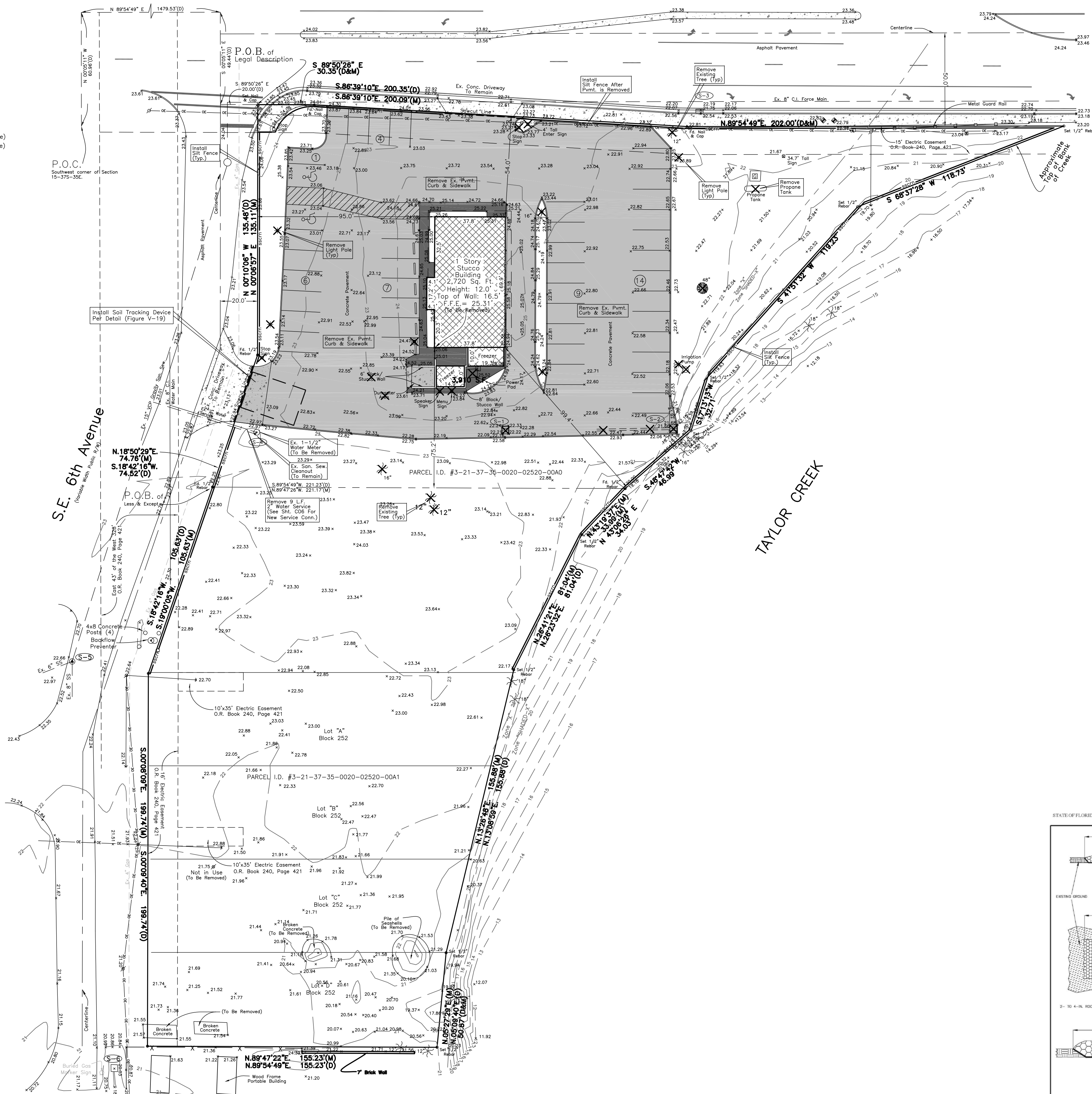
S-2
Rim El.= 21.66'
Bottom El.= 18.86'
W. Invert El.= 19.08' (12" R.C.P.)

S-3
Rim El.= 21.75'
Bottom El.= 19.18'

S-4 Sewer Cleanout
Rim El.= 24.61'
Bottom El.= 20.11'

S-5
Rim El.= 22.68'
N. Invert El.= 14.55' (8" Terra Cotta Pipe)
S. Invert El.= 14.39' (8" Terra Cotta Pipe)
S.W. Invert El.= 17.18' (6" P.V.C.)

S-6
Rim El.= 22.03'



DEMOLITION LEGEND

- 18" X X EXIST. TREE TO BE REMOVED
- X — IMPROVEMENT TO BE REMOVED
- sscrn — SILT SCREEN
- - - SAWCUT LINE
- +28.5 EX. ELEVATION POINT
- EX. PAVEMENT TO BE REMOVED
- EX. BUILDING TO BE REMOVED
- EX. SIDEWALK TO BE REMOVED
- NPDES INLET PROTECTION

LEGEND

- ABBREVIATIONS
- | | | | |
|------|--------------------------------------|------|----------------------------------|
| AC | AIR CONDITIONER | ID | IDENTIFICATION |
| CD | CALCULATED MEASUREMENT | LB | LICENSED BUSINESS NUMBER |
| CL | CLEAN OUT | LP | LIGHT POLE |
| CONC | CONCRETE | LS | LICENSED SURVEYOR |
| CSW | CONCRETE SIDEWALK | MM | MONITORING WELL |
| DD | DEED MEASUREMENT - CALL | NAD | NORTH AMERICAN VERTICAL DATUM |
| (F) | FIELD MEASUREMENT | NOVD | NATIONAL GEODETIC VERTICAL DATUM |
| EBX | ELECTRIC BOX | OWH | OVERHEAD WIRE |
| EL | ELEVATION | ORB | OFFICIAL RECORDS BOOK |
| EM | ELECTRIC METER | (F) | FLAT MEASUREMENT - CALL |
| FCM | FOUND CONCRETE MONUMENT | PPM | PERMANENT REFERENCE MONUMENT |
| FDOT | FLORIDA DEPARTMENT OF TRANSPORTATION | PSM | PROFESSIONAL SURVEYOR & MAPPER |
| FF | FINISHED FLOOR | R/W | RIGHT-OF-WAY |
| FR | FOUND IRON PIPE | SCR | SET CAPPED IRON ROD |
| FRR | FOUND RIGID ROD | SND | SET NAIL AND DISK |
| FND | FOUND NAIL AND DISK | SV | SEWER VALVE |
| FPP | FOUND PINCHED PIPE | TM | TEMPORARY BENCHMARK |
| INV | INVERT | WM | WATER METER |
| | | WV | WATER VALVE |
- SYMBOLS
- | | |
|---|--|
| BACKFLOW PREVENTION DEVICE | TREE LOCATION (SIZE AND TYPE AS NOTED) |
| CABLE RISER | UTILITY FLAG - ELECTRIC |
| GRATE INLET | UTILITY FLAG - COMMUNICATIONS |
| SANITARY SEWER STRUCTURE | UTILITY FLAG - GAS |
| SPOT ELEVATION | UTILITY FLAG - RECLAIMED WATER |
| STORM STRUCTURE | UTILITY FLAG - SANITARY/STORM SEWER |
| TELEPHONE PEDESTAL | UTILITY FLAG - WATER |
| TRAFFIC SIGNAL JUNCTION BOX | WOOD FENCE |
| TRAFFIC SIGNAL POLE (UNLESS OTHERWISE DESIGNATED) | METAL FENCE |
| FIRE HYDRANT | PVC FENCE |
| SIGN | |
| BOLLARD | |

DEMOLITION NOTES:

1. ALL DEMOLITION SHALL MEET CITY OF OKEECHOBEE SPECIFICATIONS AT A MINIMUM.
2. FILTER FABRIC SHALL BE INSTALLED WITHIN INLETS WHERE APPLICABLE.
3. SILT FENCE SHALL BE INSTALLED PRIOR CONSTRUCTION AND REMAIN INTACT THROUGHOUT CONSTRUCTION.
4. CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR THE LOCATION OF THAT UTILITY AND ITS REMOVAL OR RELOCATION.
5. CONTRACTOR WILL RESTORE ALL ROAD SIGNAGE DISTURBED BY DEMOLITION.
6. THE SITE SHALL UTILIZE A SOIL TRACKING PREVENTION DEVICE IN ACCORDANCE WITH FIGURE V-19 OF THE FLORIDA EROSION AND SEDIMENT CONTROL MANUAL.
7. ALL EXISTING IMPROVEMENTS SHALL BE DEMOLISHED AND REMOVED FROM THE SITE.

STATE OF FLORIDA E&S/C DESIGNER & REVIEWER MANUAL, LATEST EDITION: JULY 2013

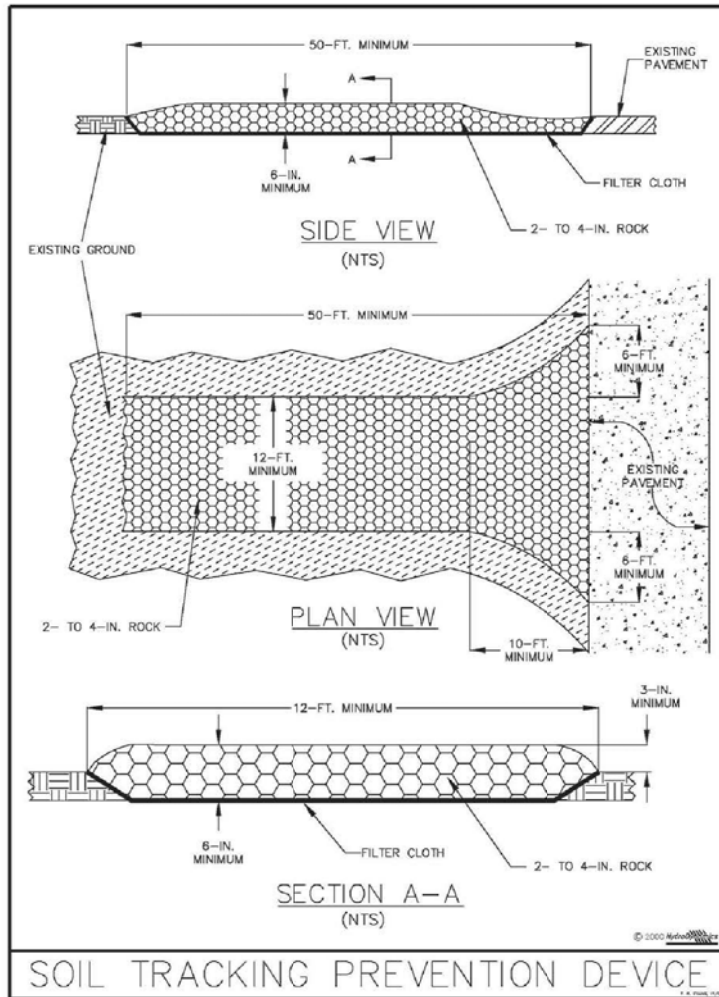


Figure V-19: Illustration of a Soil Tracking Prevention Device

STATE OF FLORIDA E&S/C DESIGNER & REVIEWER MANUAL, LATEST EDITION: JULY 2013

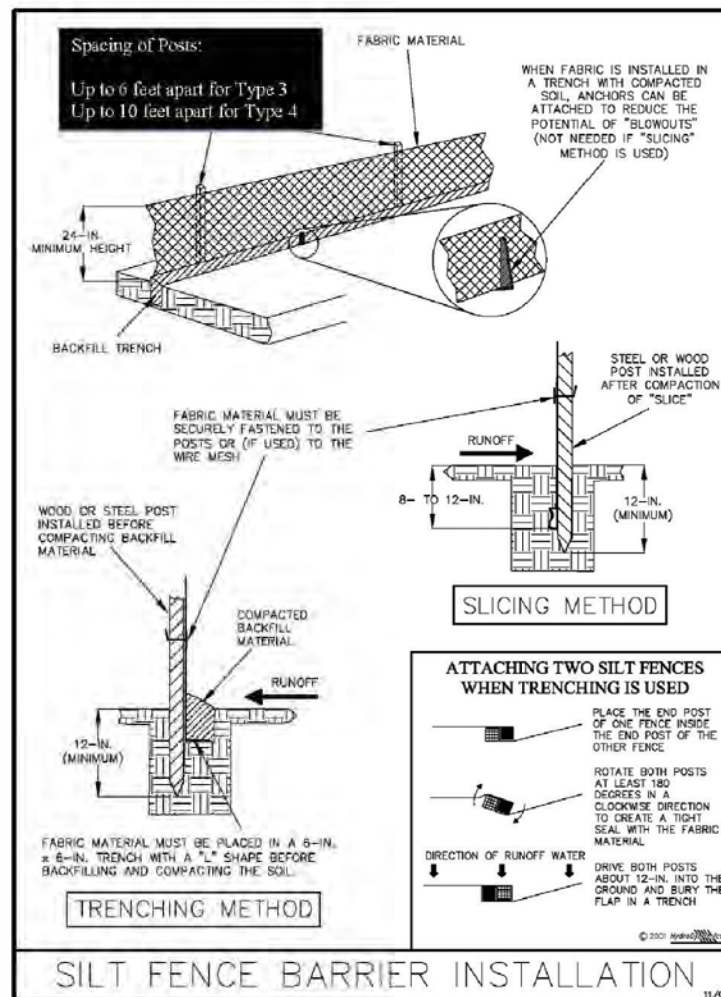


Figure V-2: Illustration of a Silt Fence Barrier

Consultant:

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BIG PINE KEY, FL 33043-1764
(813) 426-4880

Developer:

