



**City of Okeechobee**  
**TECHNICAL REVIEW COMMITTEE**  
**55 SOUTHEAST THIRD AVENUE ♦ OKEECHOBEE, FL 34974**  
**January 20, 2022**  
**LIST OF EXHIBITS**

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**Draft Minutes**

December 16, 2021, Summary of Committee Action

**Exhibit 1**

Staff Report/Application for Site Plan Review  
Application No. 22-001-TRC



**CITY OF OKEECHOBEE, FLORIDA**  
**TECHNICAL REVIEW COMMITTEE MEETING**  
**DECEMBER 16, 2021**  
**SUMMARY OF COMMITTEE ACTION**

**I. CALL TO ORDER**

Chairperson Ritter called the regular meeting of the Technical Review Committee (TRC) for the City of Okeechobee to order on Thursday, December 16, at 10:10 A.M. in the City Council Chambers, located at 55 Southeast Third Avenue, Room 200, Okeechobee, Florida, followed by the invocation and Pledge of Allegiance.

**II. ATTENDANCE**

The following TRC Members were present: City Administrator Gary Ritter, Building Official Jeffery Newell, Okeechobee County Fire Rescue (OCFR) Captain Justin Hazellief, Police Chief Donald Hagan, and Public Works Director David Allen. City Planning Consultant Jim LaRue, Committee Secretary Patty Burnette and General Services Secretary Keli Trimnal were also present. Fire Chief Herb Smith, City Attorney Gloria Velazquez, Okeechobee County Environmental Health Director Victor Faconti, Okeechobee Utility Authority (OUA) Executive Director John Hayford, and the Okeechobee County School Board representative were absent.

**III. AGENDA**

- A. There were no items added, deferred, or withdrawn from the agenda.
- B. Motion by Building Official Newell, seconded by Public Works Director Allen to approve the agenda as presented. **Motion Carried Unanimously.**
- C. There were no comment cards submitted for public participation.

**IV. MINUTES**

- A. Motion by Building Official Newell, seconded by Public Works Director Allen to dispense with the reading and approve the November 18, 2021, Regular Meeting minutes. **Motion Carried Unanimously.**

**V. NEW BUSINESS**

- A. Site Plan Review Application No. 21-007-TRC, to construct a parking lot with drainage and landscaping to the East side of an existing 2.250 sq. ft. commercial building to be converted for a medical marijuana dispensary located at 1300 N. Parrott Avenue.
  - 1. City Planning Consultant Mr. Jim LaRue of LaRue Planning and Management Services briefly reviewed the Planning Staff Report recommending approval of the site plan with the following criteria being met prior to issuance of any building permits; Applicant must adhere to all landscape requirements; parking spaces need to meet the 9-feet by 20-feet standard and drainage requirements must meet the approval of the Public Works Director.
  - 2. Building Official Newell and OCFR Captain Hazellief suggested turnaround/T-Turn for the fire trucks, Police Chief Hagan inquired about whether the new parking lot would be paved, or if it would be asphalt millings as indicated in the application.
  - 3. Mr. Steven Dobbs, Engineer on behalf of the Applicant, Karrie Larson of Trulieve, Inc. was available for questions. He stated the parking lot would be paved, and all contingencies noted in the Planning Staff Report would be met.
  - 4. No public comments were offered.
  - 5. OCFR Captain Hazellief disclosed he spoke with Mr. Dobbs about the project.
  - 6. Motion by Building Official Newell, seconded by Public Works Director Allen to approve Site Plan Review Application No. 21-007-TRC, as presented in [Exhibit 1, which includes the Planning Consultant's analysis of findings and recommendation for approval] with the following conditions: the Applicant must adhere to all landscape requirements; parking lot must be asphalt and not asphalt millings; parking spaces need to meet the 9-feet by 20-feet standard; add a turnaround/T-Turn for fire trucks; and drainage requirements must meet the approval of the Public Works Director. **Motion Carried Unanimously.**

**VI.** Chairperson Ritter adjourned the meeting at 10:22 A.M.

Submitted by:

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Patty M. Burnette, Secretary

Please take notice and be advised that when a person decides to appeal any decision made by the Technical Review Committee with respect to any matter considered at this proceeding, he/she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based. General Services' media are for the sole purpose of backup for official records.

DRAFT



## **Staff Report Site Plan Review:**

*Prepared for:*            *The City of Okeechobee*

*Applicant:*                *Budget Homes, LLC*

*Address:*                 *NW Corner of NE 5<sup>th</sup> St and NE 3<sup>rd</sup> Ave*

*Parcel ID:*                *3-15-37-35-0010-00890-0110*

*Petition No.:*            *22-001-TRC*

*Description:*             *Triplex with sidewalk and parking*



**General Information**

Owner/Applicant	Budget Homes, LLC Mike Jimenez 7416-A SW 48 <sup>th</sup> Street Miami, FL 33155
Owner/Applicant Phone Number	305.778.4444
Owner/Applicant Email Address	mike@excelconstructionllc.com
Site Address	NW Corner of NE 5th Street and NE 3rd Avenue
Parcel Identification Number	3-15-37-35-0010-00890-0110
For the legal description of the project or other information regarding this application, please refer to the application submittal package which is available by request at City Hall and is posted on the City's website prior to the advertised public meeting at <a href="https://www.cityofkeechobee.com/agendas.html">https://www.cityofkeechobee.com/agendas.html</a>	

**Future Land Use, Zoning and Existing Use**

	Existing	Proposed
Future Land Use	Multi-Family Residential	Multi-Family Residential
Zoning District	Residential Multiple Family	Residential Multiple Family
Use of Property	Vacant	Triplex with sidewalk and parking
Acreage	0.32 acres	0.32 acres

**Future Land Use, Zoning and Existing Uses on Surrounding Properties**

<b>North</b>	Future Land Use	Multi-Family Residential and Commercial
	Zoning District	Residential Multiple Family and Light Commercial
	Existing Land Use	Residences
<b>East</b>	Future Land Use	Single Family Residential
	Zoning District	Residential Single Family
	Existing Land Use	Residences
<b>South</b>	Future Land Use	Commercial
	Zoning District	Light Commercial
	Existing Land Use	Vacant
<b>West</b>	Future Land Use	Commercial
	Zoning District	Heavy Commercial
	Existing Land Use	Residences

## General Description

The subject site is located on the northwest corner of NE 5<sup>th</sup> Street and NE 3<sup>rd</sup> Avenue. The Applicant's proposed site plan consists of a 2940 square foot building containing three dwelling units along with 6 parking spaces.

Following is the Staff analysis of the project's consistency with the various City requirements and regulations. Instances where the Staff believes the submission to be deficient are highlighted.

## Adequacy of Public Facilities

**POTABLE WATER AND SANITARY SEWER:** The estimated demand for potable water and waste water treatment for one multi-family dwelling unit is 285 gallons per day (114 gallons per person per day at an average household size of 2.5). Demand for potable water and waste water treatment for one triplex multi-family dwelling unit amounts to 845 gallons per day. This estimated increase in demand for the Okeechobee Utility Authority, which the Applicant has stated will be providing service to the site, is not significant.

**SOLID WASTE DISPOSAL:** Service will be provided by Waste Management. Previous landfill capacity estimates indicate that there is adequate capacity to serve the proposed development.

**DRAINAGE:** The proposed surface water system consists of dry retention areas with a control structure. The first inch of stormwater runoff will be treated on site. The system is designed to retain the 25 year storm event of 24-hour duration

### TRAFFIC GENERATION, ACCESS, EGRESS, AND INTERNAL CIRCULATION:

Estimated trip generation rates provided by the Institute of Traffic Engineers indicates that, for one triplex (ITE code 220), 13 daily vehicle trips are expected to be generated. This is not a significant increase. Local roadways and SR-70 should not experience a significant change in traffic intensity from this development.

One 30 foot wide driveway is proposed on NE 3<sup>rd</sup> Ave to provide ingress and egress to the site. Internal circulation appears adequate.

## Compatibility With Adjacent Uses

There are existing residences to the north and east and commercial properties to the west and south. The proposed project meets all buffering requirements and does not pose any compatibility issues for the adjacent uses. The location of the site is appropriate for a multifamily project.

## Compliance with Land Development Codes

Regulation	Required	Provided
<b>Min Lot Area</b> §90-196(1)(c)	4,356 square feet for each dwelling unit	14,000 sq ft

Regulation	Required	Provided
<b>Min FY Setback</b> (SE 8th Ave) §90-196(2)(b)	25'	49'
<b>Min SY Setback</b> §90-196(2)(b)	20'	20'
<b>Min RY Setback</b> §90-196(2)(b)	20'	20'
<b>Min Waterbody Frontage Easement</b> §90-451	20'	N/A
<b>Max Lot Coverage</b> §90-196(3)(a)	40%	21%
<b>Max Impervious Surface</b> §90-196(3)(a)	60%	42.7%
<b>Max Height</b> §90-196(4)	45'	20'
<b>Min parking space dimensions</b> §90-511(b)	9' by 20'	9' x 20'
<b>Min Loading space dimensions</b> §90-511(c)	At least 10' wide by 30' long w/14' vertical clearance.	N/A
<b>Minimum Driveway Width</b> §90-511(d)(2)	24' wide drive for spaces between 75° and 90°.	In compliance
<b>Paved Parking</b> §90-511(e)(1)	Each parking and loading space shall be paved	In compliance
<b>Paved Space Access</b> §90-511(e)(2)	Each parking or loading space shall open directly onto a driveway that is not a public street, and each parking space shall be designed to permit access without moving another vehicle.	In compliance
<b>Paved Area Safety</b> §90-511(e)(3)	Buildings, parking and loading areas, landscaping and open spaces shall be designed so that pedestrians moving between parking areas and buildings are not unreasonably exposed to vehicular traffic hazards.	In compliance

Regulation	Required	Provided
<b>Paved Area Safety</b> §90-511(e)(4)	Paved pedestrian walks shall be provided along the lines of the most intense use, particularly between building entrances to streets, parking areas, and adjacent buildings.	In compliance
<b>Paved Area Safety</b> §90-511(e)(5)	Loading facilities shall be identified as to purpose and location when not clearly evident	N/A
<b>Paved Area Safety</b> §90-511(e)(5)	No parking space accessed via a driveway from a public road shall be located closer than 20 feet from the right-of-way line of said public road.	In compliance
<b>Min Number of Off-street Parking Spaces</b> §90-512(1)	2 spaces per two-bedroom unit <u>2 x 3 = 6 spaces required</u>	6 provided
<b>Min number of Off-street Loading spaces</b> §90-513(1)	No loading space required for facilities with less than 20 dwelling units	N/A
<b>Min number of resident ADA parking spaces</b> Florida Accessibility Code §208.2.3.2	Where the total number of parking spaces provided for each residential dwelling unit exceeds one parking space per residential dwelling unit, 2 percent, but no fewer than one space  <u>1 ADA space required</u>	One
<b>Min number of guest/employee ADA parking spaces</b> Florida Accessibility Code §208.2.3.3	Where parking spaces are provided for persons other than residents, parking shall be provided in accordance with Table 208.2.  <u>1 ADA space required for facilities with 1 – 25 spaces.</u>	N/A
<b>Min ADA parking space dimensions</b> Florida Accessibility Code §502	12' by 20' with a 5' wide access aisle	In compliance
<b>Landscaping for parking and Vehicular use areas</b> §90-533(1)	18 sf of landscaping required per required parking space. <u>18 x 6 = 108 sf of required landscaped space</u>	In compliance



Regulation	Required	Provided
<b>Landscaping for parking and Vehicular use areas</b> § 90-533(2)	One tree per 72 sf of required landscape area <i>2 required trees</i>	10 provided
<b>Landscaping for parking and Vehicular use areas</b> §90-533(4)	Two feet of landscaping required between buildings and vehicular use areas.	N/A
<b>Landscaping for parking and Vehicular use areas</b> §90-533(5)	Min. dimension of landscaped areas must not be less than 4' except adjacent to on-site buildings.	In compliance
<b>Landscaping for parking and Vehicular use areas</b> §90-533(6)	One landscaped island at least 5' by 15' w/at least one tree must be provided for each 10 required parking spaces w/ a maximum of 12 uninterrupted parking spaces in a row.	N/A
<b>Landscaping for parking and Vehicular use areas</b> §90-533(7)	The remainder of a parking landscape area shall be landscaped with grass, ground cover, or other landscape material.	In compliance
<b>Landscape buffer areas</b> §90-534(1)	10' minimum width of street frontage buffers	In compliance
<b>Landscape buffer areas</b> §90-534(1)	2' minimum width of property line buffers	In compliance
<b>Landscape buffer areas</b> §90-534(2)	1 tree and 3 shrubs for each 300 square feet of required landscaped buffer	In compliance
<b>Landscape buffer areas</b> §90-534(3)	Trees may be planted in clusters, but shall not exceed 50 feet on centers abutting the street.	In compliance
<b>Species diversification</b> §90-538(c)	When more than ten trees are required to be planted, two or more species shall be used.	N/A
<b>Tree spacing from utility structures</b> §90-538(d)	Trees and shrubs shall not be planted in a location where at their maturity they would interfere with utility services (in accordance with §90-543).	In compliance

Regulation	Required	Provided
<b>Shade</b> §90-538(e)	Trees should maximize the shading of pedestrian walks and parking spaces.	In compliance
<b>Landscape area barriers</b> §90-538(g)	Landscaping shall be protected from vehicular encroachment by means of curbs, wheel stops, walks or similar barriers.	In compliance
<b>Drought tolerance</b> §90-540(b)	Plants required to be installed shall be elected from the South Florida Water Management District's Xeriscape Plant Guide.	In compliance
<b>Drought tolerance</b> §90-540(b)	At least 75 percent of the total number of plants required shall be state native very drought tolerant species as listed in the South Florida Water Management District Xeriscape Plant Guide. However, when a landscape irrigation system is installed, at least 75 percent or the total number of plants required shall be state native moderate or very drought tolerant species.	In compliance
<b>Min tree size</b> §90-540(c)	Trees shall be at least ten feet high and two inches in diameter measured four feet above ground level at the time of planting.	In compliance
<b>Prohibited species</b> §90-542	Species listed in §90-542 shall not be planted.	In compliance
<b>Fencing</b> §90-639(a)	Fences shall not exceed a height of five feet in front of the front building line, nor a height of eight feet elsewhere	N/A
<b>Sidewalks</b> §78-36(a)(1)	Sidewalks required adjacent to right-of-way	N/A

Regulation	Required	Provided
<b>Photometric Plan</b> §78-71(a)(5)	All off-street parking areas, service roads, walkways and other common use exterior areas open to the public shall have a minimum of one-half horizontal foot-candle power of artificial lighting. Lighting, when provided, shall be directed away from public streets and residential areas and shall not be a hazard or distraction to motorists traveling a street.	In compliance

**Recommendation**

Based on the foregoing analysis, we recommend that approval of this site plan be conditional upon the following criteria being met prior to issuance of any building permits:

1. The verification of curbside pickup for trash collection.
2. The City's engineering department should review the proposed stormwater facilities and the submitted drainage report to ensure on site stormwater will be captured and released according to all applicable standards.