BRAVOFLORIDA, LLC.
3018 U.S. HIGHWAY 301 N.
SUITE NO. 100
TAMPA, FL 33619
(813) 374-8848

REVISIONS

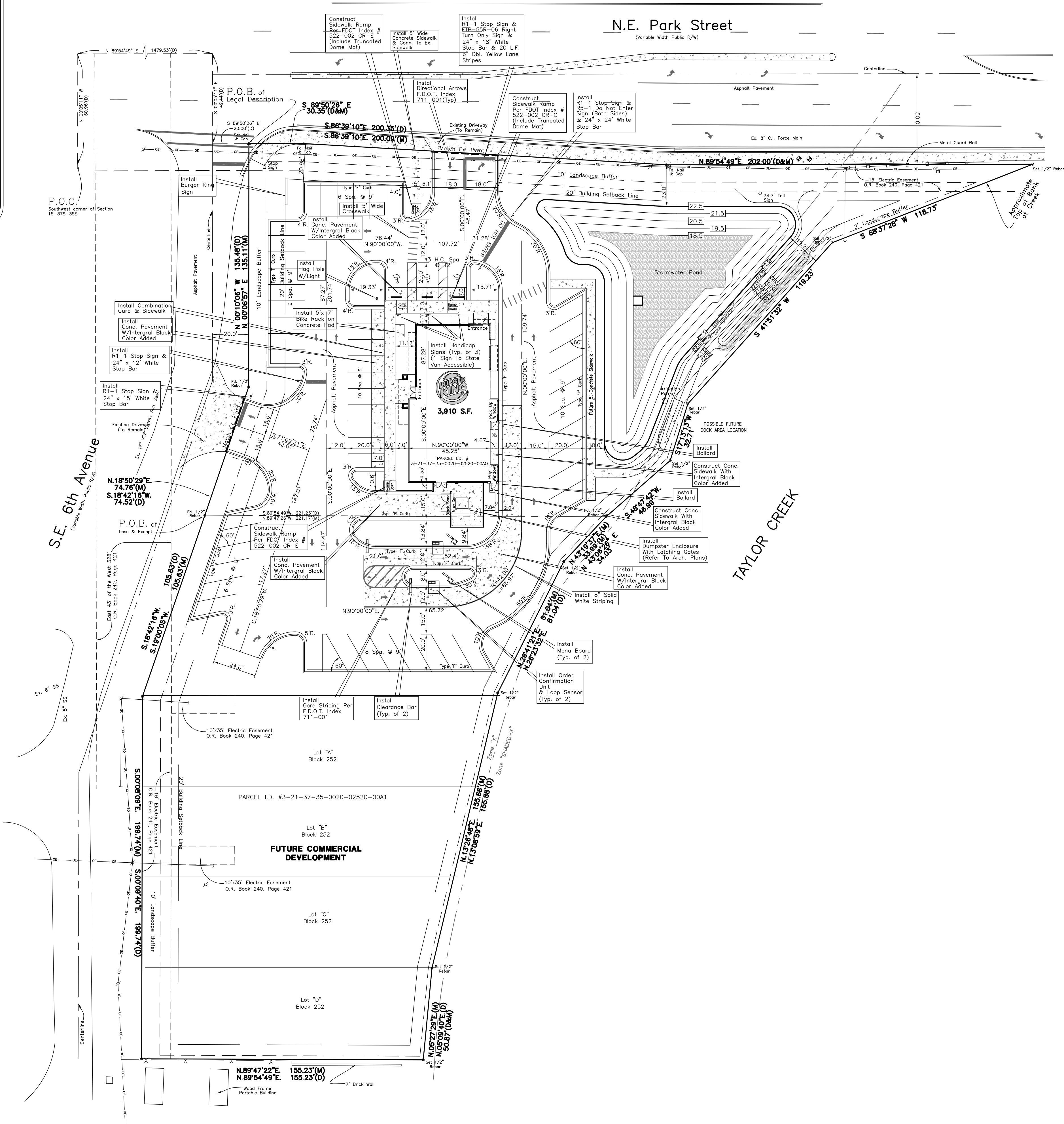
No.	DESCRIPTION	DATE	BY
1.			

**EXISTING CONDITIONS
& DEMOLITION PLAN**
BURGER KING #6400
604 NE PARK STREET
OKEECHOBEE, FLORIDA

SCALE: 1"=30'
DATE: 11.1.19
CAD FILE: C03-EC
JOB NUMBER: BK #6400
SHEET C03

LEGEND

ABBREVIATIONS	
AC	AIR CONDITIONER
(C)	CALCULATED MEASUREMENT
CO	CLEAN OUT
CNC	CONCRETE
CSW	CONCRETE SIDEWALK
(D)	DEED MEASUREMENT - CALL
(F)	FIELD MEASUREMENT
EKB	ELECTRIC BOX
EL	ELEVATION
EM	ELECTRIC METER
FCM	FOUND CONCRETE MONUMENT
FOOT	FLORIDA DEPARTMENT OF TRANSPORTATION
F.F.	FINISHED FLOOR
FIP	FOUND IRON PIPE
FIR	FOUND IRON ROD
FND	FOUND NAIL AND DISK
FPP	FOUND PINCHED PIPE
INV.	INVERT
SYMBOLS	
	BACKFLOW PREVENTION DEVICE
	CABLE RISER
	GRATE INLET
	SANITARY SEWER STRUCTURE
	SPOT ELEVATION
	STORM STRUCTURE
	TELEPHONE PEDESTAL
	TRAFFIC SIGNAL JUNCTION BOX
	TRAFFIC SIGNAL POLE (UNLESS OTHERWISE DESIGNATED)
	FIRE HYDRANT
	SIGN
	BOLLARD
SYMBOLS	
	TREE LOCATION (SIZE AND TYPE AS NOTED)
	UTILITY FLAG ELECTRIC
	UTILITY FLAG GAS
	UTILITY FLAG RECLAIMED WATER
	UTILITY FLAG SANITARY/STORM SEWER
	UTILITY FLAG WATER
	WOOD FENCE
	METAL FENCE
	PVC FENCE



HORIZONTAL CONTROL NOTES:

- ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS SHOWN OTHERWISE.
- REFER TO LANDSCAPE PLAN FOR LANDSCAPE DESIGN.
- CONTRACTOR TO INSTALL TRUNCATED DOMES AT EACH SIDE OF CROSSWALK, WHERE SIDEWALK MEETS DRIVE.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
- ALL SIGNAGE AND STRIPING SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDT.) & FDOT STANDARDS.
- ALL SIGNS SHALL BE PERMITTED SEPARATELY THROUGH THE CITY OF OKEECHOBEE.
- ALL STANDARD PARKING SPACES SHALL BE 9'x20'. ALL DISABLED PARKING SPACES SHALL BE 12'x20'.
- DUMPSTER ENCLOSURE MATERIALS SHALL MATCH THOSE OF THE PRINCIPAL STRUCTURE. MINIMUM HEIGHT SHALL BE 6 FEET. LATCHING GATES BE PROVIDED. REFER TO ARCH PLANS FOR DETAILS.
- ALL EROSION & SEDIMENT CONTROL WITHIN R/W SHALL CONFORM TO FDOT INDICES.
- CONSTRUCT SIDEWALK AND RAMPS IN ACCORDANCE TO FDOT INDEX 522-002 AND IN COMPLIANCE WITH ADA STANDARDS.
- CONTRACTOR IS TO SOD ALL DISTURBED PORTIONS OF THE R/W WITH BAHIA SOD.
- ANY SIDEWALK DAMAGED DURING CONSTRUCTION SHALL BE REPLACED TO THE NEAREST JOINT.
- SAWCUT EXISTING ASPHALT PRIOR TO REMOVAL OF ANY MATERIAL.
- ALL MAINTENANCE OF TRAFFIC SHALL CONFORM TO FDOT INDEX 102-600. NO LANE CLOSURES WILL BE ALLOWED UNLESS OTHERWISE AUTHORIZED BY FDOT.
- ALL WORK WITHIN FDOT R/W SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS AND DESIGN STANDARDS (LATEST EDITIONS):
 - THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (A.K.A. STANDARD SPECS)
 - FDOT DESIGN STANDARDS FOR DESIGN, CONSTRUCTION, MAINTENANCE AND OPERATIONS ON THE STATE HIGHWAY SYSTEM (INDEX REFERENCES ARE TO FDOT STANDARD PLANS FOR ROAD CONSTRUCTION). COMPLIANCE WITH ALL APPLICABLE INDICES IS REQUIRED.
 - ROADWAY AND TRAFFIC DESIGN STANDARDS
 - FDOT ROADWAY PLANS PREPARATION MANUAL, VOLUME 1, CHAPTER 2 AND 25
 - FDOT FLEXIBLE PAVEMENT DESIGN MANUAL FOR NEW CONSTRUCTION AND PAVEMENT REHABILITATION
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING PUBLIC ROADWAY, CURBS, GUTTERS, SIDEWALK, DRAINAGE SYSTEM, AND UTILITIES AS A DIRECT RESULT OF NEW CONSTRUCTION.
- THE SITE DRAINAGE AND CONSTRUCTION IMPROVEMENTS SHALL NOT ADVERSELY IMPACT ADJOINING PROPERTIES AND/OR ROADWAYS.
- ACCESS SHALL BE PROVIDED DURING CONSTRUCTION OF BUILDING BY AN UNOBSTRUCTED 20FT WIDE ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING A 32 TON EMERGENCY VEHICLE. THE DRIVING SURFACE SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
- ALL MECHANICAL EQUIPMENT SHALL BE LOCATED ON THE ROOF AND SCREENED FROM PUBLIC VIEW.

REVISIONS

No.	DESCRIPTION	DATE	BY
1.			

**HORIZONTAL CONTROL
& STRIPING PLAN**
BURGER KING #6400
604 NE PARK STREET
OKEECHOBEE, FLORIDA

SCALE: 1"=30'
DATE: 11.1.19
CAD FILE: C04-HC
JOB NUMBER: BK #6400
SHEET C04

Consultant:

BRAVOFLORIDA, LLC.

3018 U.S. HIGHWAY 301 N.
SUITE NO. 100
TAMPA, FL 33619
(813) 374-8848

Developer:

CARLOS A. SOLIS, P.E.

P.O. BOX 431764
BIG PINE KEY, FL 33043-1764
(813) 426-4880

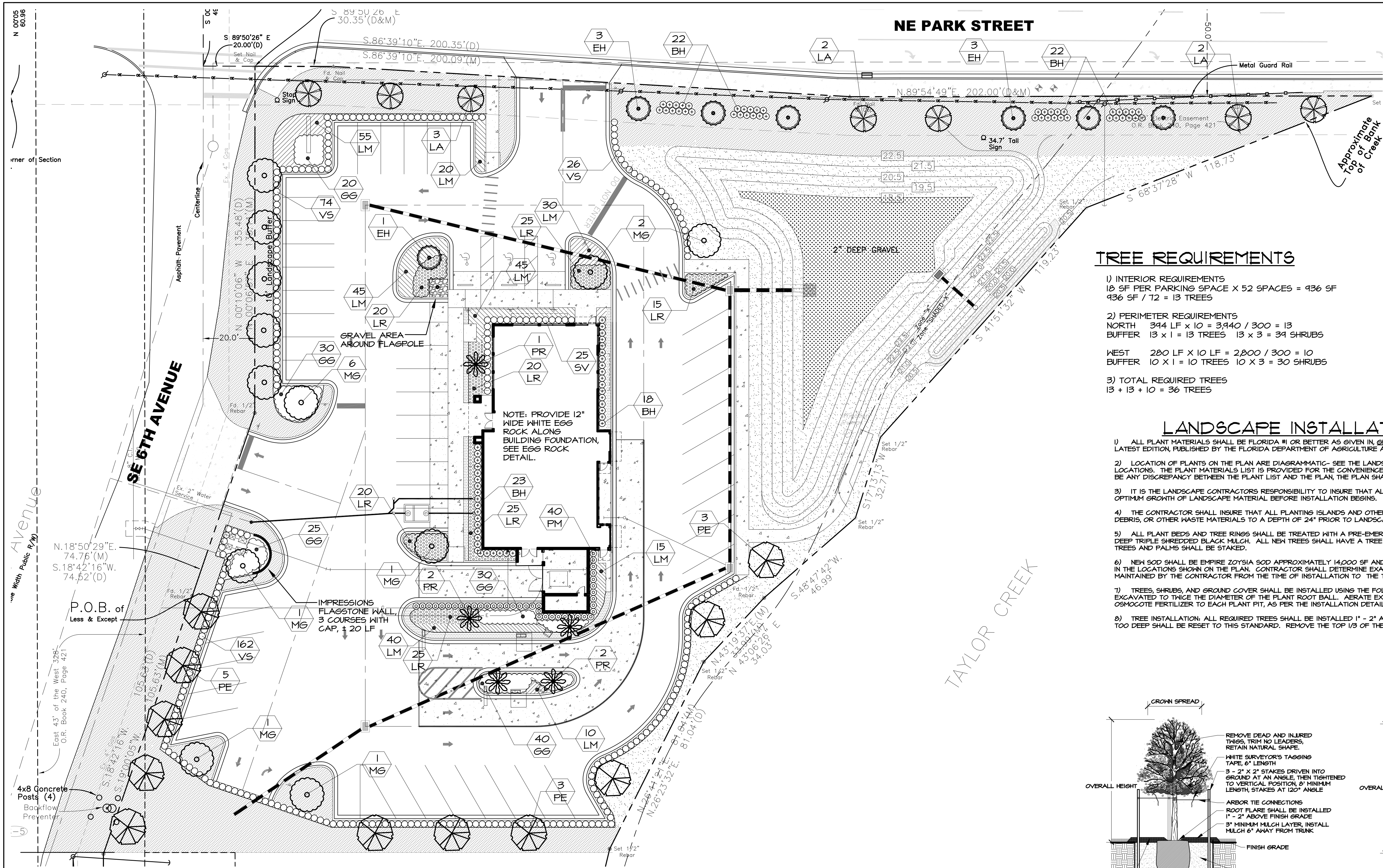
CARLOS A. SOLIS
FLORIDA PROFESSIONAL ENGINEER No. 42758



PORTLAND CEMENT CONCRETE PAVEMENT



SCALE: NTS	DATE: 11.1.19
CAD FILE: C07-DTLS	
JOB NUMBER: BK #13193	
SHEET C07	



TREE REQUIREMENTS

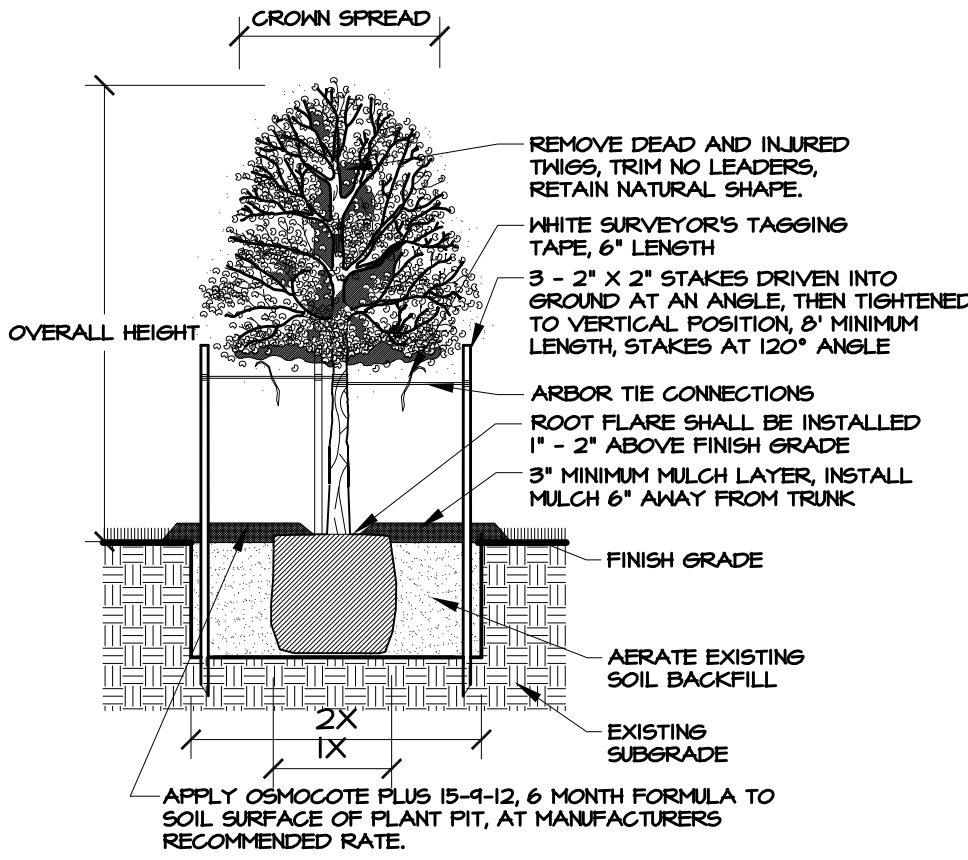
- 1) INTERIOR REQUIREMENTS
18 SF PER PARKING SPACE X 52 SPACES = 936 SF
436 SF / 12 = 13 TREES
- 2) PERIMETER REQUIREMENTS
NORTH 344 LF X 10 = 3,440 / 300 = 13
BUFFER 13 X 1 = 13 TREES 13 X 3 = 39 SHRUBS
- WEST 280 LF X 10 LF = 2,800 / 300 = 10
BUFFER 10 X 1 = 10 TREES 10 X 3 = 30 SHRUBS
- 3) TOTAL REQUIRED TREES
13 + 13 + 10 = 36 TREES

PROPOSED TREES

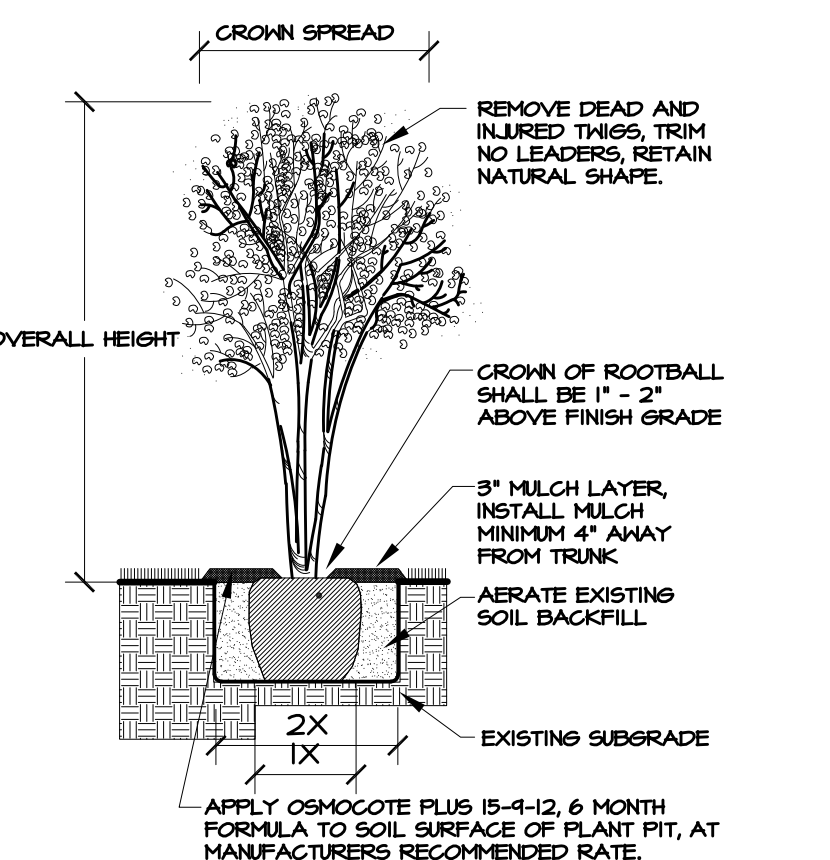
MAGNOLIA	11
SLASH PINE	11
EAGLESTON HOLLY	7
GRAPE MYRTLE	7
TOTAL TREES	36

LANDSCAPE INSTALLATION NOTES

- 1) ALL PLANT MATERIALS SHALL BE FLORIDA #1 OR BETTER AS GIVEN IN GRADES AND STANDARDS FOR NURSERY PLANTS, LATEST EDITION, PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- 2) LOCATION OF PLANTS ON THE PLAN ARE DIAGNOMATIC- SEE THE LANDSCAPE ARCHITECT FOR QUESTIONS ON EXACT LOCATIONS. THE PLANT MATERIALS LIST IS PROVIDED FOR THE CONVENIENCE OF THE LANDSCAPE CONTRACTOR. SHOULD THERE BE ANY DISCREPANCY BETWEEN THE PLANT LIST AND THE PLAN, THE PLAN SHALL PREVAIL.
- 3) IT IS THE LANDSCAPE CONTRACTORS RESPONSIBILITY TO INSURE THAT ALL PLANT BED AREAS HAVE PROPER DRAINAGE FOR OPTIMUM GROWTH OF LANDSCAPE MATERIAL BEFORE INSTALLATION BEGINS.
- 4) THE CONTRACTOR SHALL INSURE THAT ALL PLANTING ISLANDS AND OTHER AREAS SHALL BE CLEAN OF TRASH, CONSTRUCTION DEBRIS, OR OTHER WASTE MATERIALS TO A DEPTH OF 24" PRIOR TO LANDSCAPE INSTALLATION.
- 5) ALL PLANT BEDS AND TREE RINGS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE AND THEN TOP-DRESSED WITH 3" DEEP TRIPLE SHREDDED BLACK MULCH. ALL NEW TREES SHALL HAVE A TREE RING WITH A MINIMUM OF 24" RADIUS, ALL NEW TREES AND PALMS SHALL BE STAKED.
- 6) NEW SOD SHALL BE EMPIRE ZOYSIA SOD APPROXIMATELY 14,000 SF AND ARGENTINE BAHIA SOD APPROXIMATELY 18,000 SF. IN THE LOCATIONS SHOWN ON THE PLAN. CONTRACTOR SHALL DETERMINE EXACT QUANTITIES IN THE FIELD. SOD AREAS SHALL BE MAINTAINED BY THE CONTRACTOR FROM THE TIME OF INSTALLATION TO THE TIME OF FINAL ACCEPTANCE.
- 7) TREES, SHRUBS, AND GROUND COVER SHALL BE INSTALLED USING THE FOLLOWING PROCEDURE: PLANT PITS SHALL BE EXCAVATED TO TWICE THE DIAMETER OF THE PLANT ROOT BALL. AERATE EXISTING SOIL BEFORE BACKFILLING PIT. ADD OSMOCOTE FERTILIZER TO EACH PLANT PIT, AS PER THE INSTALLATION DETAILS.
- 8) TREE INSTALLATION: ALL REQUIRED TREES SHALL BE INSTALLED 1" - 2" ABOVE FINISH GRADE. TREES INSTALLED OR BURIED TOO DEEP SHALL BE RESET TO THIS STANDARD. REMOVE THE TOP 1/3 OF THE WIRE BASKETS ON ALL B & B STOCK.

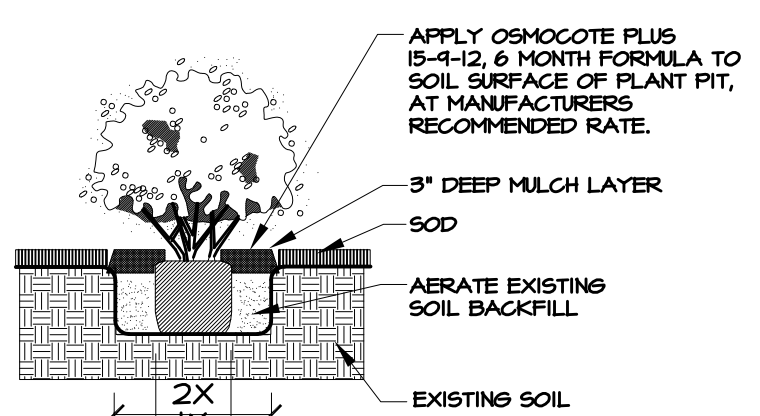
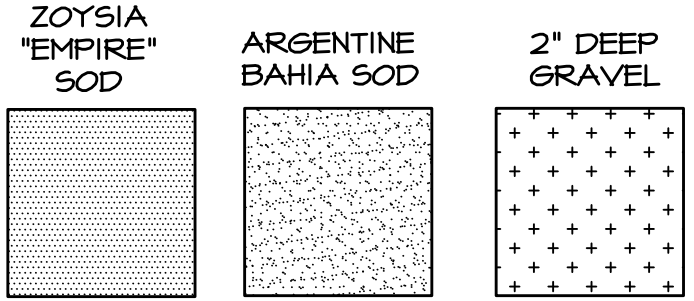


TREE STAKING AND PLANTING DETAIL

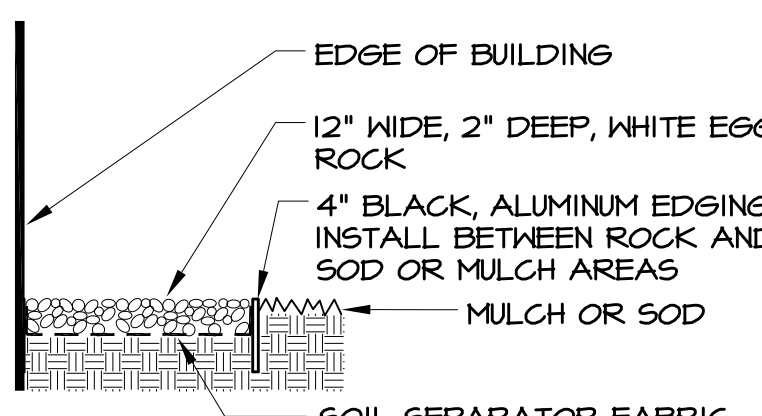


MULTI-STEM TREE DETAIL

SYMBOL LEGEND



SHRUB PLANTING DETAIL



EGG ROCK INSTALLATION DETAIL

PLANT MATERIAL LIST

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	NATIVE	DROUGHT TOLERANT	SPACING
PR	5	PHOENIX ROEBELIENII	PYGMY DATE PALM	5' OVERALL HEIGHT, TRIPLE STEM	NO	YES	AS SHOWN
MG	11	MAGNOLIA 'D D BLANCHARD'	D D BLANCHARD MAGNOLIA	10' HT X 5' SPD, 2" DBH	YES	YES	AS SHOWN
PE	11	PINUS ELLIOTTII	SLASH PINE	10' HT X 5' SPD, 2" DBH	YES	YES	AS SHOWN
IA	7	ILEX ATTENUATA 'EAGLESTON'	EAGLESTON HOLLY	10' HT X 4' SPD, 2" DBH	YES	YES	AS SHOWN
LA	7	LAGERSTROEMA INDICA 'MUSKOGEE'	LAVENDER GRAPE MYRTLE	10' HT X 4' SPD, 2" DBH	NO	YES	AS SHOWN
PM	40	PODOCARPUS MACROPHYLLUS	PODOCARPUS	48" HT X 30" SPD, 15 GALLON	NO	YES	30" OC
SV	25	VIBURNUM SUSPENSUM	SANDANKWA VIBURNUM	24" HT X 24" SPD, 1 GALLON	NO	YES	30" OC
WM	262	MYRICA CERIFERA	WAX MYRTLE	18" HT X 18" SPD, 3 GALLON	YES	YES	24" OC
GG	145	GALPHIMA GRACILIS	YELLOW THRYALLIS	24" HT X 24" SPD, 3 GALLON	NO	YES	36" OC
BH	85	ILEX CORNUTA 'BURFORDII COMPACTA'	DWARF BURFORD HOLLY	18" HT X 18" SPD, 3 GALLON	NO	YES	30" OC
LR	150	ZAMIA FLORIDANA	COONTIE	15" HT X 15" SPD, 3 GALLON	NO	YES	30" OC
LM	260	LIRIOPE MUSCARI 'SUPER BLUE'	SUPER BLUE LIRIOPE	10" HT X 10" SPD, 1 GALLON	NO	YES	24" OC

Consultant:

ANDERSON LESNIAK LIMITED, INC.
landscape architects
4921 S. WESTSHORE BOULEVARD
TAMPA, FLORIDA 33611
(813) 831-9595 FAX 831-5485
anderson.lesniak@tampabay.fl.com
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Developer:

BRAVOFLORIDA, LLC.
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SUITE NO. 100
TAMPA, FL 33619
(813) 374.8848

REVISIONS

No.	DESCRIPTION	DATE	BY
1.			