Submitted by:



James G. LaRue, AICP  
President  
January 10, 2022

TRC Hearing date: January 20, 2022

### FUTURE LAND USE Subject Site and Environs



**LAND USE CLASSIFICATIONS**

- lot\_line
- SINGLE - FAMILY RESIDENTIAL
- MIXED USE RESIDENTIAL
- MULTI - FAMILY RESIDENTIAL
- COMMERCIAL
- INDUSTRIAL
- PUBLIC FACILITIES
- EASEMENT
- +—+ RAILROAD CENTERLINE
- HOPKINS MEANDER LINE
- UNINCORPORATED


## ZONING Subject Site and Environs



**EXISTING LAND USE**  
**Subject Site and Environs**



CITY OF OKEECHOBEE  
Application for Site Plan Review

	City of Okeechobee General Services Department 55 S.E. 3 <sup>rd</sup> Avenue, Room 101 Okeechobee, Florida 34974 Phone: (863) 763-3372, ext. 9820 Fax: (863)763-1686 E-mail: <a href="mailto:pburnette@cityofokeechobee.com">pburnette@cityofokeechobee.com</a>	Date Received	12-2-21
		Application No.	22-001-TRC
		Fee Paid:	12-2-21 \$1000.00
		Receipt No.	54730
		Hearing Date:	1-20-2022

**APPLICANT INFORMATION**

1	Name of property owner(s):	Budget Homes, LLC Mike Jimenez
2	Owner mailing address:	7416-A SW 48th Street, Miami, FL 33155
3	Name of applicant(s) if other than owner:	Same as owner
4	Applicant mailing address:	Same as owner
5	Name of contact person (state relationship):	
6	Contact person daytime phone(s) and email address:	305-778-4444 Email: mike@excelconstructionllc.com
7	Engineer: Name, address and phone number:	Abraham Chabab, PE 1391 NW St. lucie Blvd #411, Port St lucie FL 34986 Ph: 772-4756630 Email: agchababl@msn.com
8	Surveyor: Name, address and phone number:	Tradewinds Surveying Group, Mike Rice 200 SW 3rd Ave. Okeechobee, FL 34974 Ph: 863-763-2887 Email: wc.twps@yahoo.com

**PROPERTY and PROJECT INFORMATION**

9	Property address/directions to property:	NW corner of NE 3rd <sup>Avenue</sup> St and NE 5th <sup>Street</sup> Ave
10	Parcel Identification Number	3-15-37-35-0010-00890-0110
11	Current Future Land Use designation:	Multi Family
12	Current Zoning district:	Residential Multi Family
13	Describe the project including all proposed uses, type of construction and conceptual building layout, how the business or use is expected to operate on the site, including but not limited to: number of employees expected; hours of operation; location, extent and type of any outdoor storage or sales, etc., and fire flow layout. Use additional page if necessary.	Proposed project consists of one triplex building (2940SF), sidewalk and parking area for 6 parking spaces.
14	Describe existing improvements on property (for example, the number and type of buildings, dwelling units, occupied or vacant, etc.). Use additional page if necessary.	Vacant Land
15	Total land area in square feet (if less than two acres):	14000 SF or acres: 0.32 AC
16	Is proposed use different from existing or prior use	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

CITY OF OKEECHOBEE

Application for Site Plan Review

17	Number and description of phases: One phase
18	Source of potable water: OUA
19	Method of sewage disposal: Grinder Pump that will connect to existing 12" Force Main.

**ATTACHMENTS REQUIRED FOR ALL APPLICATIONS**

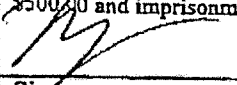
20	Applicant's statement of interest in property Owner
21	One (1) copy of last recorded warranty deed
22	Notarized letter of consent from property owner (if applicant is different from property owner)
23	Three (3) CERTIFIED BOUNDARY and TOPOGRAPHIC surveys, (one to be no larger than 11 x 17; scale not less than one inch to 20 feet; North point) containing: a. Date of survey, surveyor's name, address and phone number b. Legal description of property pertaining to the application c. Computation of total acreage to nearest tenth of an acre d. Location sketch of subject property, and surrounding area within one-half mile radius
24	Two (2) sets of aerials of the site.
25	Eleven (11) copies of sealed site plan drawings (see attached checklist for details of items to be included)
26	Eleven (11) copies of drawing indicating facades for all buildings, including architectural elevations.
27	Eleven (11) copies of landscape plan, including a separate table indicating the number of trees and shrubs by type and showing both the official and common name of each type of tree and shrub.
28	Eleven (11) copies of photometric lighting plan (see Code of Ordinances & LDR's Section 78-71 (A) (5)).
29	Three (3) copies of sealed drainage calculations.
30	Attach a Traffic Impact Study prepared by a professional transportation planner or transportation engineer, if the rezoning or proposed use will generate 100 or more peak hour vehicle trip ends using the trip generation factors for the most similar use as contained in the Institute of Transportation Engineers most recent edition of Trip Generation. The TIA must identify the number of net new external trips, pass-bay calculations, internal capture calculations, a.m. and p.m. peak hour trips and level of service on all adjacent roadway links with and without the project.
31	USB flash drive of application

32 Nonrefundable application fee: \$1,000.00 plus \$30.00 per acre.  
 NOTE: Resolution No. 98-11 Schedule of Land Development Regulation Fees and Charges - When the cost for advertising, publishing and mailing notices of public hearings exceeds the established fee, or when a professional consultant is hired to advise the City on the application, the applicant shall pay the actual costs.

NOTE: Submissions will be reviewed by the General Services Coordinator and City Planner for all necessary documentation. The Applicant will be notified at least 10 days prior to the TRC meeting whether or not additional information is required to proceed or if the review will be rescheduled to the next TRC meeting.

**Confirmation of Information Accuracy**

I hereby certify that the information in this application is correct. The information included in this application is for use by the City of Okeechobee in processing my request. False or misleading information may be punishable by a fine of up to \$500.00 and imprisonment of up to 30 days and may result in the summary denial of this application.

 Michael R. Jimenez 12/2/21  
 Signature Printed Name Date





[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

## Detail by Entity Name

Florida Limited Liability Company  
BUDGET HOMES, LLC

### Filing Information

**Document Number** L15000134778  
**FEI/EIN Number** 47-4760204  
**Date Filed** 08/06/2015  
**State** FL  
**Status** ACTIVE

### Principal Address

7416-A SW 48TH ST  
MIAMI, FL 33155

### Mailing Address

7416-A SW 48TH ST  
MIAMI, FL 33155

### Registered Agent Name & Address

JIMENEZ, MICHAEL R  
7416-A SW 48TH ST  
MIAMI, FL 33155

### Authorized Person(s) Detail

#### **Name & Address**

Title MGR

JIMENEZ, MICHAEL R  
7416-A SW 48TH ST  
MIAMI, FL 33155

### Annual Reports

Report Year	Filed Date
2019	04/01/2019
2020	01/14/2020
2021	01/13/2021

### Document Images

[01/13/2021 -- ANNUAL REPORT](#)

[View image in PDF format](#)

Prepared by and return to:  
FRANK H. FEE, IV

Fee and Fee, PLLC  
400 NW 2nd Street  
Okeechobee, FL 34972  
863-763-3131  
File No.: 21-2386

Parcel Identification No. 3-15-37-35-0010-00890-0110

[Space Above This Line For Recording Data]

## Warranty Deed

(STATUTORY FORM - SECTION 689.02, F.S.)

This Indenture made this 28th day of October, 2021 Between

LMXN HOLDINGS, LLC, a Florida Limited Liability Company whose post office address is 1306 SW 2ND AVENUE, Okeechobee, FL 34974 of the County of Okeechobee, State of Florida, grantor\*, and

BUDGET HOMES, LLC, a Florida Limited Liability Company whose post office address is 7416-A SW 48th Street, Miami, FL 33155 of the County of Miami-Dade, State of Florida, grantee\*,

Witnesseth that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Okeechobee County Florida, to-wit:

LOTS 11 AND 12, BLOCK 89, TOWN OF OKEECHOBEE, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 2, PAGE 17, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, A COPY OF SAID PLAT BEING ALSO RECORDED IN PLAT BOOK 1, PAGE 10; AND PLAT BOOK 5, PAGE 5, BOTH OF THE PUBLIC RECORDS OF OKEECHOBEE COUNTY, FLORIDA.

Subject to restrictions, reservations and easements of record, if any.

and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

\* "Grantor" and "Grantee" are used for singular or plural, as context requires.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

LMXN HOLDINGS, LLC, a Florida Limited Liability Company

By: Lorraine E. Mixon  
LORRAINE E. MIXON, Authorized Member

Stephanie Gomez  
Witness Name: Stephanie Gomez

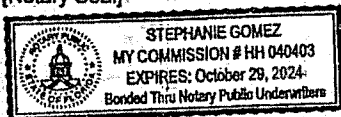
Karin Ammer  
Witness Name: Karin Ammer

State of Florida  
County of Okeechobee

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization, this 28th day of October, 2021 by LORRAINE E. MIXON, Authorized Member of LMXN HOLDINGS, LLC, a Florida Limited Liability Company, on behalf of the corporation. She  is personally known to me or  has produced a driver's license as identification.

[Notary Seal]

Stephanie Gomez  
Notary Public



**BUDGET HOMES, LLC**  
**7416-A SW 48<sup>th</sup> STREET**  
**MIAMI, FL 33155**  
**Ph: (305) 778-4444**  
**Email: [mike@excelconstructionllc.com](mailto:mike@excelconstructionllc.com)**

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Nov. 30, 2021

Patty Burnette, General Services Coordinator  
Town of Okeechobee  
55 SE 3<sup>rd</sup> Avenue  
Okeechobee, FL 34974

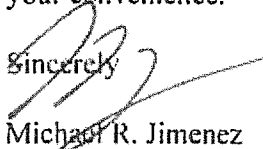
**RE : Budget Homes, LLC, Letter of Intent**

Dear Ms. Burnette:

This property is located at NW corner of NE 5<sup>th</sup> Street and NE 3<sup>rd</sup> Avenue with total acreage of 0.32 acres (14,000SF). Proposed site plan consists of 2940 SF building that has three dwelling units with 6 parking spaces. Enclosed you will find the necessary plans and documents for this project to be scheduled for January 20, 2022.

Should you have any questions or require any additional information, please contact us at your convenience.

Sincerely,

  
Michael R. Jimenez  
Manager

# BOUNDARY SURVEY & SITE PLAN PREPARED FOR KINGS COMMERCIAL CENTER, LLC.

**DESCRIPTION:**

LOTS 11 AND 12, BLOCK 89, TOWN OF OKEECHOBEE, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 2, PAGE 17, PUBLIC RECORDS OF ST. LUCIE COUNTY FLORIDA, A COPY OF SAID PLAT BEING ALSO RECORDED IN PLAT BOOK 1, PAGE 10; AND PLAT BOOK 5, PAGE 5, BOTH OF THE PUBLIC RECORDS OF OKEECHOBEE COUNTY, FLORIDA.

NORTH



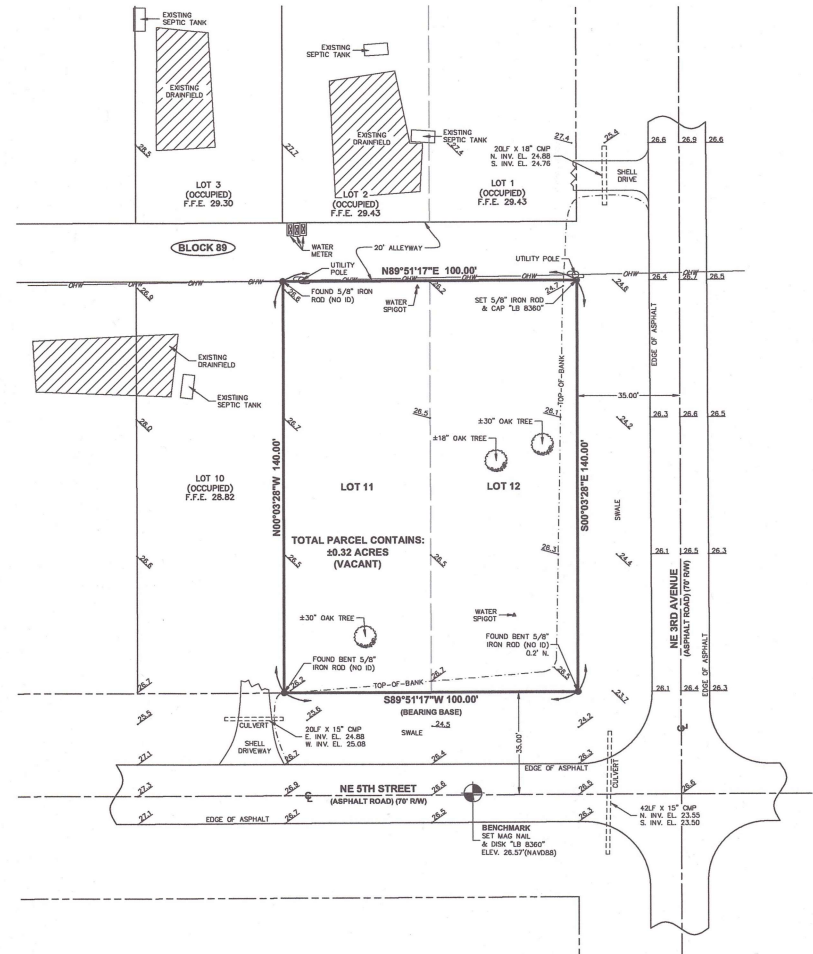
**PROJECT SPECIFIC NOTES:**

- 1) UNLESS SHOWN OTHERWISE, ALL DIMENSIONS ARE PLAT(P) AND MEASURED(M).
- 2) SITE ADDRESS: NOT ASSIGNED AT TIME OF SURVEY.
- 3) PARCEL ID: 3-15-37-35-0010-00890-0110.
- 4) F.I.R.M. ZONE: "X", MAP NO. 12093C0480C, DATED 07/18/15.
- 5) THIS SURVEY IS NOT INTENDED TO DEPICT JURISDICTIONAL AREAS OR OTHER AREAS OF LOCAL CONCERN.
- 6) SURVEYOR WAS NOT PROVIDED WITH ANY TITLE INFORMATION FOR THIS PARCEL. SURVEYOR ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THE ACCURACY OF EASEMENT DIMENSIONS SHOWN HEREON, THERE MAY BE OTHER EASEMENTS OR RESTRICTIONS THAT EFFECT THIS PARCEL.
- 7) THE SURVEY DEPICTED HERE IS NOT COVERED BY PROFESSIONAL LIABILITY INSURANCE.
- 8) ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- 9) THE DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT OR THE CLIENT'S REPRESENTATIVE.
- 10) BEARING REFERENCE: THE NORTH RIGHT-OF-WAY LINE OF NE 5TH STREET IS TAKEN TO BEAR SOUTH 89°51'17" WEST.
- 11) DATE OF LAST FIELD SURVEY: 11/15/21.

**SITE PLAN NOTES:**

- 1) SUBJECT TO CLIENT AND PERMITTING AGENCY APPROVAL.
- 2) CONTRACTOR IS TO VERIFY SETBACKS AND LOCATION OF EXISTING UTILITIES.
- 3) HOUSE DIMENSIONS SHOWN MAY BE APPROXIMATE, REFER TO APPROVED BUILDING PLANS FOR CONSTRUCTION DIMENSIONS.
- 4) THE ELEVATIONS SHOWN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988).
- 5) PUBLIC WATER SUPPLY IS AVAILABLE.
- 6) PER CITY OF OKEECHOBEE ORDINANCE NO. 90-168 PARAGRAPH 1, ALL PROPOSED RESIDENTIAL BUILDING PADS SHALL BE A MINIMUM OF 12" ABOVE THE CROWN OF ADJACENT ROAD.

PREPARED FOR THE EXCLUSIVE USE OF:  
KINGS COMMERCIAL CENTER, LLC.