LANDSCAPE PLAN

BURGER KING #6400
604 NE PARK STREET
OKEECHOBEE, FLORIDA

SCALE:
1"=30'

DATE:
12.12.19

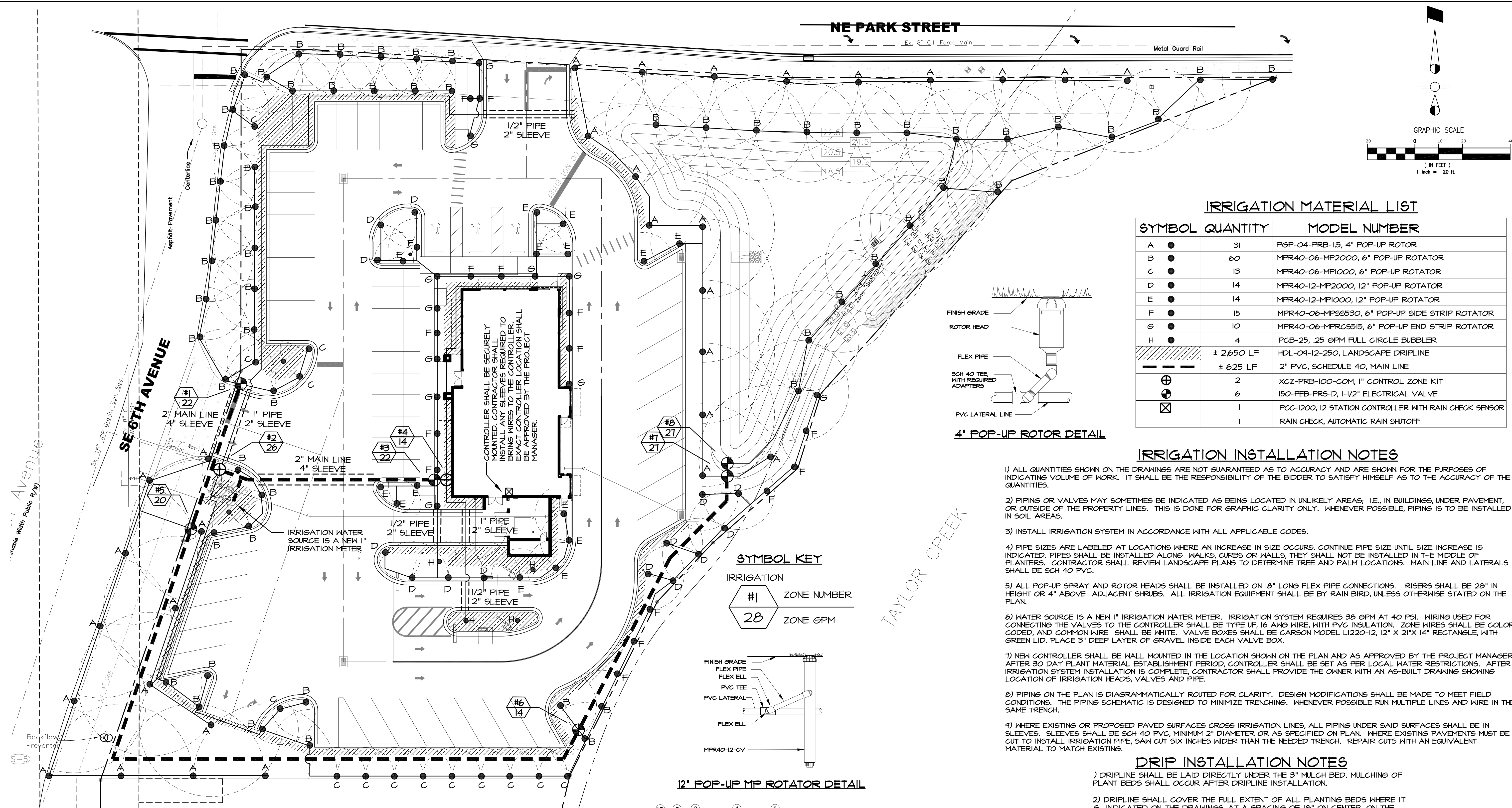
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JOB NUMBER:
BK #6400

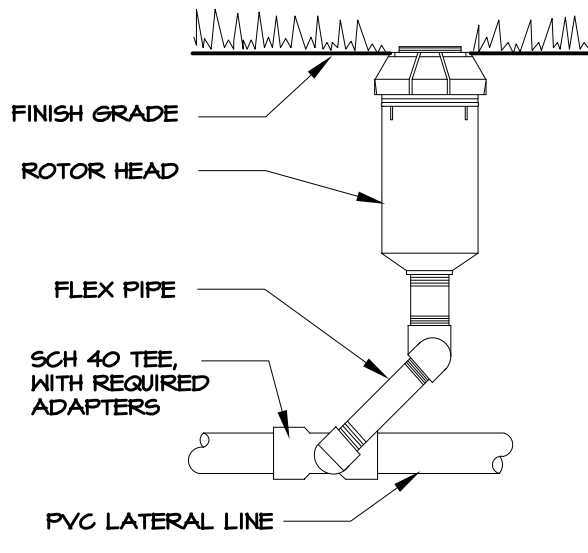
SHEET
L01

Consultant:

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anderson.lesniak@tampabay.fl.com
www.andersonlesniak.net



IRRIGATION MATERIAL LIST		
SYMBOL	QUANTITY	MODEL NUMBER
A ●	31	PGP-04-PRB-1.5, 4" POP-UP ROTOR
B ●	60	MPR40-06-MP2000, 6" POP-UP ROTATOR
C ●	13	MPR40-06-MP1000, 6" POP-UP ROTATOR
D ●	14	MPR40-12-MP2000, 12" POP-UP ROTATOR
E ●	14	MPR40-12-MP1000, 12" POP-UP ROTATOR
F ●	15	MPR40-06-MPSS530, 6" POP-UP SIDE STRIP ROTATOR
G ●	10	MPR40-06-MPRCS515, 6" POP-UP END STRIP ROTATOR
H ●	4	PCB-25, .25 GPM FULL CIRCLE BUBBLER
± 2650 LF		HDL-04-12-250, LANDSCAPE DRIPLINE
± 625 LF		2" PVC, SCHEDULE 40, MAIN LINE
⊕	2	XGZ-PRB-100-COM, 1" CONTROL ZONE KIT
⊗	6	150-FEB-FRS-D, 1-1/2" ELECTRICAL VALVE
⊠	1	PCG-1200, 12 STATION CONTROLLER WITH RAIN CHECK SENSOR
	1	RAIN CHECK, AUTOMATIC RAIN SHUTOFF



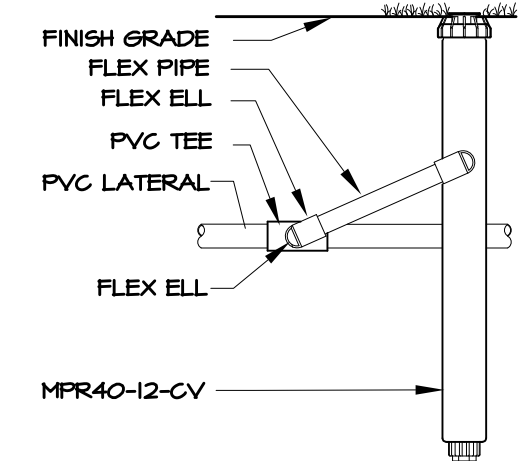
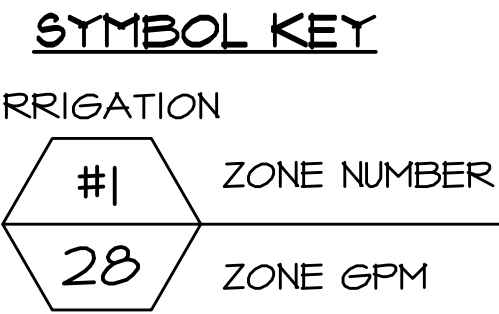
4' POP-UP ROTOR DETAIL

IRRIGATION INSTALLATION NOTES

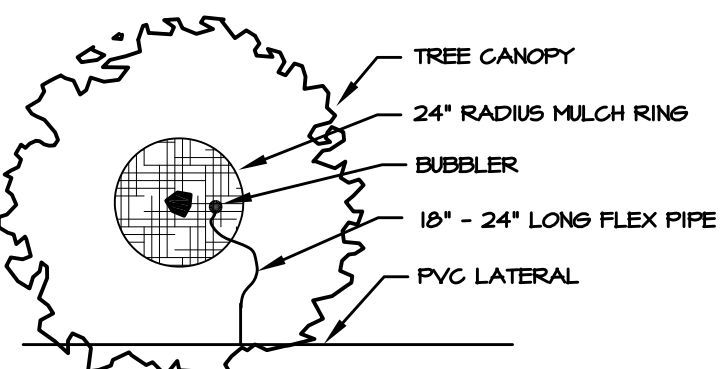
- 1) ALL QUANTITIES SHOWN ON THE DRAWINGS ARE NOT GUARANTEED AS TO ACCURACY AND ARE SHOWN FOR THE PURPOSES OF INDICATING VOLUME OF WORK. IT SHALL BE THE RESPONSIBILITY OF THE BIDDER TO SATISFY HIMSELF AS TO THE ACCURACY OF THE QUANTITIES.
- 2) PIPING OR VALVES MAY SOMETIMES BE INDICATED AS BEING LOCATED IN UNLIKELY AREAS; I.E., IN BUILDINGS, UNDER PAVEMENT, OR OUTSIDE OF THE PROPERTY LINES. THIS IS DONE FOR GRAPHIC CLARITY ONLY. WHENEVER POSSIBLE, PIPING IS TO BE INSTALLED IN SOIL AREAS.
- 3) INSTALL IRRIGATION SYSTEM IN ACCORDANCE WITH ALL APPLICABLE CODES.
- 4) PIPE SIZES ARE LABELED AT LOCATIONS WHERE AN INCREASE IN SIZE OCCURS. CONTINUE PIPE SIZE UNTIL SIZE INCREASE IS INDICATED. PIPES SHALL BE INSTALLED ALONG WALKS, CURBS OR WALLS, THEY SHALL NOT BE INSTALLED IN THE MIDDLE OF PLANTERS. CONTRACTOR SHALL REVIEW LANDSCAPE PLANS TO DETERMINE TREE AND PALM LOCATIONS. MAIN LINE AND LATERALS SHALL BE SCH 40 PVC.
- 5) ALL POP-UP SPRAY AND ROTOR HEADS SHALL BE INSTALLED ON 18" LONG FLEX PIPE CONNECTIONS. RISERS SHALL BE 28" IN HEIGHT OR 4" ABOVE ADJACENT SHRUBS. ALL IRRIGATION EQUIPMENT SHALL BE BY RAIN BIRD, UNLESS OTHERWISE STATED ON THE PLAN.
- 6) WATER SOURCE IS A NEW 1" IRRIGATION WATER METER. IRRIGATION SYSTEM REQUIRES 38 GPM AT 40 PSI. WIRING USED FOR CONNECTING THE VALVES TO THE CONTROLLER SHALL BE TYPE UF, 16 AWG WIRE, WITH PVC INSULATION. ZONE WIRES SHALL BE COLOR CODED, AND COMMON WIRE SHALL BE WHITE. VALVE BOXES SHALL BE CARSON MODEL LI220-12, 12" X 21" X 14" RECTANGLE, WITH GREEN LID. PLACE 3" DEEP LAYER OF GRAVEL INSIDE EACH VALVE BOX.
- 7) NEW CONTROLLER SHALL BE WALL MOUNTED IN THE LOCATION SHOWN ON THE PLAN AND AS APPROVED BY THE PROJECT MANAGER. AFTER 30 DAY PLANT MATERIAL ESTABLISHMENT PERIOD, CONTROLLER SHALL BE SET AS PER LOCAL WATER RESTRICTIONS. AFTER IRRIGATION SYSTEM INSTALLATION IS COMPLETE, CONTRACTOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT DRAWING SHOWING LOCATION OF IRRIGATION HEADS, VALVES AND PIPE.
- 8) PIPING ON THE PLAN IS DIAGRAMMATICALLY ROUTED FOR CLARITY. DESIGN MODIFICATIONS SHALL BE MADE TO MEET FIELD CONDITIONS. THE PIPING SCHEMATIC IS DESIGNED TO MINIMIZE TRENCHING. WHENEVER POSSIBLE RUN MULTIPLE LINES AND WIRE IN THE SAME TRENCH.
- 9) WHERE EXISTING OR PROPOSED PAVED SURFACES CROSS IRRIGATION LINES, ALL PIPING UNDER SAID SURFACES SHALL BE IN SLEEVES. SLEEVES SHALL BE SCH 40 PVC, MINIMUM 2" DIAMETER OR AS SPECIFIED ON PLAN. WHERE EXISTING PAVEMENTS MUST BE CUT TO INSTALL IRRIGATION PIPE, SAW CUT SIX INCHES WIDER THAN THE NEEDED TRENCH. REPAIR CUTS WITH AN EQUIVALENT MATERIAL TO MATCH EXISTING.

DRIPLINE INSTALLATION NOTES

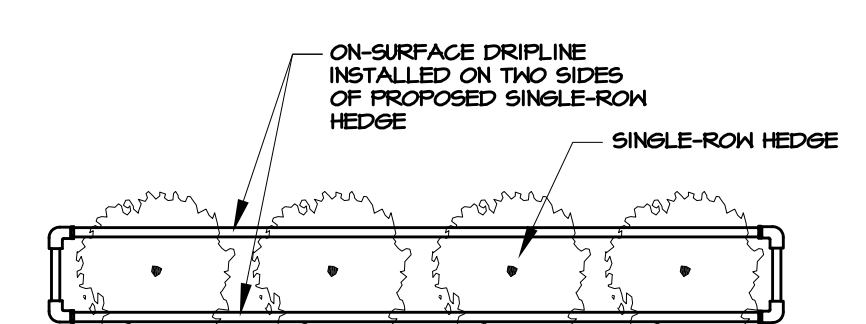
- 1) DRIPLINE SHALL BE LAID DIRECTLY UNDER THE 3" MULCH BED. MULCHING OF PLANT BEDS SHALL OCCUR AFTER DRIPLINE INSTALLATION.
- 2) DRIPLINE SHALL COVER THE FULL EXTENT OF ALL PLANTING BEDS WHERE IT IS INDICATED ON THE DRAWINGS, AT A SPACING OF 18" ON CENTER. ON THE DRIPLINE ZONES, THE ELECTRIC VALVE, DISC FILTER, AND PRESSURE REGULATOR SHALL BE PLACED UNDERGROUND IN A PLASTIC VALVE BOX WITH COVER. ADJUST PRESSURE REGULATOR TO ACCOMMODATE EACH ZONE.
- 3) INDIVIDUAL SECTIONS OF DRIPLINE SHALL BE CONNECTED USING PVC PIPE, SIZED AS PER GPM REQUIREMENTS. DRIPLINE SHALL BE STAPLED OR OTHERWISE FASTENED TO THE FINISH GRADE EVERY 4' ON CENTER.



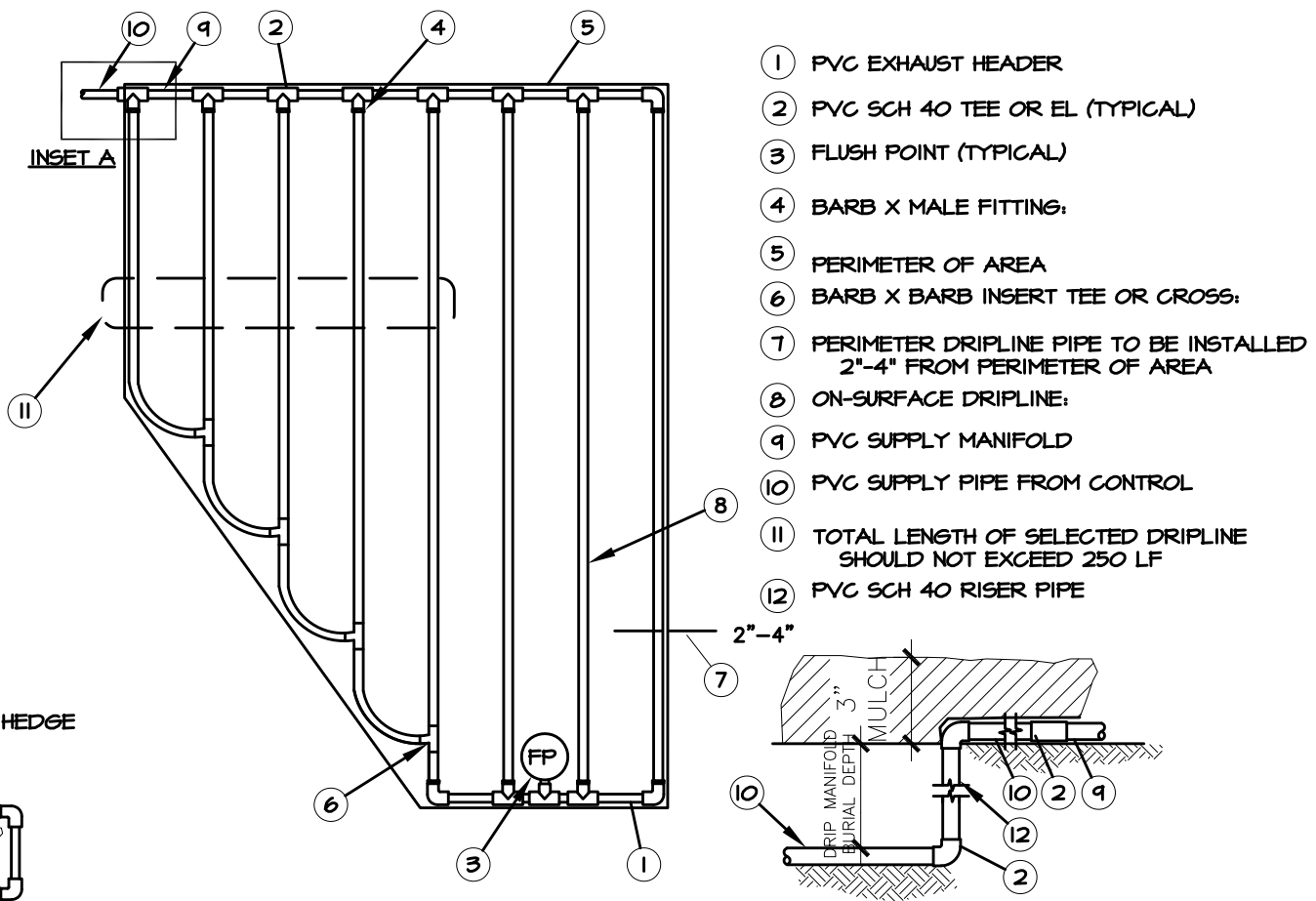
12' POP-UP MP ROTATOR DETAIL



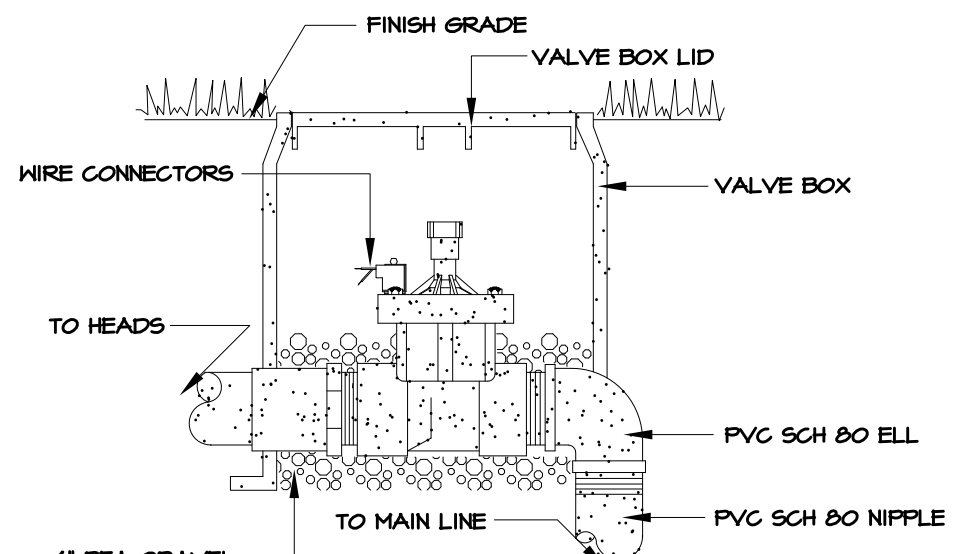
BUBBLER DETAIL



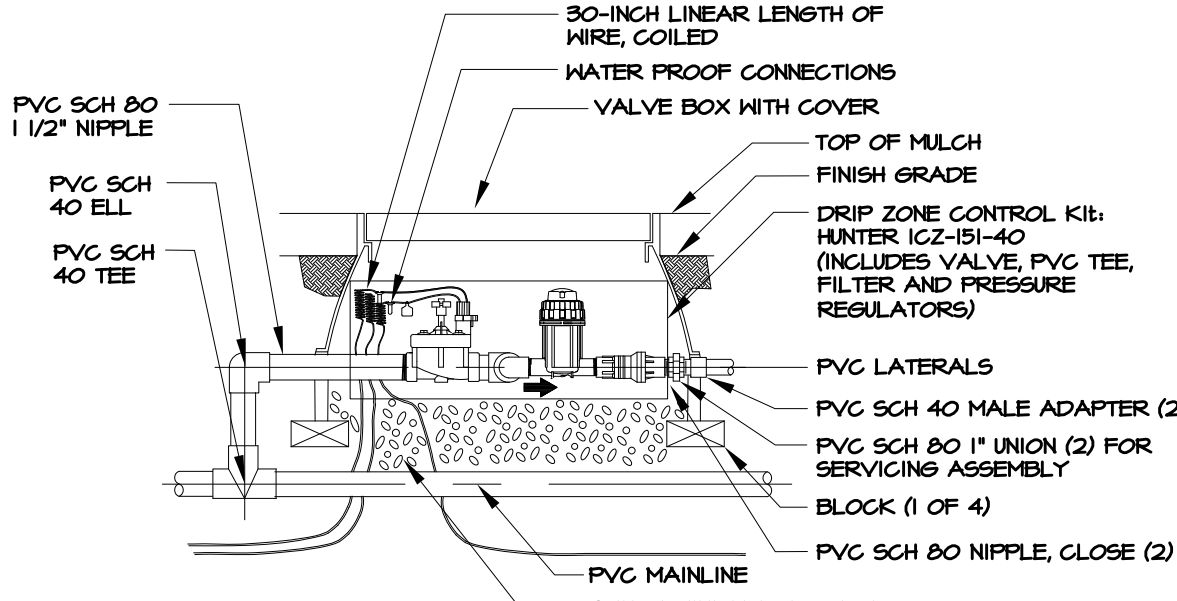
SINGLE-ROW HEDGE DRIPLINE DETAIL
NOTE: TOTAL LENGTH OF DRIPLINE SHALL NOT EXCEED 250 LF



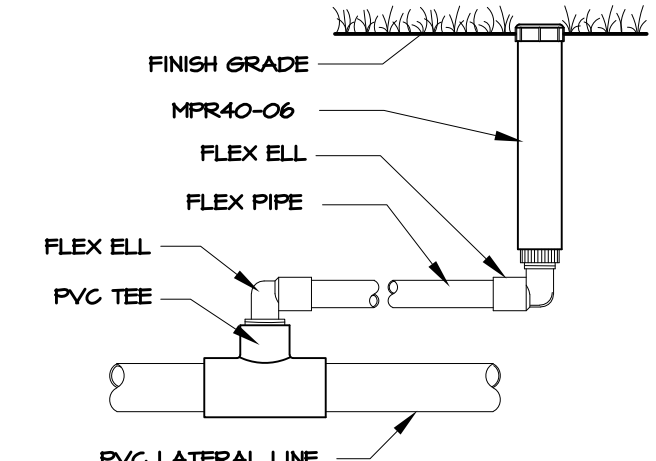
ON-SURFACE DRIPLINE INSTALLATION



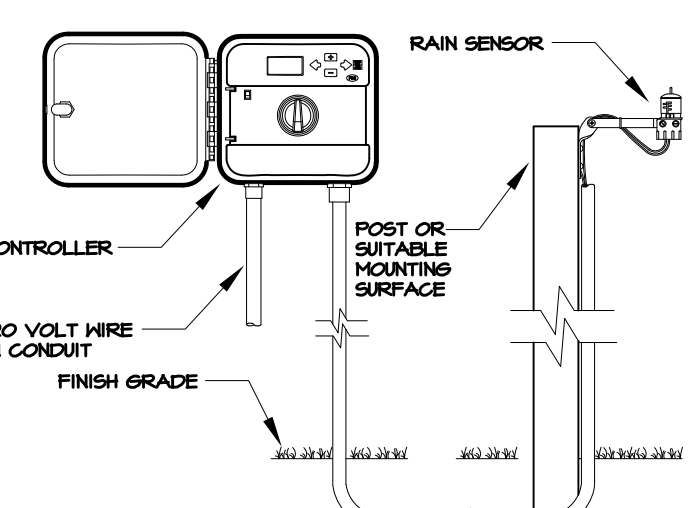
ELECTRIC VALVE DETAIL



DRIPLINE CONTROL ZONE KIT



6' POP-UP MP ROTATOR DETAIL



CONTROLLER WITH RAIN SENSOR

Consultant:

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 4921 S. WESTSHORE BOULEVARD
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 anderson.lesnak@tampabay.fl.com
 www.andersonlesnak.net

Developer:

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 SUITE NO. 100
 TAMPA, FL 33619
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IRRIIGATION PLAN

BURGER KING #6400
 604 NE PARK STREET
 OKEECHOBEE, FLORIDA

SCALE:
 1"=30'

CAD FILE:
 LA-9

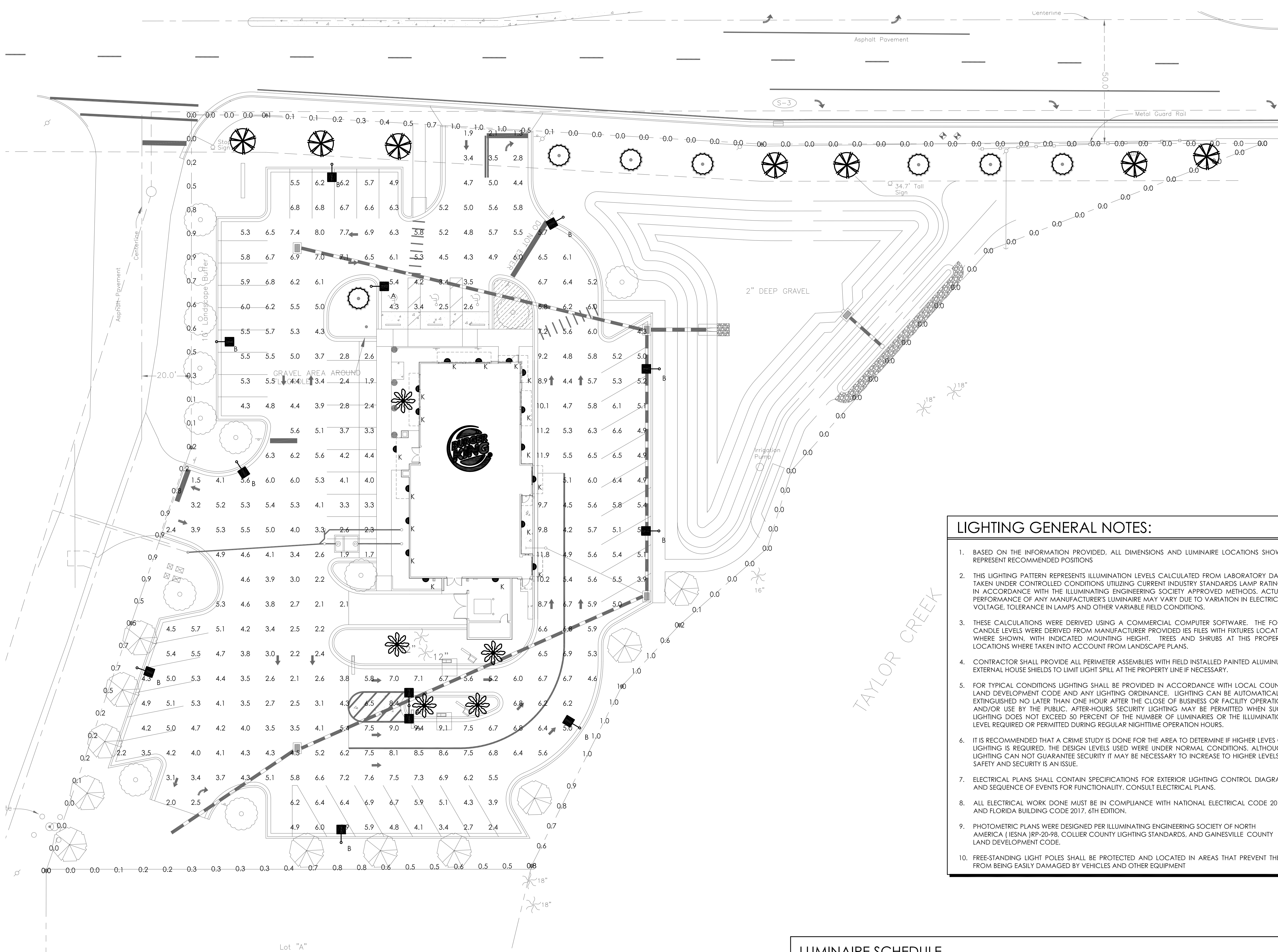
JOB NUMBER:
 BK #6400

SHEET
 L02

REVISIONS

NO.	DESCRIPTION	DATE	BY
1.			