ADD TOPOGRAPHY BOUNDARY & TOPO SURVEY	11/18/21 10/28/21	377/18 376/29	WC AL	JJR JJR
DESCRIPTION	DWG. DATE	FB/PG	BY	CK
SCALE 1" = 30'	DRAWING NUMBER: <b>21-483</b>			
SHEET 1 OF 1				

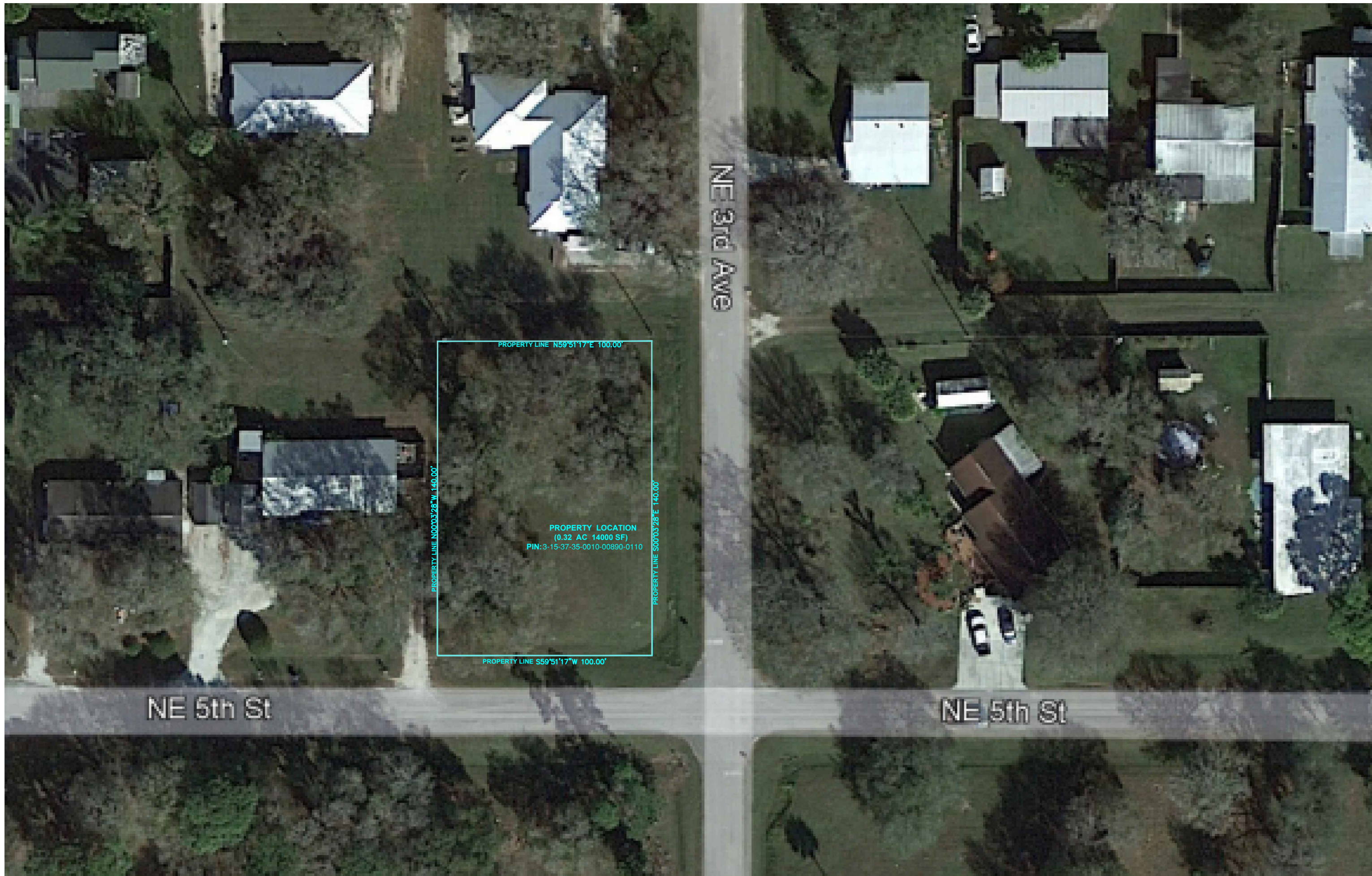
**LEGEND**  
 ○—Set Iron Rod and Cap "LB 8360"      ■—Found CM  
 ●—Found Iron Rod (and Cap)      ⊙—Found Pipe (and Cap)  
**ABBREVIATIONS**  
 B=Baseline, BM=Benchmark, C=Centerline, C=Calculated, DAT=Cable TV, CM=Concrete Monument, CON=Concrete, D=Disk, Δ=Delta or Central Angle, E=East, ELV=Elevation, E/P=Edge of Pavement, ESM=Easement, F.I.R.M.=Flood Insurance Rate Map, FID=Found, FIP=Found Iron Pipe, IRM(=Iron Rod (and Cap)), L=(=) Length, M=Measured, MH=Manhole, N=North, NLY=Northerly, NGVD=National Geodetic Vertical (Datum) of 1929, NTS=Not to Scale, O/W=Overhead Wires, P=Property Line, P=Plot, PC=Point of Curvature, PCC=Point of Compound Curvature, PCP=Permanent Control Point, PGB=Point of Beginning, POC=Point of Commencement, PRC=Point of Reverse Curvature, PRM=Permanent Reference Monument, PTP=Point of Tangency, PU&D=Public Utility and Drainage, R=Radius, R/W=Right-of-Way, S=South, SLY=Southerly, T=Target, TL=Telephone Splice or Switch Box, W=West, WLY=Westerly, UTL=Utility(ies),  $\text{Elev.}$ =Spot Elevation based on indicated Datum.

- STANDARD NOTES:**
1. No search of the public records for determination of ownership or restrictions affecting the lands shown was performed by the surveyor.
  2. The survey depicted here is prepared exclusively for those parties noted.
  3. No responsibility or liability is assumed by the surveyor for use by others not specifically named.
  4. Not valid without the signature and embossed seal of Florida licensed surveyor and mapper #4506.
  5. There are no visible above ground encroachments except as shown.
  6. No attempt was made to locate underground improvements and/or encroachments (if any) as part of this survey.
  7. This survey was prepared in accordance with and conforms to the standards of practice for professional surveyors and mappers as outlined in Chapter 53-17, Florida Administrative Code.

**TRADEWINDS SURVEYING GROUP, LLC.**

200 SW 3rd Avenue  
Okeechobee, FL 34974  
Tel: (863) 763-2887  
Fax: (863) 763-4342

John J. Rice, P.S.M. (LS 4506) LB 8360



NE 3rd Ave

NE 5th St

NE 5th St

PROPERTY LINE N59°51'17" E 100.00'

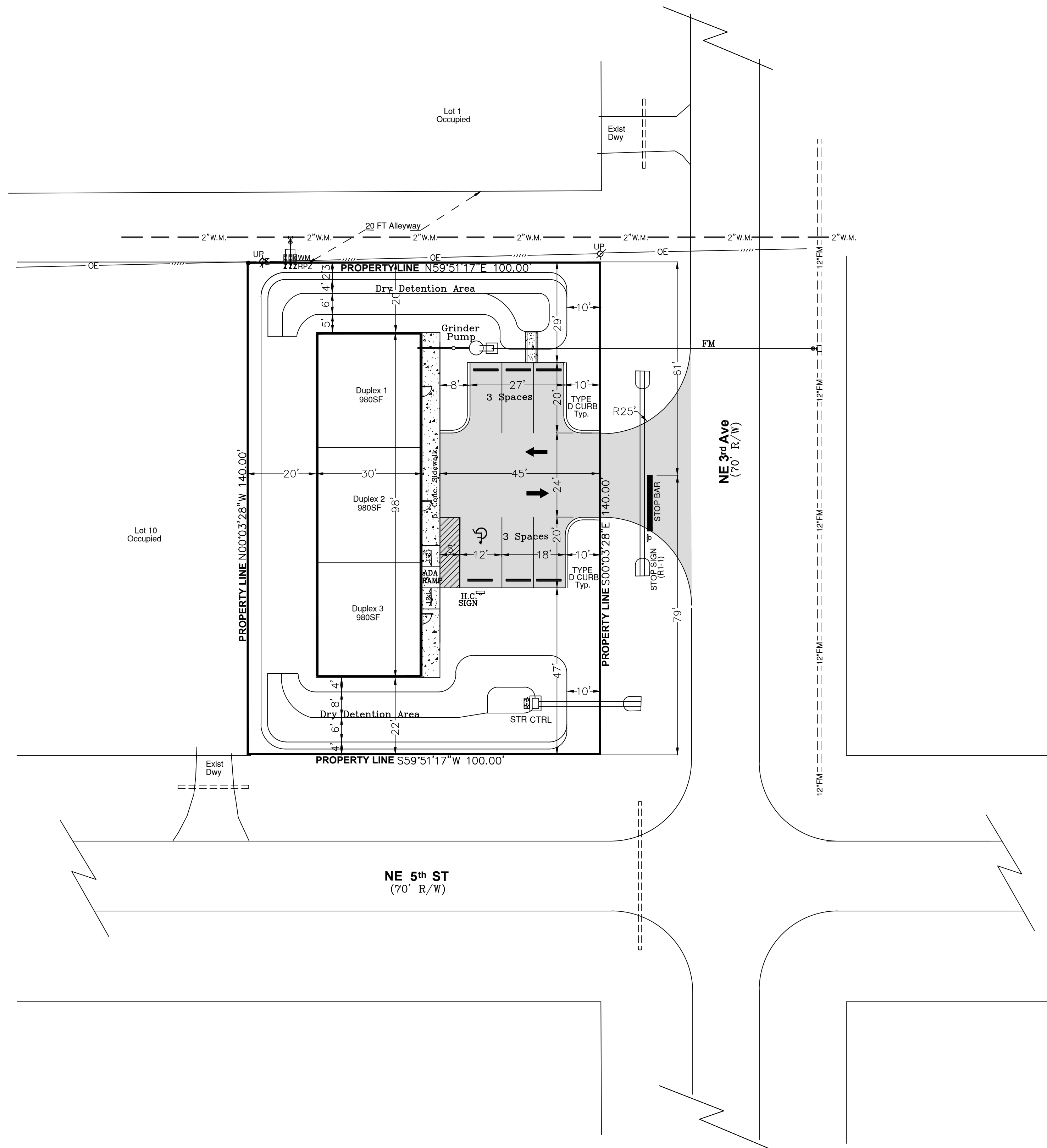
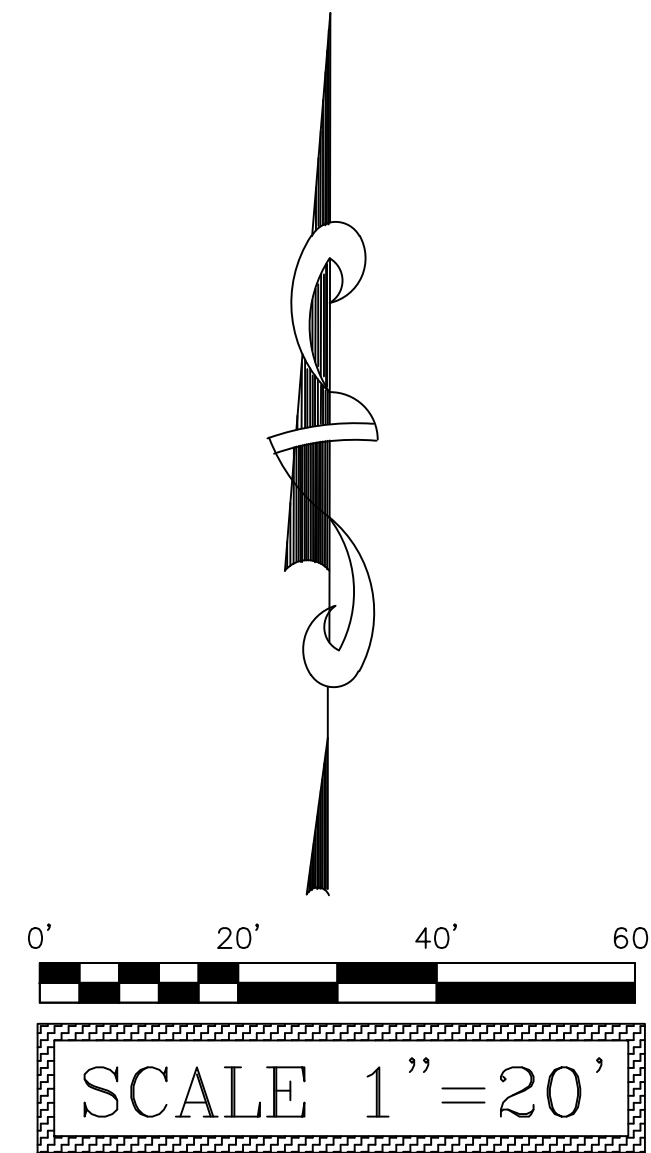
PROPERTY LOCATION  
(0.32 AC 14000 SF)  
PIN: 3-15-37-35-0010-00890-0110

PROPERTY LINE S59°51'17" W 100.00'

PROPERTY LINE N00°03'26" W 140.00'

PROPERTY LINE S00°03'26" E 140.00'





**GENERAL NOTES**

PROJECT NAME : BUDGET HOMES, LLC  
 OWNER : BUDGET HOMES, LLC  
 7416-A SW 48<sup>th</sup> STREET  
 MIAMI, FL 33155  
 LOCATION : xxx NE 3<sup>rd</sup> Ave  
 LAND USE : MLR  
 LAND ZONING : MLR  
 LEGAL DESCRIPTION : LOTS 11 & 12, BLOCK 89, TOWN OF OKEECHOBEE ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 2, PAGE 17 PUBLIC RECORDS OF ST. LUCIE COUNTY FLORIDA.  
 A COPY OF SAID PLAT BEING ALSO RECORDED IN PLAT BOOK 1, PAGE 10: AND PLAT BOOK 5, PAGE 5, BOTH OF THE PUBLIC RECORDS OF OKEECHOBEE COUNTY, FLORIDA.  
 SAID LAND CONTAINS 0.321 ACRES, MORE OR LESS.

PIN : 3-15-37-35-0010-00890-0110  
 BUILDING HEIGHT : 20.0 FEET  
 NUMBER OF STORIES : ONE

**UTILITIES:**  
 ELECTRICAL : FPUA  
 WATER & SEWER : FPUA  
 TELEPHONE : BELL SOUTH  
 SOLID WASTE : AUTHORIZED SOLID WASTE CO.

**AREA TABULATION:**

SITE COVERAGE	ACREAGE	SF	% OF SITE
BUILDING	0.0675	2940	21.00
BUILDING TOTAL	0.0675	2940	21.00
PROP. PAVED AREA	0.0536	2320	16.57
PROP. SIDEWALKS/PADS	0.0165	720	5.14
PAVEMENT IMPERVIOUS	0.0701	3040	21.71
TOTAL IMPERVIOUS	0.1373	5980	42.71
GREEN AREA/OPEN SPACE	0.1841	8020	57.29
TOTAL	0.3214	14000	100.00