DATE:
 12.12.19



1
EP-1

PHOTOMETRIC PLAN

1" = 20'-0"

LIGHTING GENERAL NOTES:

1. BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS
2. THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARDS LAMP RATINGS IN ACCORDANCE WITH THE ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS.
3. THESE CALCULATIONS WERE DERIVED USING A COMMERCIAL COMPUTER SOFTWARE. THE FOOT CANDLE LEVELS WERE DERIVED FROM MANUFACTURER PROVIDED IES FILES WITH FIXTURES LOCATED WHERE SHOWN, WITH INDICATED MOUNTING HEIGHT. TREES AND SHRUBS AT THIS PROPERTY LOCATIONS WHERE TAKEN INTO ACCOUNT FROM LANDSCAPE PLANS.
4. CONTRACTOR SHALL PROVIDE ALL PERIMETER ASSEMBLIES WITH FIELD INSTALLED PAINTED ALUMINUM EXTERNAL HOUSE SHIELDS TO LIMIT LIGHT SPILL AT THE PROPERTY LINE IF NECESSARY.
5. FOR TYPICAL CONDITIONS LIGHTING SHALL BE PROVIDED IN ACCORDANCE WITH LOCAL COUNTY LAND DEVELOPMENT CODE AND ANY LIGHTING ORDINANCE. LIGHTING CAN BE AUTOMATICALLY EXTINGUISHED NO LATER THAN ONE HOUR AFTER THE CLOSE OF BUSINESS OR FACILITY OPERATION AND/OR USE BY THE PUBLIC. AFTER-HOURS SECURITY LIGHTING MAY BE PERMITTED WHEN SUCH LIGHTING DOES NOT EXCEED 50 PERCENT OF THE NUMBER OF LUMINAIRES OR THE ILLUMINATION LEVEL REQUIRED OR PERMITTED DURING REGULAR NIGHTTIME OPERATION HOURS.
6. IT IS RECOMMENDED THAT A CRIME STUDY IS DONE FOR THE AREA TO DETERMINE IF HIGHER LEVES OF LIGHTING IS REQUIRED. THE DESIGN LEVELS USED WERE UNDER NORMAL CONDITIONS. ALTHOUGH LIGHTING CAN NOT GUARANTEE SECURITY IT MAY BE NECESSARY TO INCREASE TO HIGHER LEVELS IF SAFETY AND SECURITY IS AN ISSUE.
7. ELECTRICAL PLANS SHALL CONTAIN SPECIFICATIONS FOR EXTERIOR LIGHTING CONTROL DIAGRAM AND SEQUENCE OF EVENTS FOR FUNCTIONALITY. CONSULT ELECTRICAL PLANS.
8. ALL ELECTRICAL WORK DONE MUST BE IN COMPLIANCE WITH NATIONAL ELECTRICAL CODE 2014, AND FLORIDA BUILDING CODE 2017, 6TH EDITION.
9. PHOTOMETRIC PLANS WERE DESIGNED PER ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) IRP-20-98, COLLIER COUNTY LIGHTING STANDARDS, AND GAINESVILLE COUNTY LAND DEVELOPMENT CODE.
10. FREE-STANDING LIGHT POLES SHALL BE PROTECTED AND LOCATED IN AREAS THAT PREVENT THEM FROM BEING EASILY DAMAGED BY VEHICLES AND OTHER EQUIPMENT

LUMINAIRE SCHEDULE									
CALLOUT	SYMBOL	LAMP	DESCRIPTION	MOUNTING	MODEL	INPUT WATTS	VOLTS	QUANTITY	POLE HEIGHT
A		(1) 188.5W	Slide Medium - SLM Outdoor LED Area Light	POLE	LSI INDUSTRIES, INC., SLM-LED-24L-SIL-5W-50-70CRI	188.8	MULTIPLE	1	25'
B		(1) 248.6W	Slide Medium - SLM Outdoor LED Area Light	POLE	LSI INDUSTRIES, INC., SLM-LED-30L-SIL-FT-50-70CRI-HL	248.6	MULTIPLE	9	25'
K		(1) 30W LED,	Radius Wall Sconce HID / LED RS Series	WALL	RS-30WLED-DO-MT	30	120V 1P 2W	17	8'-10"

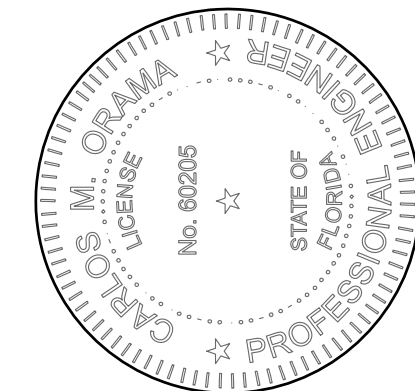
Parking Lot

AVERAGE FOOT-CANDLES	5.20
MAXIMUM FOOT-CANDLES	11.9
MINIMUM FOOT-CANDLES	1.3
MINIMUM TO MAXIMUM FC RATIO	0.11
MAXIMUM TO MINIMUM FC RATIO	8.83
AVERAGE TO MINIMUM FC RATIO	3.86

Boundary

AVERAGE FOOT-CANDLES	0.22
MAXIMUM FOOT-CANDLES	1.0
MINIMUM FOOT-CANDLES	0.0
MINIMUM TO MAXIMUM FC RATIO	0.00
MAXIMUM TO MINIMUM FC RATIO	1.02 / 0.00
AVERAGE TO MINIMUM FC RATIO	0.22 / 0.00

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY CARLOS M. DRAMA, PE USING DIGITAL SIGNATURE AND DATE WITH THIRD PARTY VERIFICATION. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED.



SHEET

EP-1

CLIENT
BRAVO FLORIDA LLC

PROJECT
BK #6400 OKEECHOBEE

ADDRESS
604 NE PARK STREET
OKEECHOBEE, FL

SHEET NAME
POWER PLAN

PREPARED BY

CARLOS M. DRAMA, PE
ELECTRICAL ENGINEER
PE #60205
CA #27385

BY	DESCRIPTION	DATE	NRO
MAI	ORIGINAL	12.11.19	0
			1
			2
			3
			4
			5
			6



Catalog #: Project: Prepared By: Date:



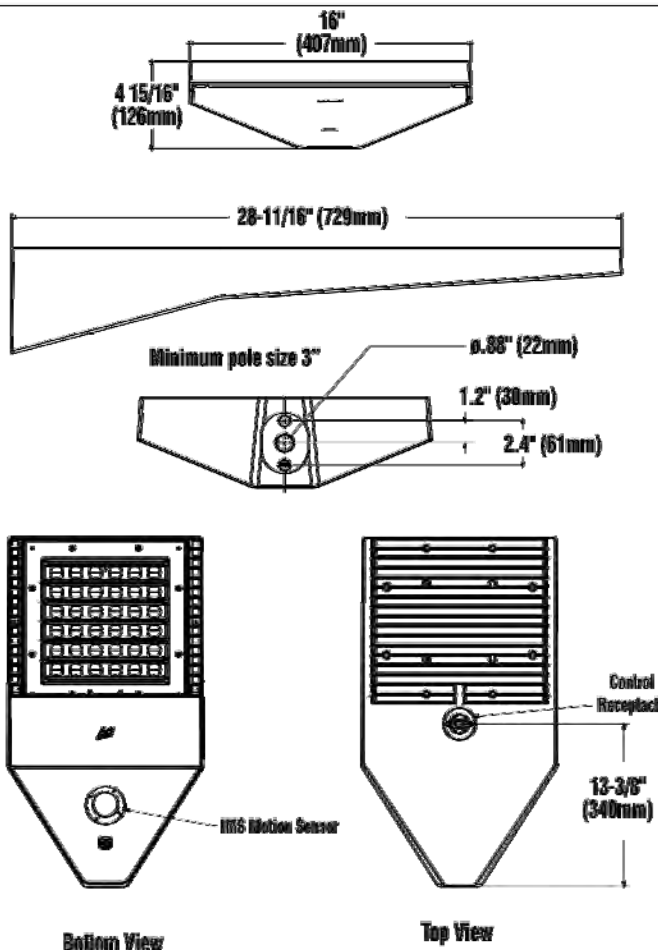
Slice Medium - SLM Outdoor LED Area Light

The Slice's sleek design makes it perfectly suited for Commercial & Industrial applications, while its cost-effective die-cast aluminum housing makes its acquisition cost very competitive. The Slice offers high performance silicone optics, die cast aluminum housing, 42,000+ lumens and is available with integral ALink Synapse controls.

Features & Specifications

- Optical System**
 - State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
 - Proprietary silicone refractor optics provide exceptional coverage and uniformity in IES Types 2, 3, 5W, FT and FTA.
 - Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93%.
- Zero uplight.
- Available in 5000K, 4000K, 3000K, and 2700K color temperatures per ANSI C78.377. Also Available in Phosphor Converted Amber with Peak intensity at 610nm.
- Minimum CRI of 70.
- Integral Lenses (IL) option available for improved back-light control without sacrificing street side performance. See page 5 for more details.

- Electrical**
 - High-performance driver features over-voltage, under-voltage, short-circuit and over temperature protection.
 - 0-10V dimming (10% - 100%) standard.
 - Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac).
 - L80 Calculated Life: >100K Hours (See Lumen Maintenance on Page 3)
 - Total harmonic distortion: <20%
 - Operating temperature: -40°C to +50°C (-40°F to +122°F). 42L lumen package rated to +40°C.
 - Power factor: >90
 - Input power stays constant over life.
 - Field replaceable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
 - High-efficiency LEDs mounted to metal-core circuit board to maximize heat dissipation
 - Terminal block provided accepts up to 10ga wire.
 - Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.



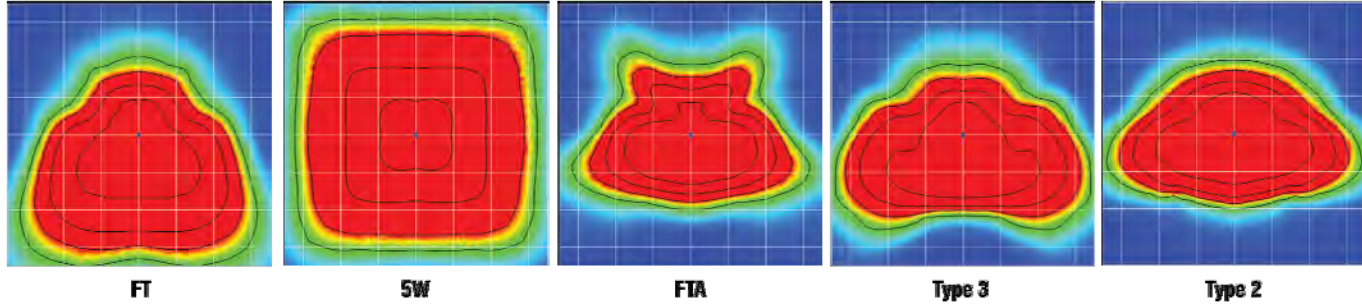
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Slice Medium - SLM Outdoor LED Area Light

Performance (Cont.)

All published luminaire photometric testing performed to IESNA LM-79 standards. ISO footcandle plots below demonstrate the Slice (SLM) light patterns only. Not for total fixture output. For complete specifications and IES files, see website.



Ordering Guide

TYPICAL ORDER EXAMPLE: SLM LED 36L SIL FTA UNV DIM 50 70CRI ALSCS04 BRZ IL

Luminaire Profile	Light Source	Lumen Package ¹	Light Output	Distribution	Order Code ²	Voltage	Driver
SLM Slim Median	LED	SL - 5,000 lms 15L - 12,000 lms 18L - 18,000 lms 24L - 24,000 lms 36L - 36,000 lms 42L - 42,000 lms	SL - Silicone Z - Type 2 3 - Type 3 5W - Type 5 Wide FT - Forward Throw FTA - Forward Throw Automotive	(Beam) - Standard B - Optics rotated left 90° R - Optics rotated right 90°	UNV - Universal Voltage (100-277V) HV - High Voltage (347-480V)	0-10V Dimming (0-10%)	
¹ Consult factory for programmable features and lumen packages							
Color Temp		Color Rendering		Controls (Choose One)		Finish	Options
68 - 5,000 CCT 48 - 4,000 CCT 30 - 3,000 CCT 27 - 2,700 CCT		70CRI - 70 CRI		Wireless Controls System: ALSC - ALink Synapse ALSCN - ALink Synapse Control System Host / Satellite ¹ ALSCSN1 - ALink Synapse Control System with 6-12' Median Sensor ¹ ALSCSN2 - ALink Synapse Control System Host / Satellite with 6-12' Median Sensor ¹ ALSCSN3 - ALink Synapse Control System with 12-20' Median Sensor ¹ ALSCSN4 - ALink Synapse Control System Host / Satellite with 12-20' Median Sensor ¹ ALSCSN5 - ALink Synapse Control System with 20-40' Median Sensor ¹ ALSCSN6 - ALink Synapse Control System Host / Satellite with 20-40' Median Sensor ¹		BRZ - Bronze BLK - Black GFT - Graphite MSV - Metallic Silver WHT - White PLP - Platinum Plus SWC - Satin White Gloss	(Beam) - Options IL - Integral Lenses HSS ²
AMB - Preset/ Programmable Ambient ³							
				Smart-Alarm Controls EXT - 0-10V Dimming (Direct external signal) MS0001 - Integral Motion Sensor 6-12' 120-277V ¹ MS0002 - Integral Motion Sensor 12-20' 120-277V ¹ MS0003 - Integral Motion Sensor 20-40' 120-277V ¹ MS0004 - Integral Motion Sensor 6-12' 347-480V ¹ MS0005 - Integral Motion Sensor 12-20' 347-480V ¹ MS0006 - Integral Motion Sensor 20-40' 347-480V ¹ CRTP - 7 Pin Control Relay/Alarm ANSI C136.41 ¹			
Relais Type Photocells P0300 - 120V P0302Z - 208-277V P0304 - 347V							

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01/18/19



CATALOG #	LAMP	DISTRIBUTION
RS	100PSMH - 100W Pulse Start Metal Halide 30WLED - 20W LED (DO only) 42WLED - 32W LED (UD only)	UD - Uplight / Downlight DO - Downlight only
FINISH	VOLTAGE	FEATURES
DB - Dark Bronze SV - Platinum Silver	MT - Multi-Top 120 - 277V (available for PSMH lamps only) 120 - 120V (available for LED lamps only)	• Clear Tempered Glass Lens • Die cast aluminum housing • Single piece gasket
COMPLIANCE	DIMENSIONS	WARRANTY
UL Listed for Wet Locations. IP66 Rated DLC Listed for LED downlight only (RS10995C-DO-20W-50K)	18"W x 7"H x 9"D	One-year limited warranty for PSMH fixtures. Five-year limited warranty for LED fixtures. Certain exclusions apply. For details, see warranty document attached.