**PARKING CALCULATIONS :**

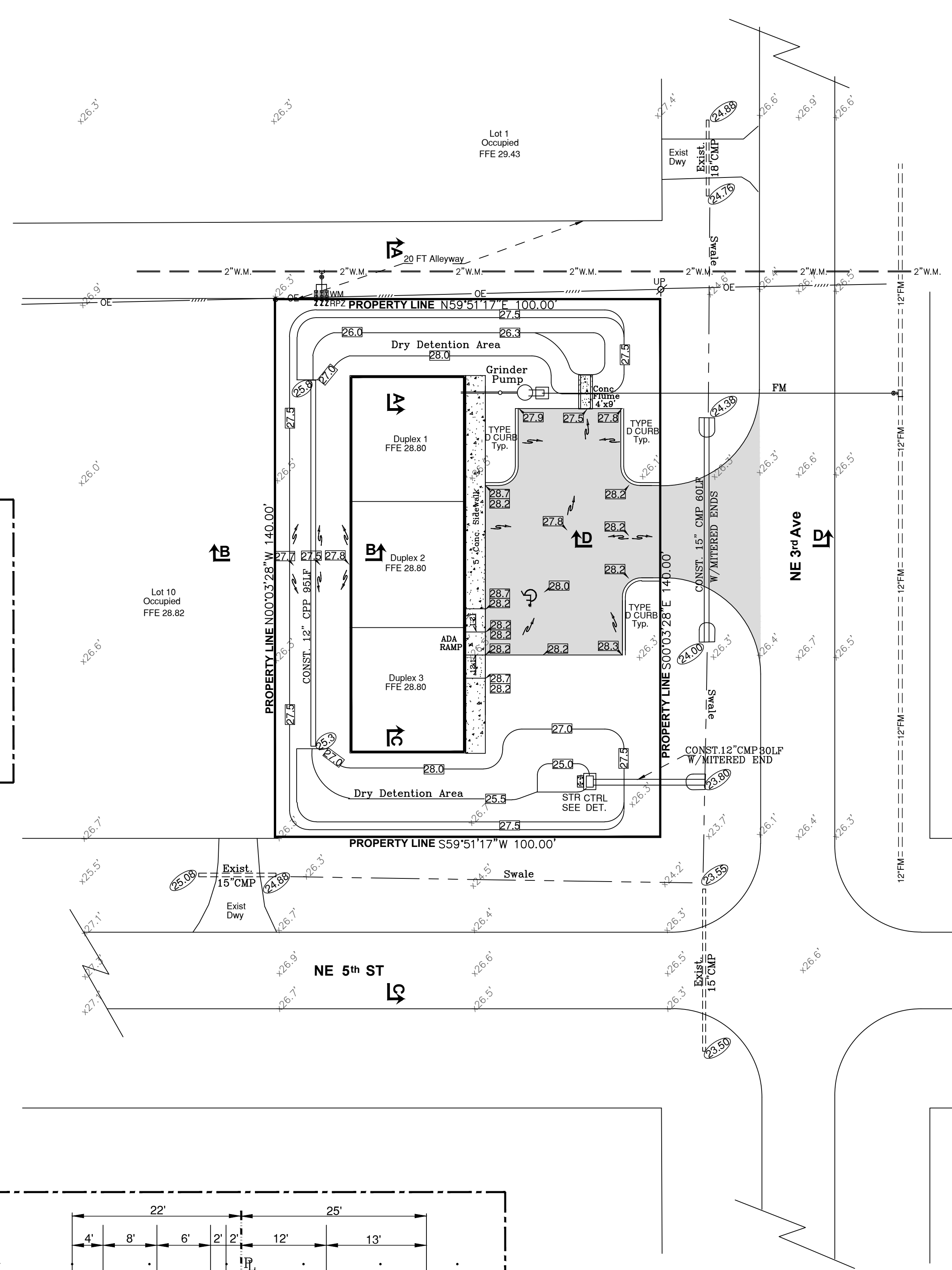
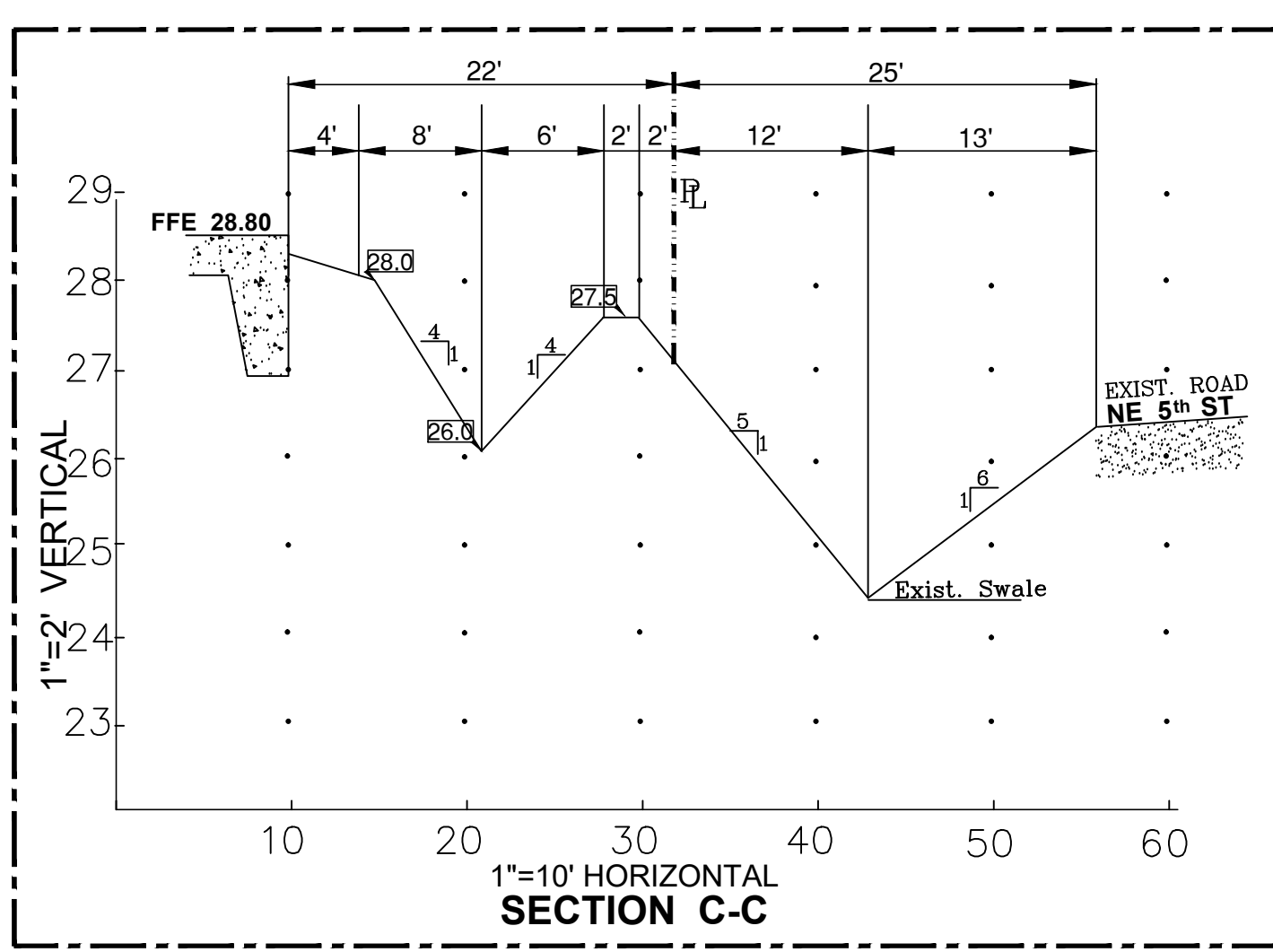
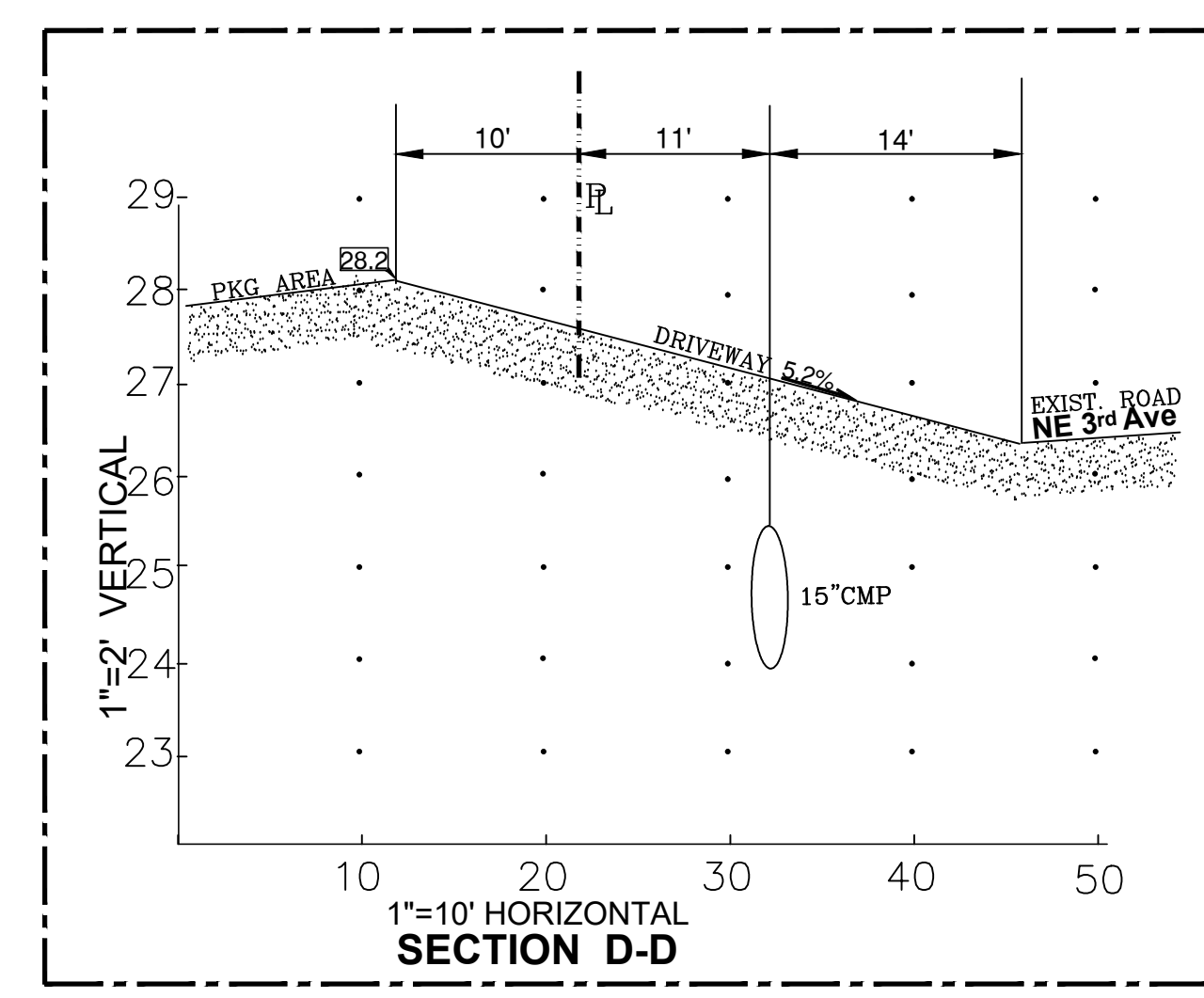
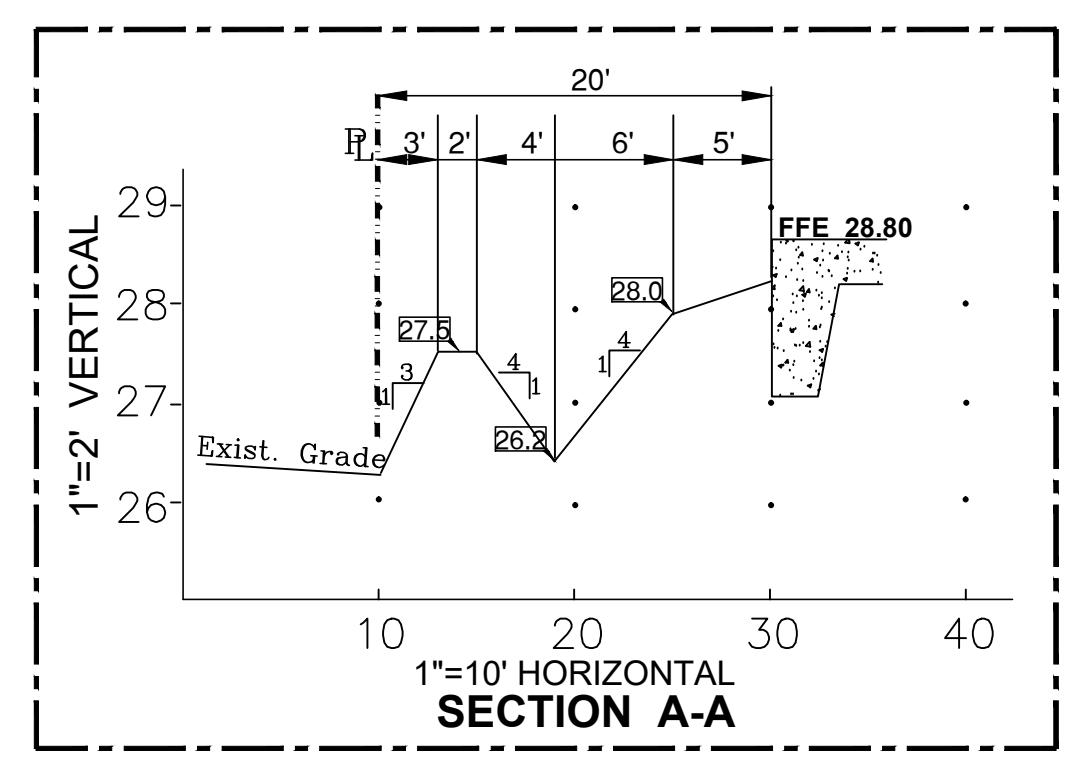
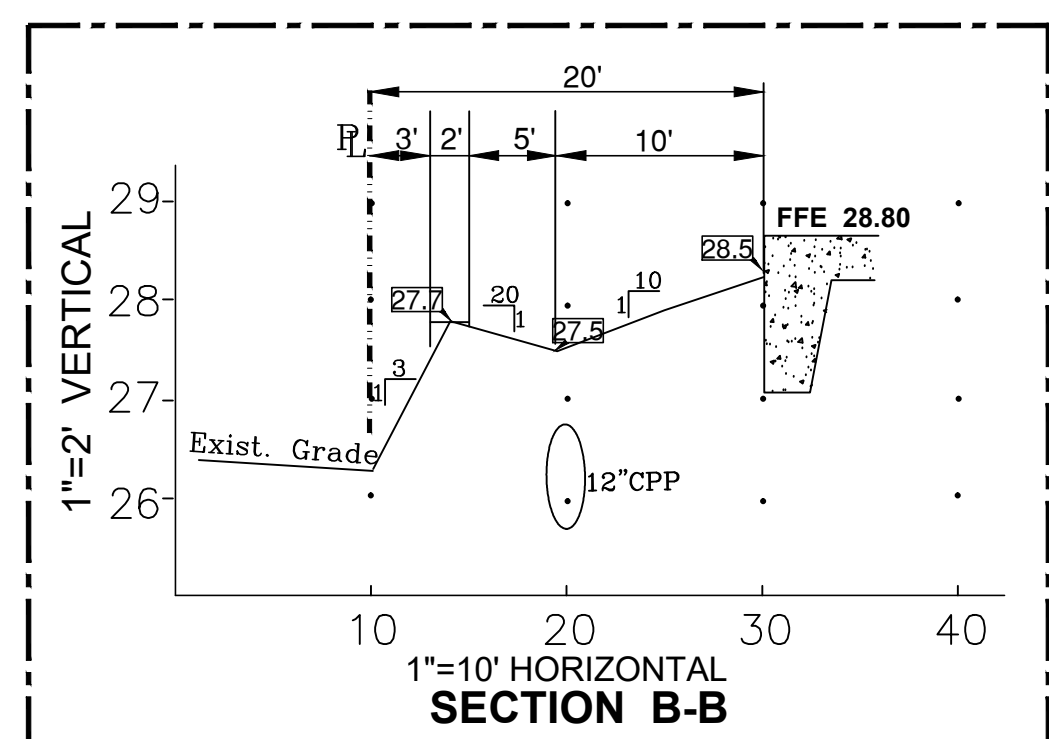
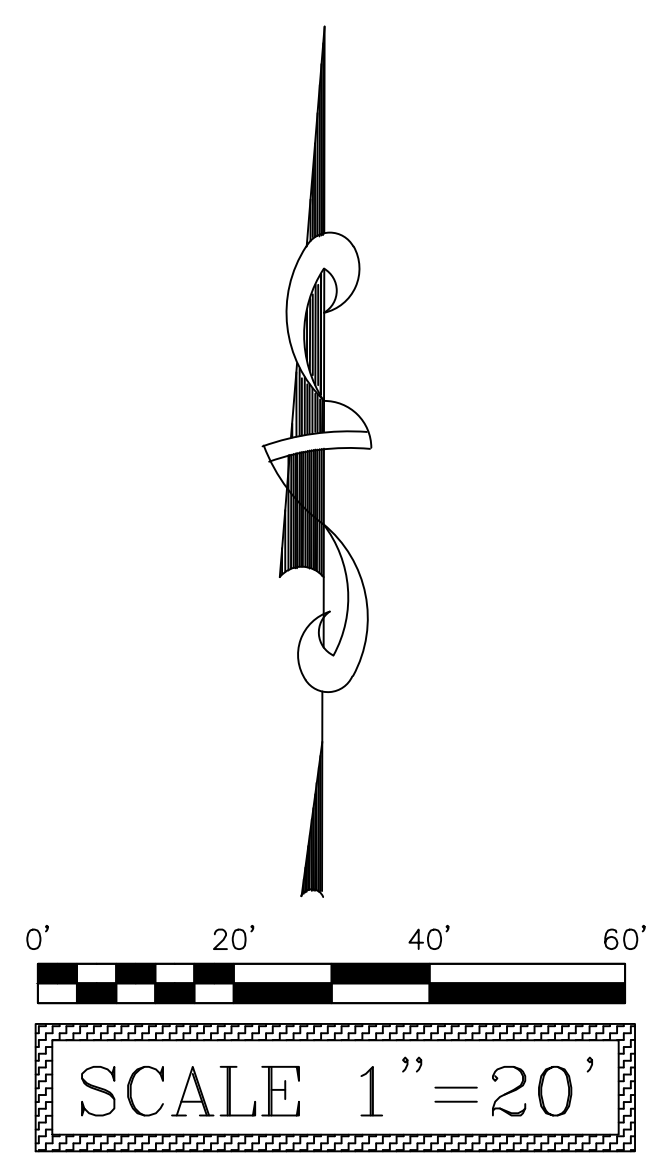
PARKING SPACES REQUIRED :  
 3 DUPLEX UNIT :  $3 \text{ UNITS} \times 2.0 \text{ PKG SPACE/UNIT} = 6.0 \text{ PKG SPACES}$   
 TOTAL REQUIRED = 6.0 PKG SPACES  
 PARKING PROVIDED : 5 REGULAR PKG & 1 H.C. = 6.0 PKG SPACES

**FLOOD ZONE MAP:**

PROPERTY LIES IN F.I.R.M. ZONE X AS SHOWN ON PANEL 12093C0480C DATED 07/16/15

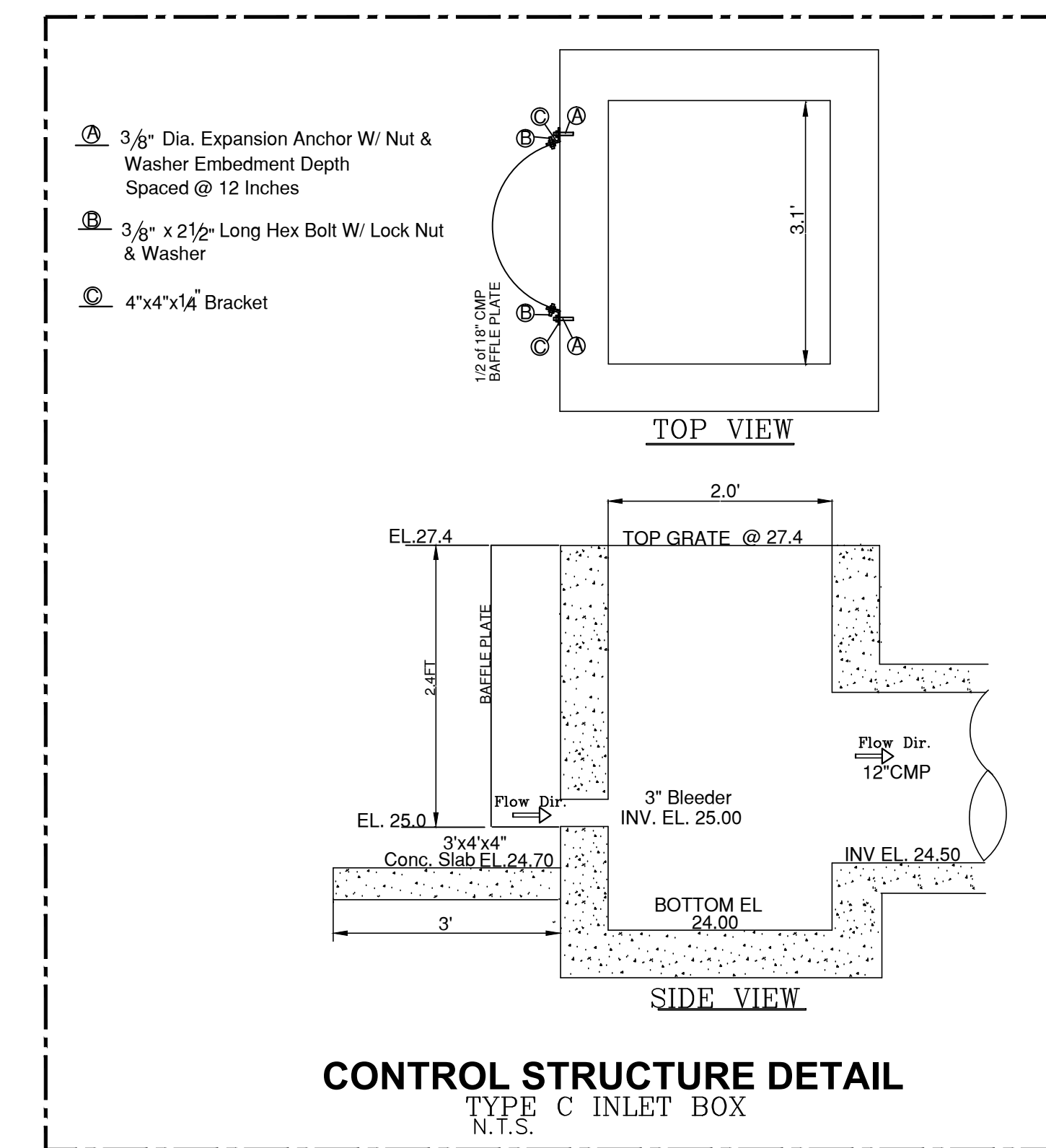
48 HOURS BEFORE DIGGING  
 CALL TOLL-FREE  
**1-800-432-4770**  
 SUNSHINE STATE ONE CALL  
 OF FLORIDA, INC  
 UNDERGROUND UTILITIES NOTIFICATION CENTER

<b>ABRAHAM CHABAB, Inc.</b> FL. BOARD OF PROF. ENG. AUTH.#26790	<b>BUDGET HOMES, LLC</b>	DESIGNED BY AC	REVISIONS	DATE
		DRAWN BY AC		
1391 NW St. Lucie West Blvd #411 PORT ST. LUCIE FL. 34986 Email agchabab1@msn.com Ph: 772-475-6630	<b>SITE PLAN</b>	DATE Nov. 7/2021		
		SHEET 1 OF 4		



LEGEND	
±28.1	EXISTING GRADE ELEVATION
[HP]	HIGH POINT
1/2 CURB 26.10 25.75 8/CURB	PROPOSED ELEVATION
[Arrow]	RUNOFF FLOW DIRECTION
[Symbol]	FDOT MITERED END SECTION
22.0	PIPE INVERT
CMP	CORRUGATED METAL PIPE
CPP	CORRUGATED POLYETHYLENE PIPE (N12) MANUF. BY ADS

LEGEND	
[Symbol]	TEE
[Symbol]	45° BEND
[Symbol]	90° ELBOW
[Symbol]	F.H. FIRE HYDRANT
[Symbol]	GATE VALVE
[Symbol]	BACKFLOW PREVENTER
[Symbol]	SERVICE CLEAN OUT
[Symbol]	METER BOX
[Symbol]	EXIST. 12" W.M.
[Symbol]	EXIST. 8" FORCE MAIN
[Symbol]	CATCH BASIN
[Symbol]	GAS MAIN
[Symbol]	PVC POLYVINYL CHLORIDE
[Symbol]	CIP CAST IRON PIPE



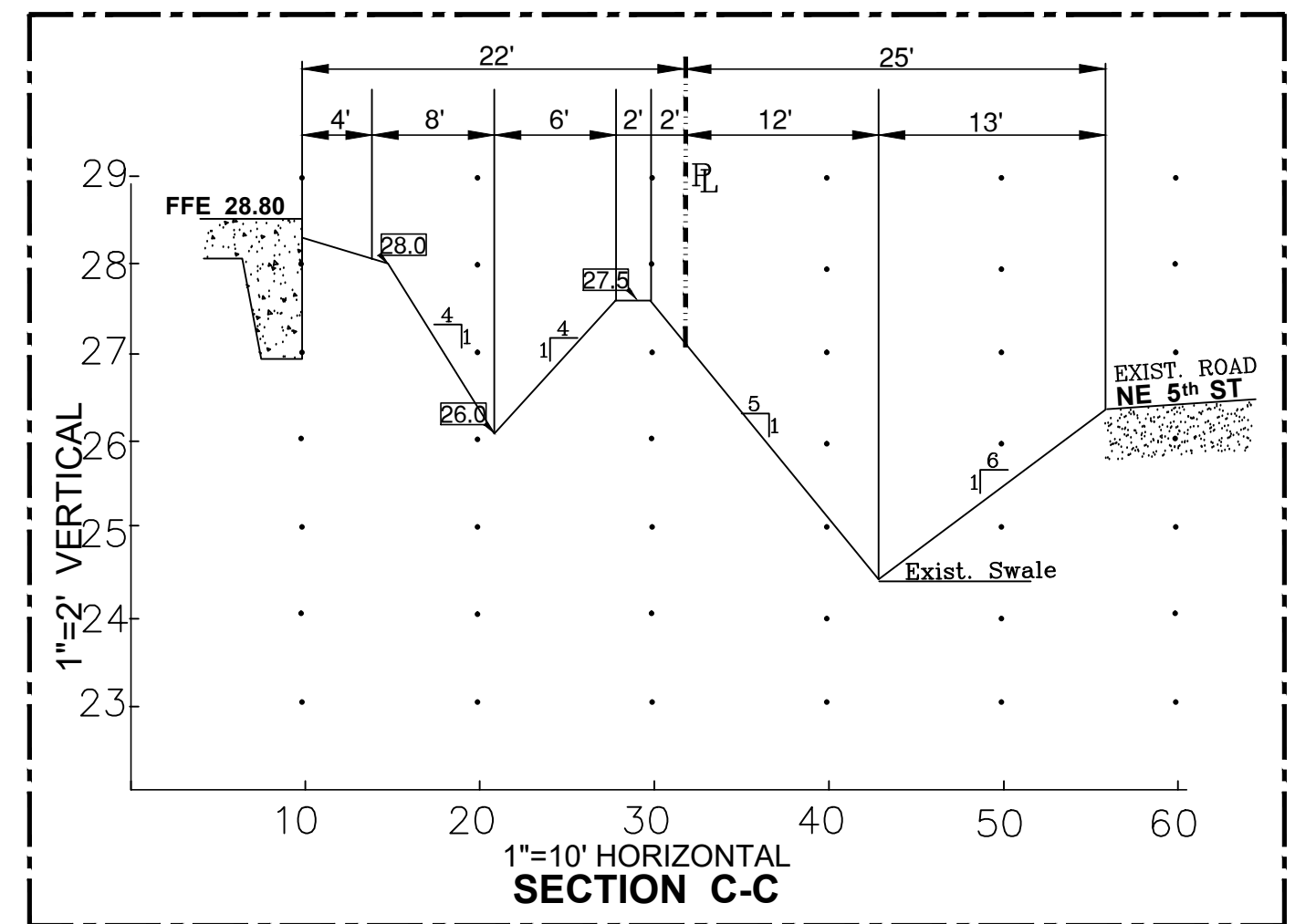
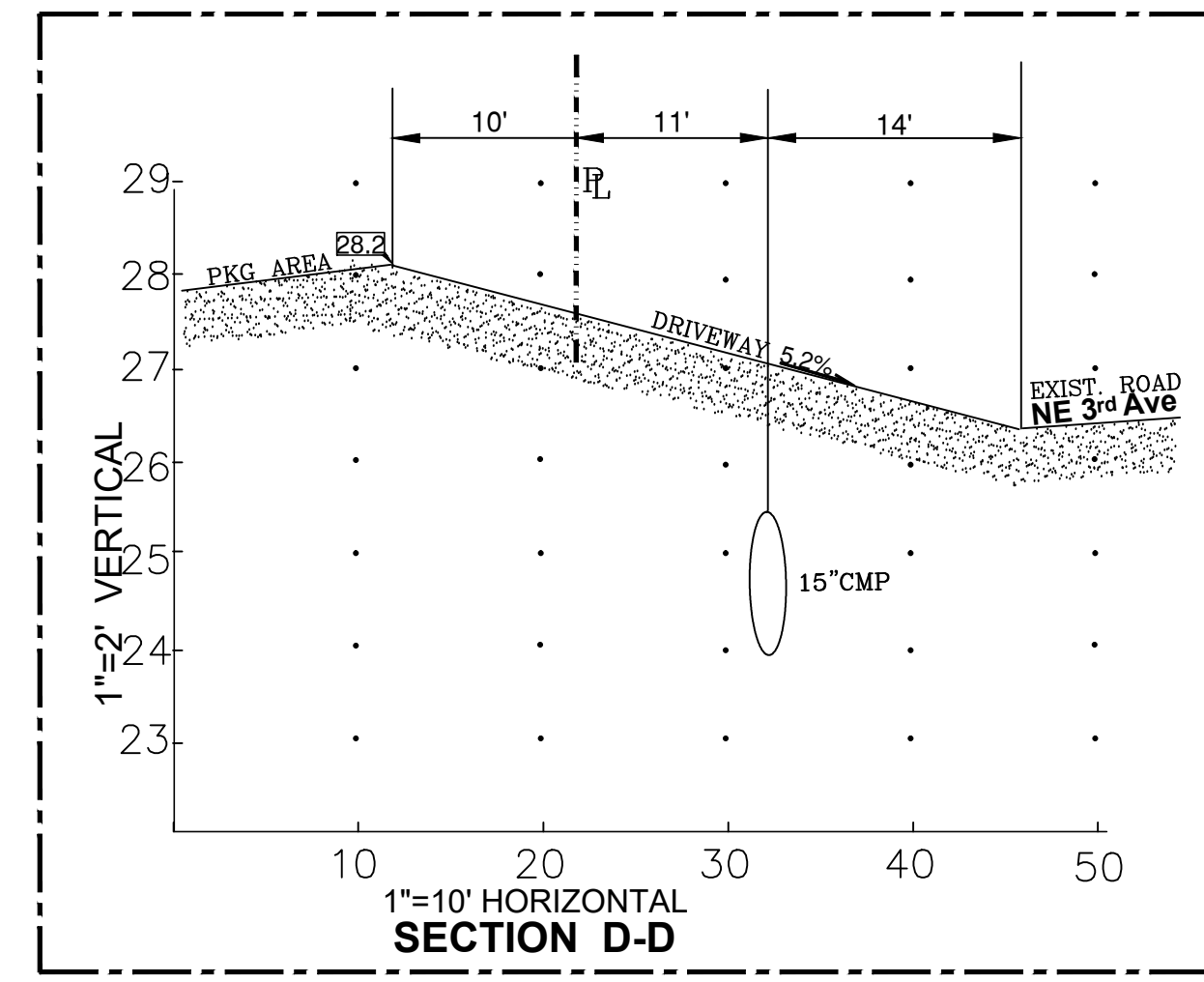
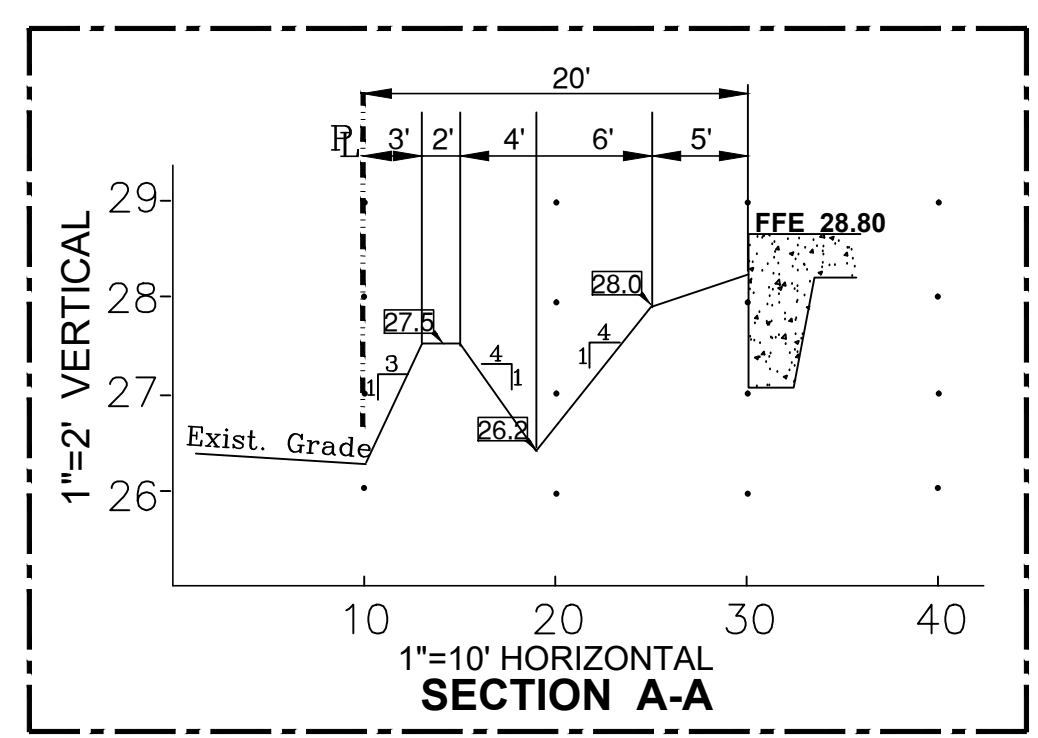
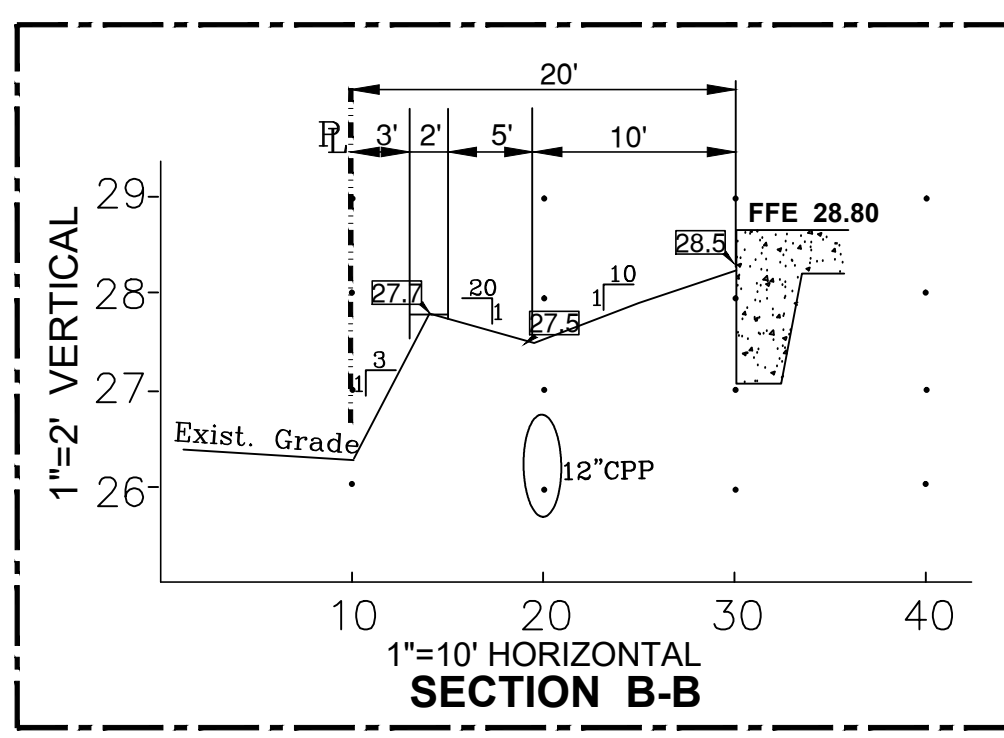
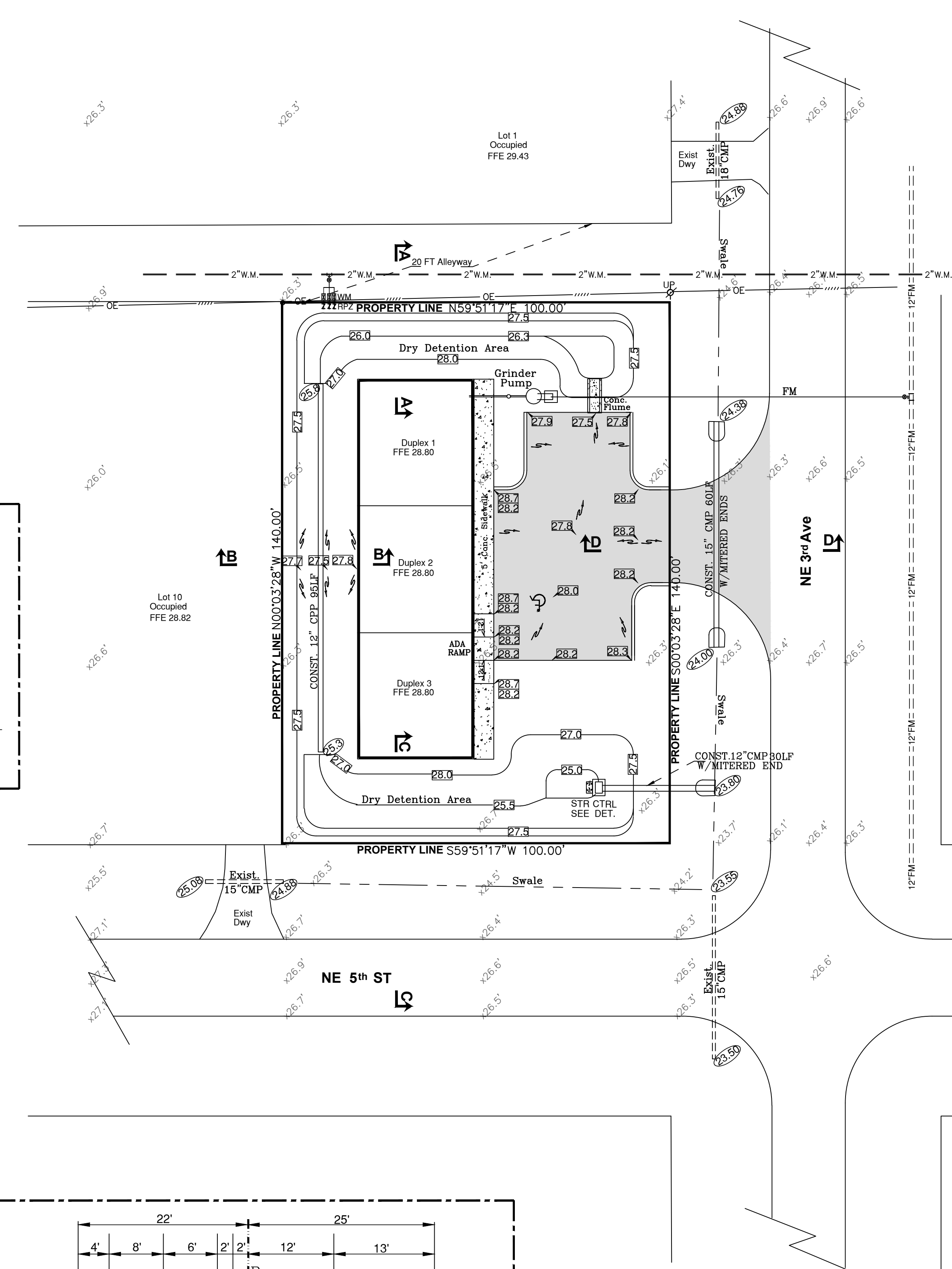
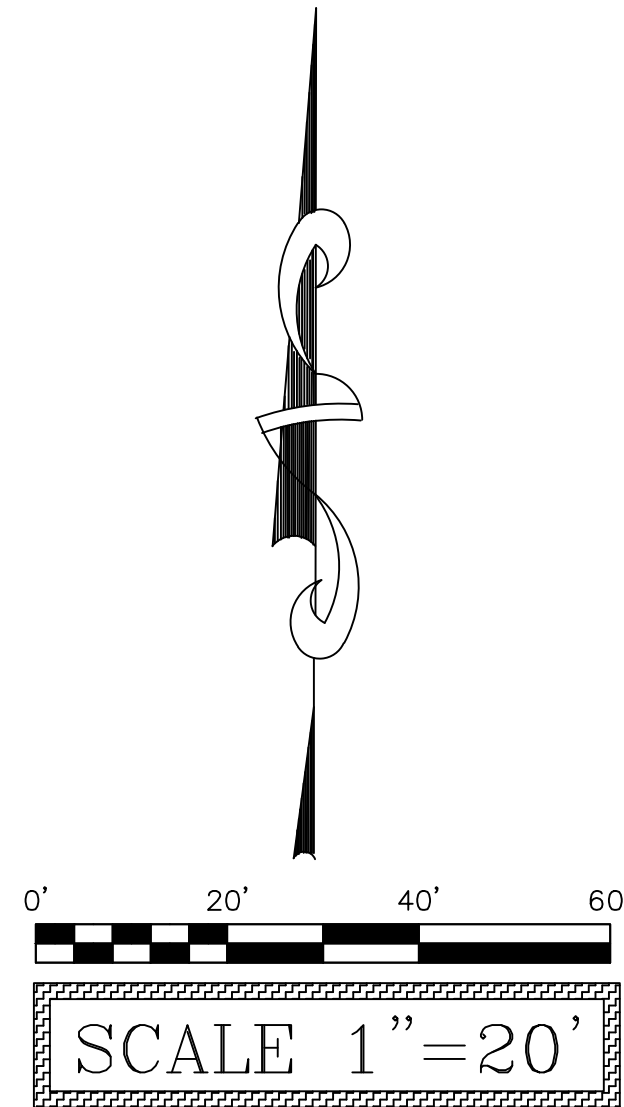
48 HOURS BEFORE DIGGING  
CALL TOLL-FREE  
**1-800-432-4770**  
SUNSHINE STATE ONE CALL  
OF FLORIDA, INC  
UNDERGROUND UTILITIES NOTIFICATION CENTER