INTEGRATED LIGHTING SOLUTIONS

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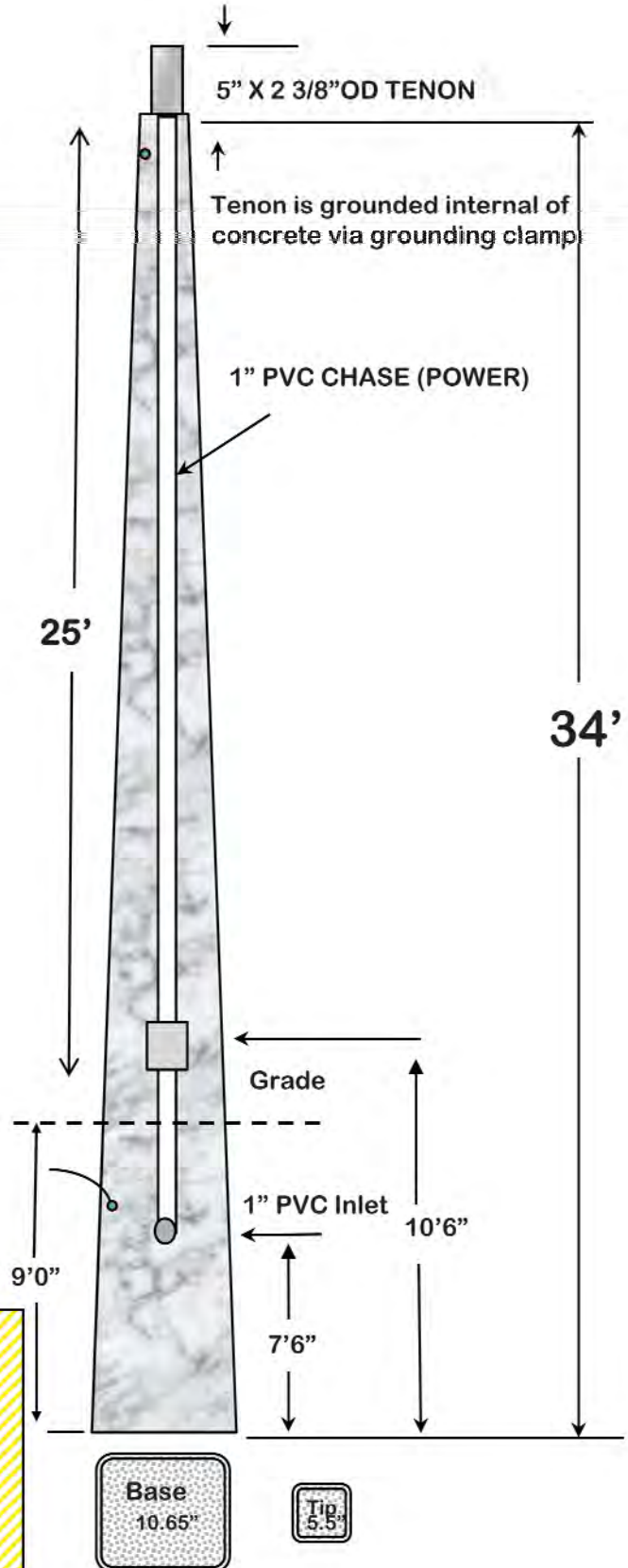
Cree, Inc. 9201 Washington Ave | Rochester, NY 14646 | Phone: 800-288-8650 | Fax: (800) 236-7500 | nationalaccounts@cree.com | www.cree.com/lighting/LS

Utilities Structures Inc.

US134THS-10676

Prestressed Concrete Pole

- Pole Weight= 2,140 pounds
- EPA capacity= 9.0
- Wind speed= 160 mph Vult
- Exposure "C"
- Risk Category II
- Gust Factor = 1.2
- Load factor = 1.3
- 2014 FBC 1609 1819
- ASCE 7-10
- Min. Brk. Strength= 1,800#
- Concrete= 6,500lbs @ 28 days
- Grd. Wire= #6 str. copper
- Strand= 1/2" @ 70% Ultimate
- Tenon= 2 3/8" OD x 5" Hgt.
- Color= Natural Concrete



Burger King

POLE DIMENSIONS	
Total Length	34.0 ft
Embedment	9.0 ft
Projection	25.0 ft
Tip Dimension	5.5 in
Taper Factor	0.152 in/ft
Dimension at Ground	9.29 in
Butt Dimension	10.65 in

MANDREL	
Mandrel Dia Tip	1.75 in
Start from Tip	0.25 ft
Mandrel Taper	0.127 in/ft
Mandrel Dia Butt	6.04 in

ATTACHED EPA	
Fixture EPA	9.50 sq ft
Mounting Height	25.0 ft

Wind Pressure	
$q_s = 0.00256 \times K_z \times K_d \times V^2$	36.89 psf ult
$p = q_s \times G \times C_f$	88.5 psf ult

Moment on Pole	
$A_s = (q_s \times \text{proj})^2 \times (1 + (gnd \text{ tip}) / (2 \times \text{proj}))^2 / 3$	15 ft ³
$M_{base} = p \times A_d$	176 ft-lb
$M_{base} = p_{avg} \times EPA \times \text{mounting height}$	12.2 ft-lb
$M_{base} = LF \times (M_{base} + M_{ext})$	36.1 ft-lb

Moment Capacity of Pole	
No. Stressed Strands= 4	
$A_s = 0.398 \text{ in}^3$	
$d_s = 7.29 \text{ in}$	
$I_{ps} = 0.004521$	
$\omega_{ps} = 0.172607$	
$f_{ps} = 248 \text{ ksi}$	
$a = 1.48 \text{ in}$	
$\phi_{bly} = 37 \text{ ft-lb}$	

Pole Embedment	
$P = (0.6) P_{base}$	1443 lb
$M = (0.6) M_{base}$	21651 ft-lb

Soil passive pressure	
$q = 300 \text{ psf / ft}$	
$d = 9.90 \text{ ft}$	
$b = 14.1 \text{ in}$	(diagonal dimension for square pole)
$S_1 = (d/q)/3 =$	900 psf
$A = (2.34 P)/(S_1 b) =$	3.19
$d = (A/2)(1 + [1 + (4.36 h/A)]^{1/2}) =$	8.99 ft

25' Projection with 9' Min Embedment	
--------------------------------------	--

Pole Design

WIND LOADING	
Wind Speed (V)	140
Exposure Category	C
Exposure Factor (K _z)	0.92
Exposure Factor (K _d)	0.95
Directionality (K _d)	0.9
Gust Factor (G)	1.2
Shape Factor (C _f)	2

CONCRETE	
Concrete f _c	6500 psi
Load Factor (LF)	1.5
Strength Red ϕ	0.9
β_1	0.65

Applied Force	
0 k ult	

Pole Weight	
1787 lb	

Select Structural

REINFORCING	
Number Strands	4
Strand Diameter	0.50 in
Strand Area	0.153 in ²
Strand Strength	270 ksi
Strand Centroid	2.98 in

Reinforcement	
Reinforcement Area	0.613 in ²
Reinforcement Strength	270 ksi
Reinforcement Centroid	2.98 in

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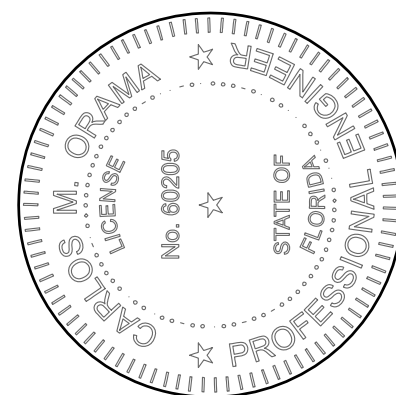
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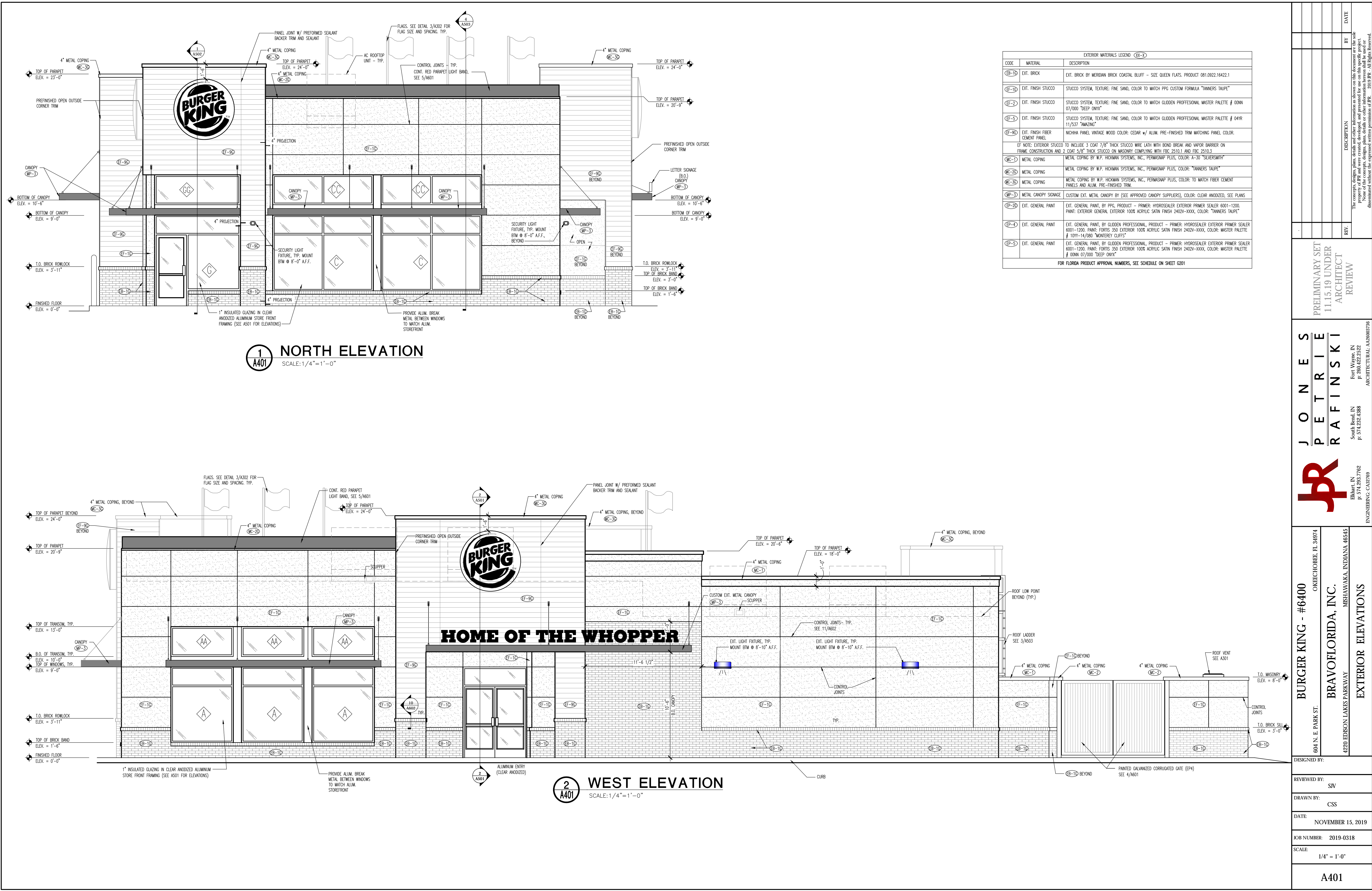
POLE NOTES:

- ALL WORK MUST BE DONE PER FBC2017 6TH EDITION, THE NATIONAL ELECTRICAL CODE (NEC) 2014 AND LOCAL COUNTY AHJ.
- CONTRACTOR SHALL PROVIDE ALL HARDWARE NECESSARY TO COMPLETE THE INTENDED INSTALLATION.
- CONTRACTOR WILL BE REQUIRED TO SUBMIT CALCULATIONS FOR POLE MANUFACTURER, SEALED BY STRUCTURAL ENGINEER LICENSED IN THE STATE OF FLORIDA, TO CERTIFY CONFORMANCE OF EACH ENTIRE POLE AND FIXTURE ASSEMBLY TO THE FLORIDA BUILDING CODE AND REQUIRED WIND LOADS.
- ALL POLE LIGHTS SHALL BE INSTALLED AT HEIGHT INDICATED ON THIS PLAN FROM GRADE. CONSULT WITH MANUFACTURER AND STRUCTURAL ENGINEER LICENSED IN THE STATE OF FLORIDA FOR POLE BASE REQUIREMENTS.
- EACH POLE LIGHTS SHALL BE PROVIDED WITH HAND HOLES MINIMUM 6" X 4". THEY SHALL BE SIZED TO CONTAIN ALL FUSE HOLDERS, CONNECTOR KITS, AND GROUND ROD. ALL CONNECTIONS SHALL BE WATERPROOF.
- EACH POLE LIGHTS SHALL HAVE A 3/4" X 10' COPPER CLAD GROUND ROD CONNECTED BY A #4 BARE COPPER CONDUCTOR. ALL EQUIPMENT GROUNDING CONDUCTORS SHALL BE BONDED TO THE GROUND ROD. ALL GROUNDING AND BONDING MUST COMPLY WITH NEC 250.