**ABRAHAM CHABAB, Inc.**  
FL. BOARD OF PROF. ENG. AUTH.#26790

<b>BUDGET HOMES, LLC</b>	DESIGNED BY	AC	REVISIONS	DATE
	DRAWN BY	AC		
<b>DRAINAGE, GRADING &amp; PAVING PLAN</b>	DATE	Nov. 7/2021		
	SHEET	3 OF 4		

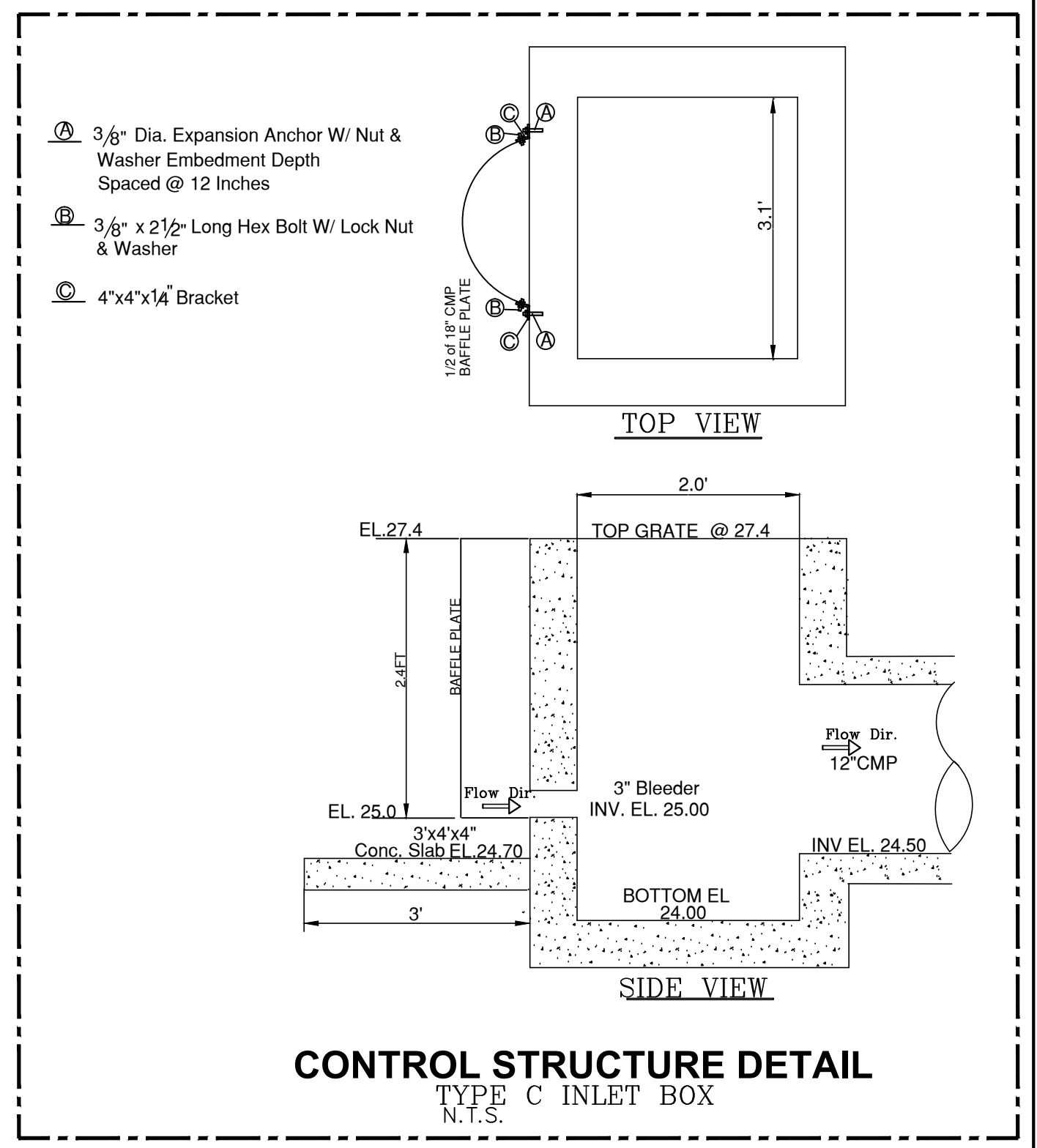
1391 NW St. Lucie West Blvd #411  
PORT ST. LUCIE FL. 34986  
Email agchababi@msn.com  
Ph: 772-475-6630





LEGEND	
±28.1	EXISTING GRADE ELEVATION
HP	HIGH POINT
1/2\"/>	
PROPOSED ELEVATION	
↻	RUNOFF FLOW DIRECTION
◻	FOOT MITERED END SECTION
⊙	PIPE INVERT
CMP	CORRUGATED METAL PIPE
CPP	CORRUGATED POLYETHYLENE PIPE (N12) MANUF. BY ADS

LEGEND	
⊥	TEE
⌒	45° BEND
⊘	90° ELBOW
⊙	F.H. FIRE HYDRANT
⊕	GATE VALVE
⊖	BACKFLOW PREVENTER
⊕	SERVICE CLEAN OUT
⊕	METER BOX
— 12\"/>	
— 8\"/>	
— 4\"/>	
—	PVC
—	CIP

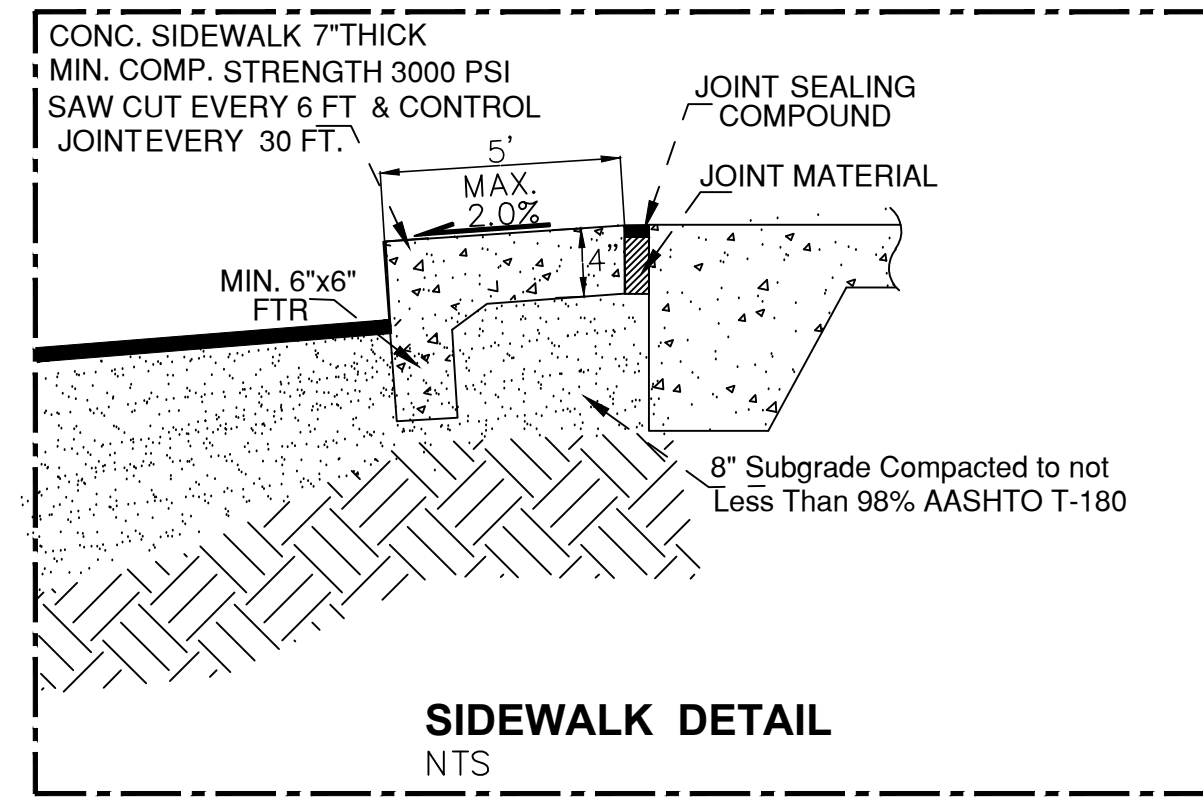


4.8 HOURS BEFORE DIGGING  
CALL TOLL-FREE  
**1-800-432-4770**  
SUNSHINE STATE ONE CALL  
OF FLORIDA, INC  
UNDERGROUND UTILITIES NOTIFICATION CENTER

<b>ABRAHAM CHABAB, Inc.</b> FL. BOARD OF PROF. ENG. AUTH.#26790	<b>BUDGET HOMES, LLC</b>	DESIGNED BY	AC	REVISIONS	DATE
		DRAWN BY	AC		
1391 NW St. Lucie West Blvd #411 PORT ST. LUCIE FL. 34986 Email agchababi@msn.com Ph: 772-475-6630	<b>DRAINAGE, GRADING &amp; PAVING PLAN</b>	DATE	Nov. 7/2021		
		SHEET	3 OF 4		