SHEET

EP-2



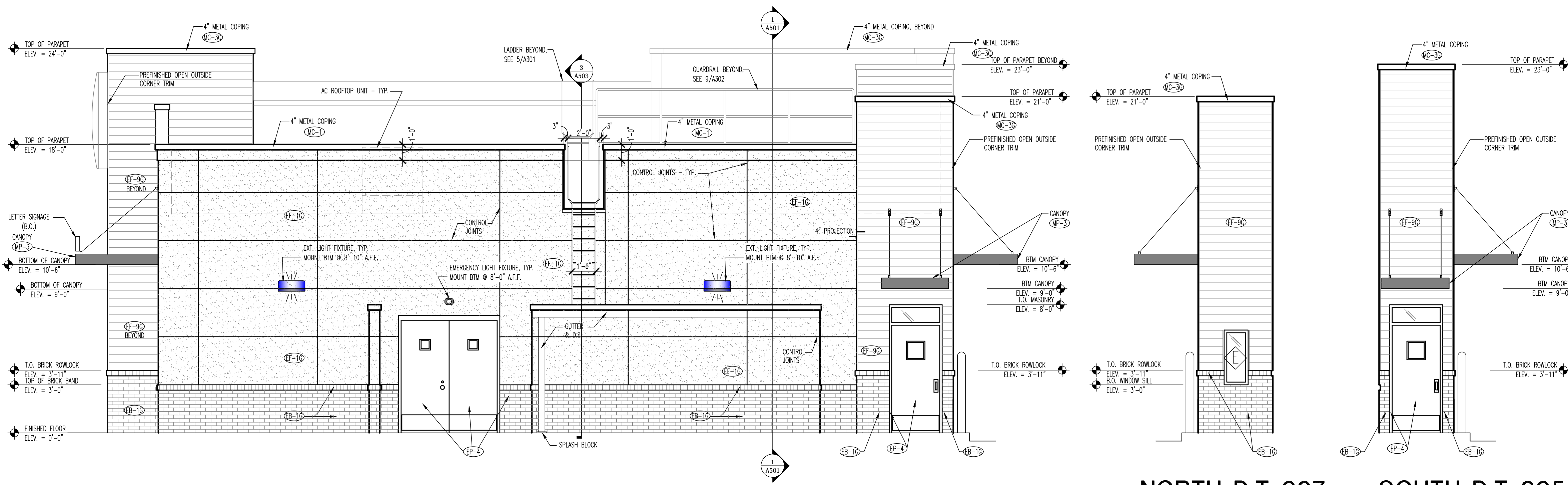
EXTERIOR MATERIALS LEGEND (XX-X)		
CODE	MATERIAL	DESCRIPTION
CB-10	EXT. BRICK	EXT. BRICK BY MERIDIAN BRICK COASTAL BLUFF - SIZE QUEEN FLATS. PRODUCT 081.0922.16422.1
EF-10	EXT. FINISH STUCCO	STUCCO SYSTEM, TEXTURE: FINE SAND, COLOR TO MATCH PPG CUSTOM FORMULA "TANNERS TAUPE"
EF-2	EXT. FINISH STUCCO	STUCCO SYSTEM, TEXTURE: FINE SAND, COLOR TO MATCH GLODEN PROFESSIONAL MASTER PALETTE # 00NN 07/000 "DEEP ONYX"
EF-5	EXT. FINISH STUCCO	STUCCO SYSTEM, TEXTURE: FINE SAND, COLOR TO MATCH GLODEN PROFESSIONAL MASTER PALETTE # 04YR 11/537 "AMAZING"
EF-96	EXT. FINISH FIBER CEMENT PANEL	NICHHA PANEL VINTAGE WOOD COLOR: CEDAR w/ ALUM. PRE-FINISHED TRIM MATCHING PANEL COLOR.
EF NOTE: EXTERIOR STUCCO TO INCLUDE 3 COAT 7/8" THICK STUCCO WIRE LATH WITH BOND BREAK AND VAPOR BARRIER ON FRAME CONSTRUCTION AND 2 COAT 5/8" THICK STUCCO ON MASONRY CORNELING WITH FBC 2510.1 AND FBC 2510.2		
MC-1	METAL COPING	METAL COPING BY W.P. HICKMAN SYSTEMS, INC., PERMASNAP PLUS, COLOR: A-30 "SILVERSMITH"
MC-26	METAL COPING	METAL COPING BY W.P. HICKMAN SYSTEMS, INC., PERMASNAP PLUS, COLOR: "TANNERS TAUPE"
MC-36	METAL COPING	METAL COPING BY W.P. HICKMAN SYSTEMS, INC., PERMASNAP PLUS, COLOR: TO MATCH FIBER CEMENT PANELS AND ALUM. PRE-FINISHED TRIM.
MP-3	METAL CANOPY SIGNAGE	CUSTOM EXT. METAL CANOPY BY (SEE APPROVED CANOPY SUPPLIERS), COLOR: CLEAR ANODIZED, SEE PLANS
EP-26	EXT. GENERAL PAINT	EXT. GENERAL PAINT, BY PPG, PRODUCT - PRIMER: HYDROSEALER EXTERIOR PRIMER SEALER 6001-1200, PAINT: EXTERIOR GENERAL EXTERIOR 100% ACRYLIC SATIN FINISH 2402V-KXXX, COLOR: "TANNERS TAUPE"
EP-1	EXT. GENERAL PAINT	EXT. GENERAL PAINT, BY GLODEN PROFESSIONAL, PRODUCT - PRIMER: HYDROSEALER EXTERIOR PRIMER SEALER 6001-1200, PAINT: FORTIS 350 EXTERIOR 100% ACRYLIC SATIN FINISH 2402V-KXXX, COLOR: MASTER PALETTE # 10YR-14/080 "MONTEREY CLIFFS"
EP-5	EXT. GENERAL PAINT	EXT. GENERAL PAINT, BY GLODEN PROFESSIONAL, PRODUCT - PRIMER: HYDROSEALER EXTERIOR PRIMER SEALER 6001-1200, PAINT: FORTIS 350 EXTERIOR 100% ACRYLIC SATIN FINISH 2402V-KXXX, COLOR: MASTER PALETTE # 00NN 07/000 "DEEP ONYX"
FOR FLORIDA PRODUCT APPROVAL NUMBERS, SEE SCHEDULE ON SHEET G201		

PRELIMINARY SET
11.15.19 UNDER
ARCHITECT
REVIEW

J O N E S
P E T R I E
R A F I N S K I
Fort Wayne, IN
p. 280.422.2322
South Bend, IN
p. 574.232.4888
Elkhart, IN
p. 574.293.7762
ENGINEERING: CA32789

BURGER KING - #6400
OKEECHOBEE, FL 34974
604 N. E. PARK ST.
BRAVOFLORIDA, INC.
MISHAWAKA, INDIANA 46545
4220 EDISON LAKES PARKWAY
EXTERIOR ELEVATIONS

DESIGNED BY:
REVIEWED BY: SVV
DRAWN BY: CSS
DATE: NOVEMBER 15, 2019
JOB NUMBER: 2019-0318
SCALE: 1/4" = 1'-0"
A401

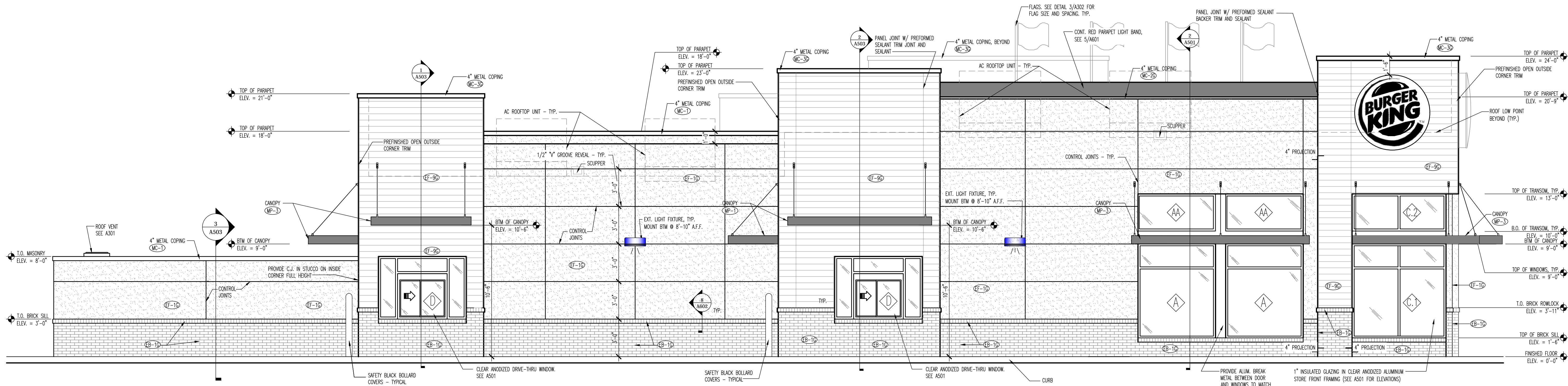


1 SOUTH ELEVATION
SCALE: 1/4"=1'-0"

3 NORTH D.T 007
ELEVATION
SCALE: 1/4"=1'-0"

4 SOUTH D.T 005
ELEVATION
SCALE: 1/4"=1'-0"

EXTERIOR MATERIALS LEGEND (XX-3)		
CODE	MATERIAL	DESCRIPTION
EB-10	EXT. BRICK	EXT. BRICK BY MERIDIAN BRICK COASTAL BLUFF - SIZE QUEEN FLATS, PRODUCT 081.0922.16422.1
EF-10	EXT. FINISH STUCCO	STUCCO SYSTEM, TEXTURE: FINE SAND, COLOR TO MATCH PPG CUSTOM FORMULA "TANNERS TAUPE"
EF-2	EXT. FINISH STUCCO	STUCCO SYSTEM, TEXTURE: FINE SAND, COLOR TO MATCH GUDEN PROFESSIONAL MASTER PALETTE # 00NN 07/000 "DEEP ONYX"
EF-5	EXT. FINISH STUCCO	STUCCO SYSTEM, TEXTURE: FINE SAND, COLOR TO MATCH GUDEN PROFESSIONAL MASTER PALETTE # 04YR 11/537 "AMAZING"
EF-30	EXT. FINISH FIBER CEMENT PANEL	NICHHA PANEL VINTAGE WOOD COLOR: CEDAR W/ ALUM. PRE-FINISHED TRIM MATCHING PANEL COLOR.
EF NOTE: EXTERIOR STUCCO TO INCLUDE 3 COAT 7/8" THICK STUCCO WIRE LATH WITH BOND BREAK AND VAPOR BARRIER ON FRAME CONSTRUCTION AND 2 COAT 5/8" THICK STUCCO ON MASONRY COMPLYING WITH FBC 2510.1 AND FBC 2510.3		
MC-1	METAL COPING	METAL COPING BY W.P. HICKMAN SYSTEMS, INC., PERMASNAP PLUS, COLOR: "SILVERSMITH"
MC-20	METAL COPING	METAL COPING BY W.P. HICKMAN SYSTEMS, INC., PERMASNAP PLUS, COLOR: "TANNERS TAUPE"
MC-30	METAL COPING	METAL COPING BY W.P. HICKMAN SYSTEMS, INC., PERMASNAP PLUS, COLOR TO MATCH FIBER CEMENT PANELS AND ALUM. PRE-FINISHED TRIM.
MP-3	METAL CANOPY SIGNAGE	CUSTOM EXT. METAL CANOPY BY (SEE APPROVED CANOPY SUPPLIERS), COLOR: CLEAR ANODIZED, SEE PLANS
EP-20	EXT. GENERAL PAINT	EXT. GENERAL PAINT, BY PPG, PRODUCT - PRIMER: HYDROSEALER EXTERIOR PRIMER SEALER 6001-1200, PAINT: EXTERIOR GENERAL EXTERIOR 100% ACRYLIC SATIN FINISH 2402V-XXXX, COLOR: "TANNERS TAUPE"
EP-1	EXT. GENERAL PAINT	EXT. GENERAL PAINT, BY GUDEN PROFESSIONAL, PRODUCT - PRIMER: HYDROSEALER EXTERIOR PRIMER SEALER 6001-1200, PAINT: FORTIS 350 EXTERIOR 100% ACRYLIC SATIN FINISH 2402V-XXXX, COLOR: MASTER PALETTE # 100Y-14/000 "MIDNIGHT CLUES"
EP-5	EXT. GENERAL PAINT	EXT. GENERAL PAINT, BY GUDEN PROFESSIONAL, PRODUCT - PRIMER: HYDROSEALER EXTERIOR PRIMER SEALER 6001-1200, PAINT: FORTIS 350 EXTERIOR 100% ACRYLIC SATIN FINISH 2402V-XXXX, COLOR: MASTER PALETTE # 00NN 07/000 "DEEP ONYX"
FOR FLORIDA PRODUCT APPROVAL NUMBERS, SEE SCHEDULE ON SHEET G201		



2 EAST ELEVATION
SCALE: 1/4"=1'-0"

PRELIMINARY SET 11.15.19 UNDER ARCHITECT REVIEW	J O N E S P E T R I E R A F I N S K I Fort Wayne, IN p. 280.422.532 South Bend, IN p. 574.232.1888 ARCHITECTURAL: AA36083756	BURGER KING - #6400 604 N. E. PARK ST. OKECHOBEE, FL 34974 BRAVOFLORIDA, INC. 4220 EDISON LAKES PARKWAY MISHAWAKA, INDIANA 46545 EXTERIOR ELEVATIONS	DESIGNED BY: REVIEWED BY: SV DRAWN BY: CSS DATE: NOVEMBER 15, 2019 JOB NUMBER: 2019-0318 SCALE: 1/4"=1'-0" A402
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