**GENERAL NOTES**

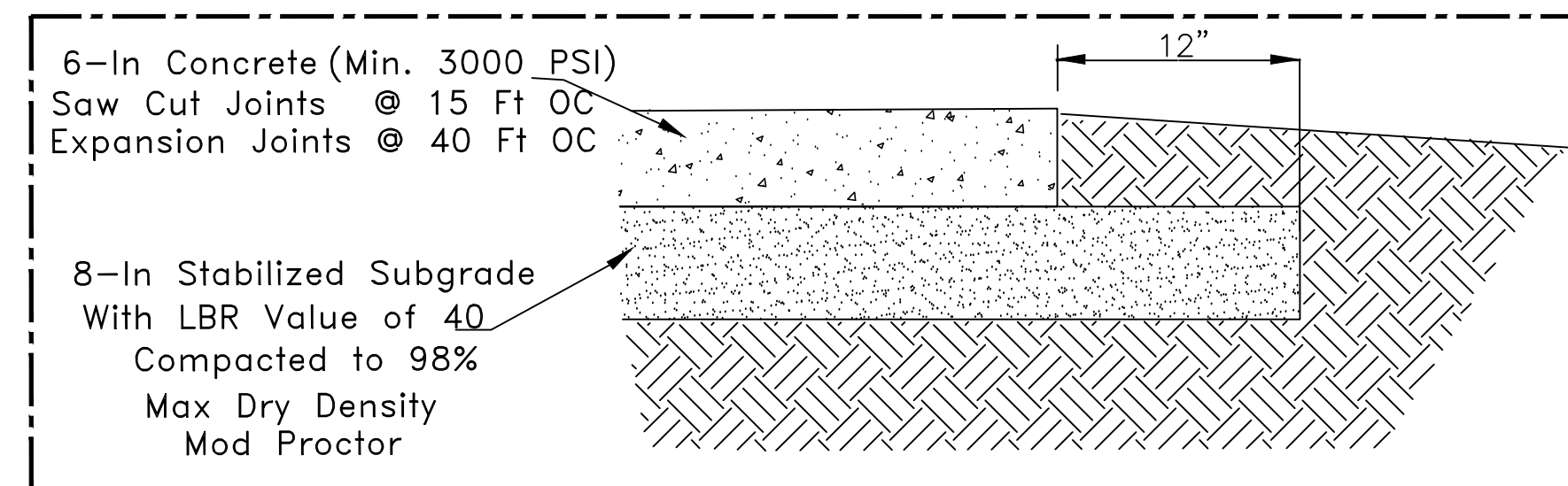
- All construction shall be in accordance with the latest Florida Department of Transportation Standard Specifications for Road and Bridge Construction with the Standard Specifications of town of Okeechobee jurisdiction.
- All applicable County and State permits must be obtained prior to commencement of construction.
- All work shall be done in a good workmanlike manner. Material installation shall be in accordance with manufacturer's recommendations.
- Shop drawings of all materials being used shall be submitted to the engineer of record for approval prior to commencement of construction.
- Contractor shall notify the city & the engineer of record 48 hours in advance prior to commencing work in city Right-of-Way.
- Contractor to be totally responsible for maintenance of traffic and safety of motorists and pedestrians using this site. Adjacent streets roadways and waterways during construction maintenance and safety procedures shall conform to M.U.T.C.D.
- All Elevations shown or referenced within these plans are based upon information obtained from survey.
- The existing elevations shown are for the purpose of indicating the approximate ground elevation at the location shown and in no way reflect surface conditions or subsurface soil condition.
- The locations of existing utilities shown on the approved plans are to be verified in the field by the contractor. Any discrepancies shall be brought to the attention of the engineer. At no time is the contractor to tamper with existing utilities except as noted on the plans.
- The contractor shall be responsible at all times throughout the duration of construction for the protection of existing and newly installed utilities from damage or disruption of service.
- All muck and yielding material within road right of ways, paved areas, sidewalks, building pads, drainage and utility trenches shall be removed completely and replaced with clean fill material in 8 inch layers compacted to 100% maximum density as determined by A.A.S.H.T.O. T-99C.
- Backfill and Bedding material shall be non-cohesive and non-plastic, free of debris, lumps, clods, wood, broken pavement or any organic or unstable material. No rocks larger than 6 inches shall be permitted as backfill or bedding.
- Record Drawing certified by a Florida Professional Engineer or Land Surveyor shall be submitted for review and approval to engineer of record and proper jurisdictions for final acceptance of the system.
- U.N.C.L.E. registration number must be shown on drawings prior to start of construction in right-of-way and prior to permit issuance.
- Turbidity barriers must be installed at all outfall locations prior to connecting to receiving waters. Turbidity barriers must remain in place until construction is completed, soils are stabilized and vegetation has been established.



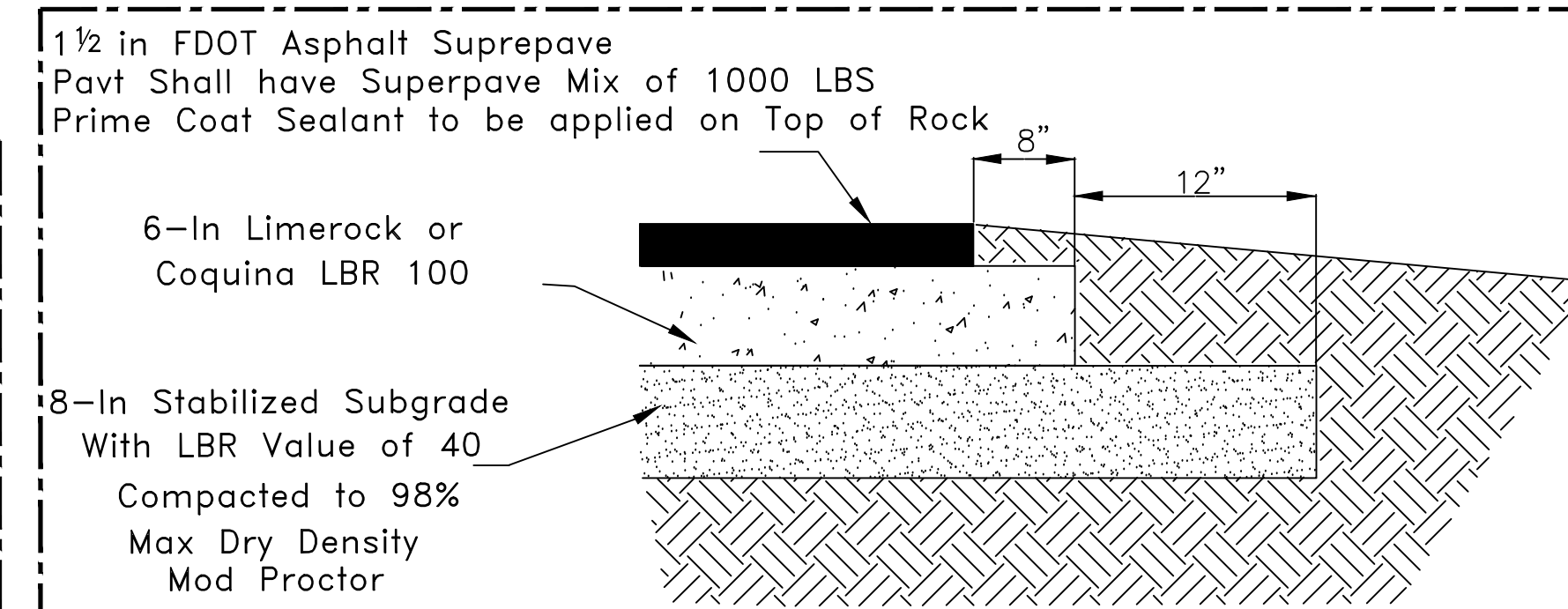
**SIDEWALK DETAIL**  
NTS

**PAVING GRADING AND DRAINAGE NOTES :**

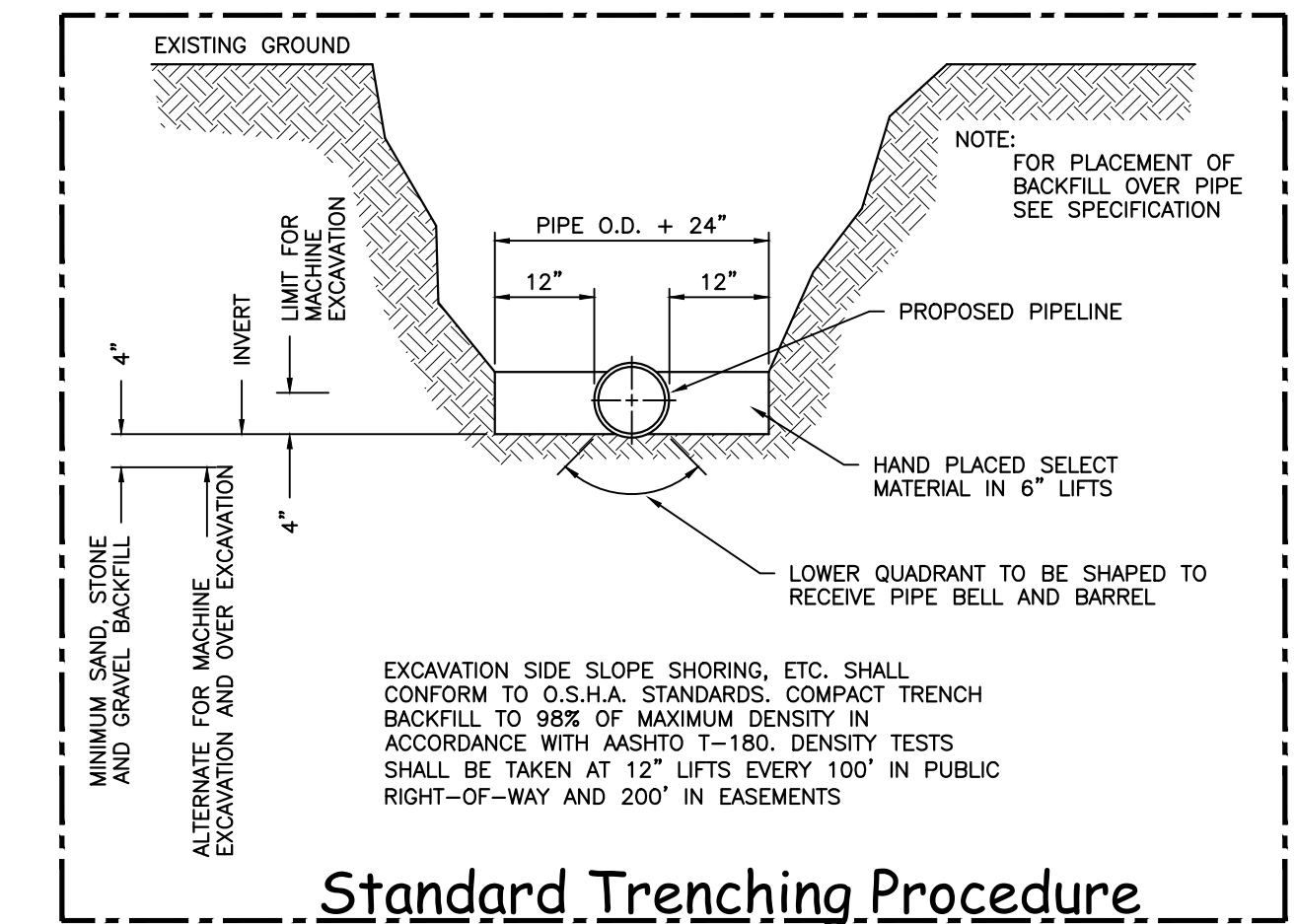
- Asphalt pavement shall conform to applicable parts of section 300-339 as described in Florida D.O.T. standard specification for Road and Bridge Construction.
- Limerock base construction shall conform to applicable parts of section 200-230 as described in Florida D.O.T. Standard Specification for Road and Bridge Construction. Base course shall be compacted to a density not less than 98% of the maximum density as determined by A.A.S.H.T.O. T-180 and have a minimum LBR of 100. Prime coat application rate at .10 Gal/SY density tests for base course greater than 8 inches in depth shall be taken in 6-in lifts.
- Compacted subgrade construction shall conform to applicable parts of section 120, as described in Florida D.O.T. Standard Specification for Road and Bridge Construction. Compacted subgrade shall be compacted to 100% maximum density as determined by A.A.S.H.T.O. T-99C.
- Proctor tests for subgrade and base materials shall be supplied by the developer. Density tests shall be taken at a minimum of one per 500 square yards. The developer shall pay for all testing if the required density is achieved. Contractor shall be liable for all retests for any failures. Tests location shall be determined by the Engineer of Record. Base/Asphalt shall not commence until satisfactory density tests have been reviewed by the Engineer of Record.
- All underground utilities situated in paved areas, included but not limited to; sewer and water mains, gas mains, electrical distribution, telephone, etc. shall be completed and approved before any subgrade work commences.
- Concrete for curbs, gutters, drainage inlets, sidewalks, etc. shall be class 1 in accordance with F.D.O.T. Standard Specification for Road and Bridge Construction section 345.
- Pavement markings and signage shall conform to Florida D.O.T. Roadway and Traffic Design Standards, the Manual on Uniform Traffic Control Devices, with the Standards of the Agency having jurisdictions.
- Radii refer to edge of pavement unless otherwise noted.
- Materials and workmanship in county rights-of-way shall meet the requirements of the county.
- No asphalt shall be placed in city, county or state rights-of-way until certified as-built of the finished rock base have been submitted to and approved by proper agency.
- Any Muck (A-8) materials found in subgrade shall be removed and replaced with approved materials.
- All berms and grassed areas will be seeded and mulched. Slopes will be sodded.
- Location of drainage structures shall govern and pipe lengths may have to be adjusted to accomplish location as shown on plans.
- If hardpan is encountered within retention area or swales, it shall be completely removed and replaced with granular material.
- Erosion and sediment control; contractor is responsible for providing erosion and sediment control using the latest FDOT standards, baled hay, straw and siltation barriers will be installed where needed to prevent siltation of adjacent property, public right-of-way wetlands and waterways. These measures will remain in place until grassing or sodding has been completed or until siltation and erosion are no longer a threat to adjacent properties.
- Entrance traffic control, stop sign, stop bar and lane delineator shall be in accordance with M.U.T.C.D. specifications.
- MES indicates mitered end section per FDOT index # 272.
- All areas disturbed by construction shall be restored to pre-construction conditions or better.



**CONCRETE PAVEMENT DETAIL**  
NTS



**ASPHALT PAVEMENT SECTION DETAIL**  
NTS

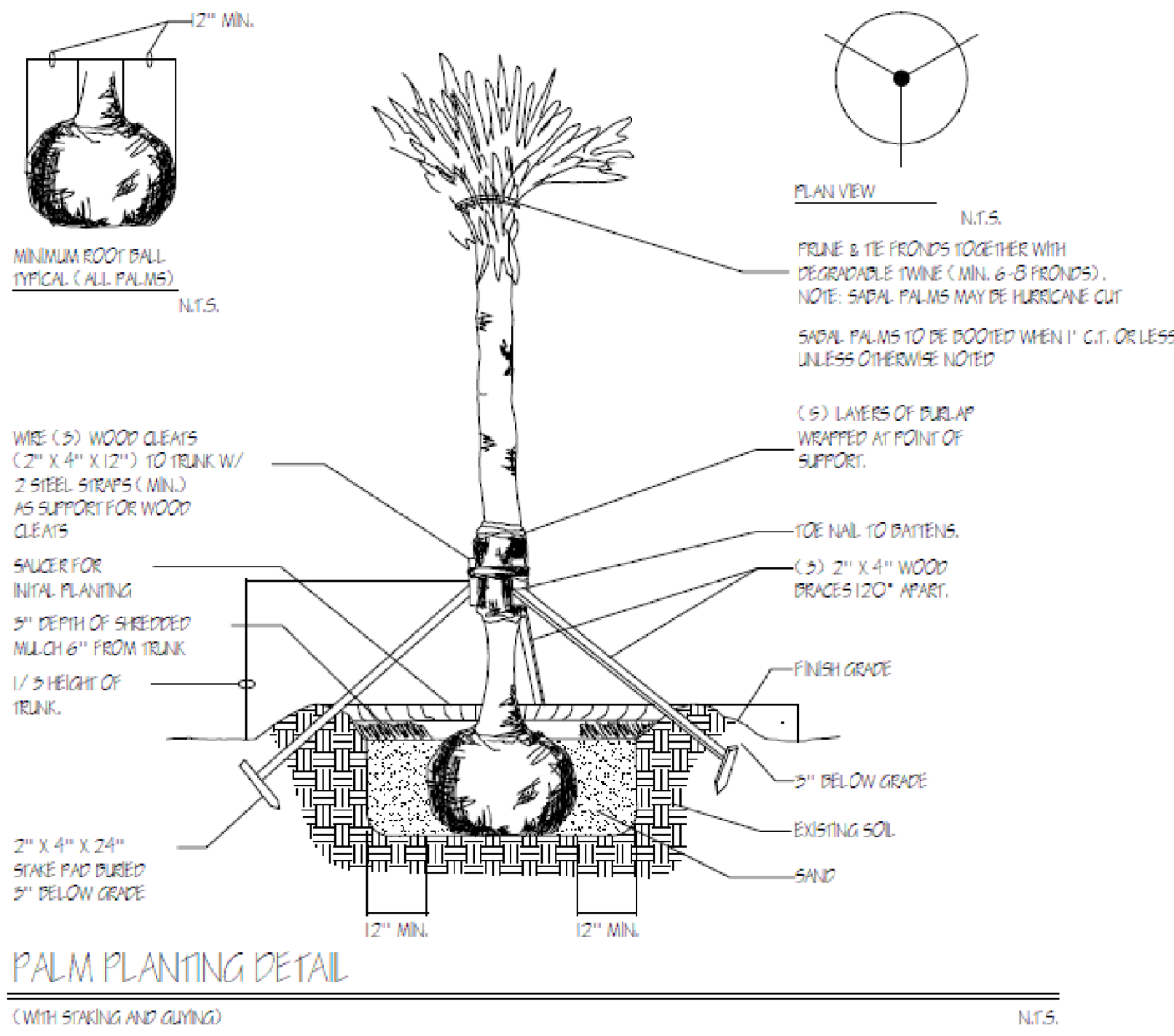


**Standard Trenching Procedure**

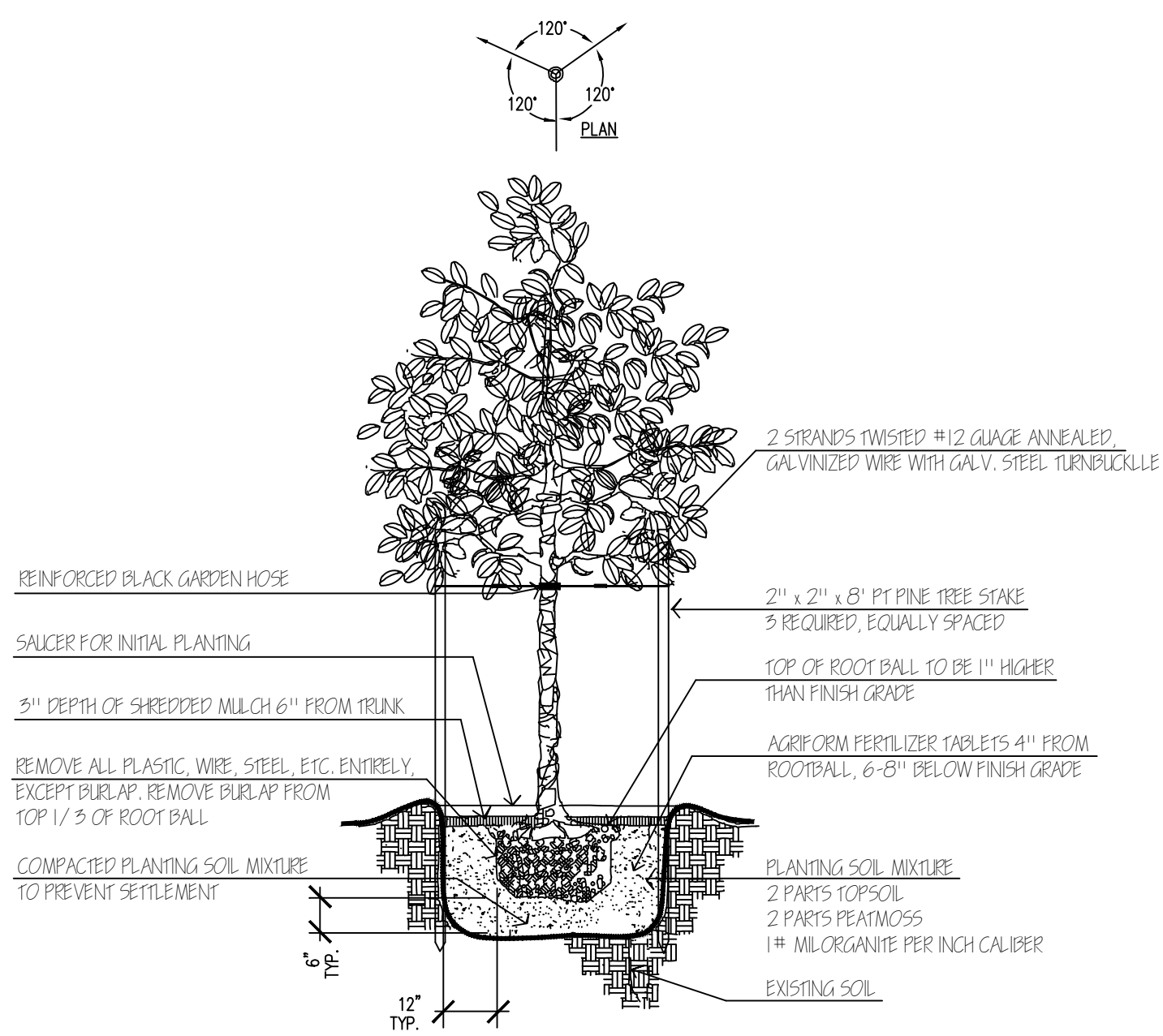
<p><b>ABRAHAM CHABAB, Inc.</b> FL. BOARD OF PROF. ENG. AUTH.#26790</p> <p>1301 NW St. Lucie West Blvd #411 PORT ST. LUCIE FL. 34986</p> <p>Email agchabab1@msn.com Ph: 772-475-6630</p>	<p><b>BUDGET HOMES, LLC</b></p> <p><b>GENERAL NOTES/ DETAILS</b></p>	DESIGNED BY AC	REVISIONS	DATE
		DRAWN BY AC		
		DATE Dec.7/2020		
		SHEET 4 OF 4		



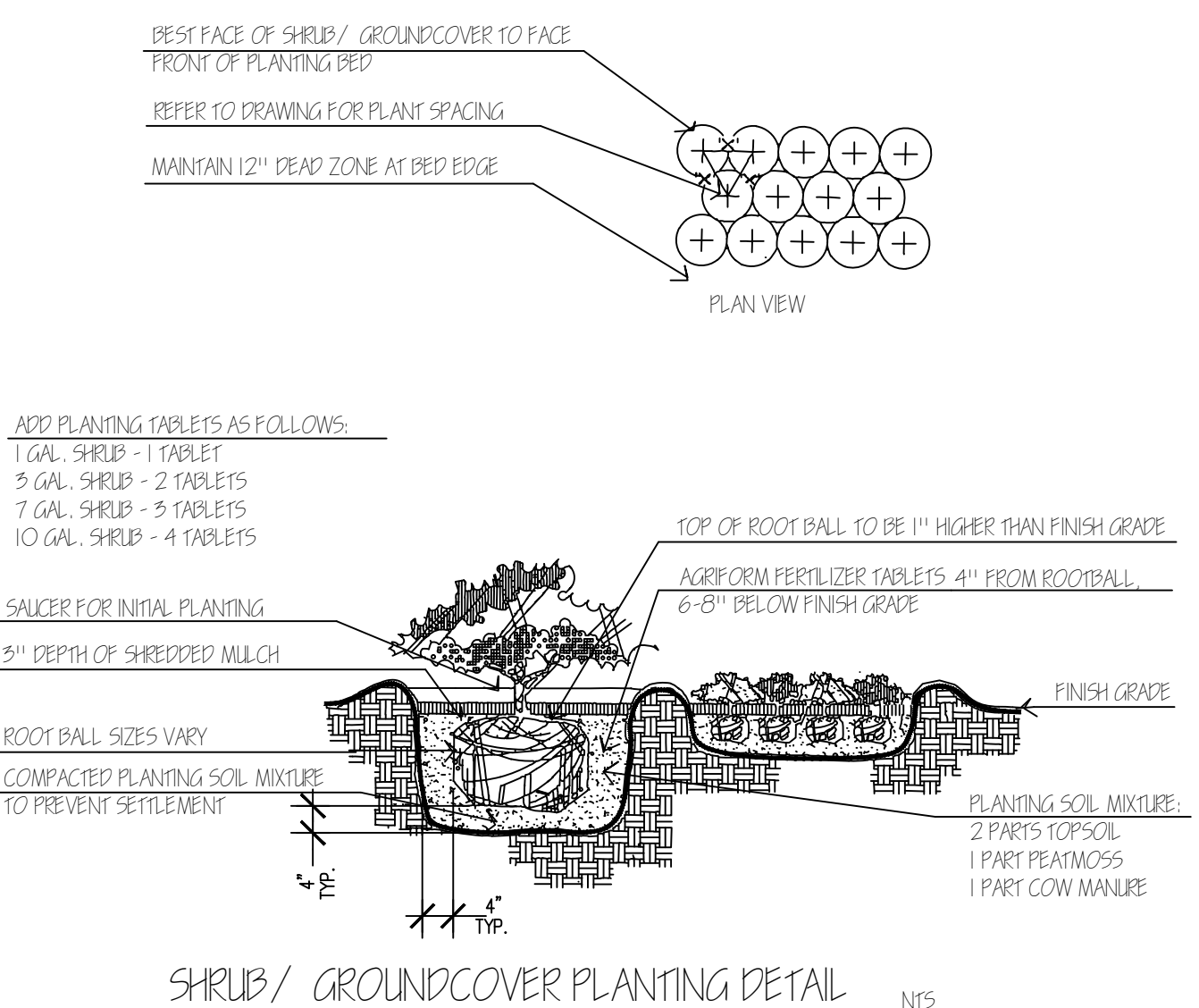




**PALM PLANTING DETAIL**  
(WITH STAKING AND CLOSING) N.T.S.



**TREE PLANTING DETAIL** N.T.S.



**SHRUB/ GROUNDCOVER PLANTING DETAIL** N.T.S.

## LANDSCAPE REQUIRMENTS

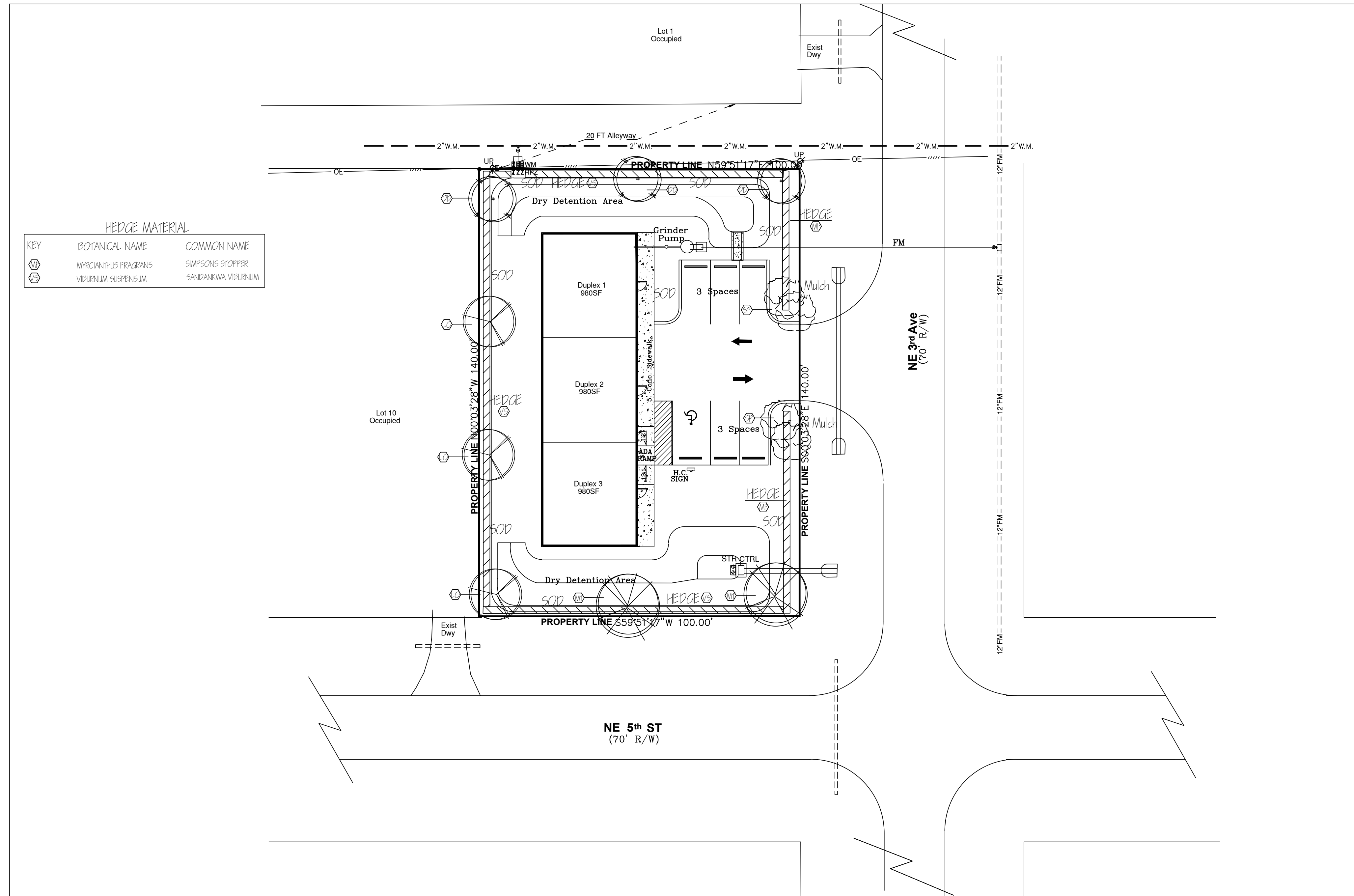
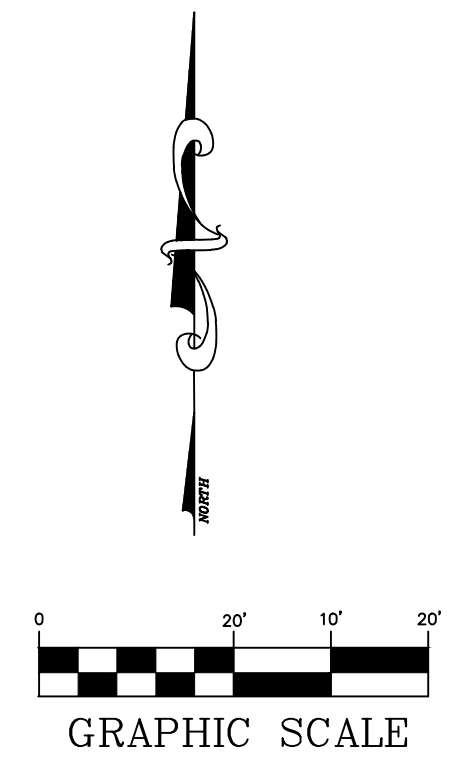
	MINIMUM	ALL PROVIDED
DROUGHT LOTERANT PLANT MATERIALS	50%	ALL PROVIDED
NATIVE TREE SPECIES	50%	ALL PROVIDED
NATIVE SHRUB SPECIES	50%	ALL PROVIDED
FLOWERING TREES	50%	ALL PROVIDED
EVERGREEN TREES IN LANDSCAPE ISLANDS	50%	ALL PROVIDED
SOD AREAS	<50% SITE	ALL PROVIDED
PALM TREE TOTAL	<50%	ALL PROVIDED
TREE SPECIES MIX	4 SPECIES	ALL PROVIDED

## LANDSCAPE NOTES

ALL SHRUBS TO BE PLANTED 2' O.C.  
 DAHOON HOLLY IS ACCEPTED BY FPL FOR PLANTING UNDER UTILITY LINES  
 ALL BACKFLOW PREVENTERS AND GROUND MOUNTED MECHANICAL EQUIPMENT  
 TO BE SCREENED WITH SHRUBS  
 NO TREE SHALL BE PLANTED CLOSER THAN 5' TO PAVEMENT OR CONCRETE.  
 AS MEASURED FROM CENTER OF TRUNK.  
 MAINTAIN 10' SEPARATION BETWEEN TREES AND UTILITIES

## TREE KEY

SYMBOL	PLANT NAME	QUANTITY
	ACCENT PLANT	0
	SABAL PALM	4
	LAIGUSTRUM TREE (SMALL)	0
	GRAPE MYRTLE (SMALL)	0
	MAHOAGANY TREE (CANOPY)	0
	LIVE OAK TREE (CANOPY)	3
	MAGNOLIA TREE (CANOPY)	2
	LAUREL OAK TREE (CANOPY)	0
	DAHOON HOLLY (MEDIUM)	3



Date	Revision

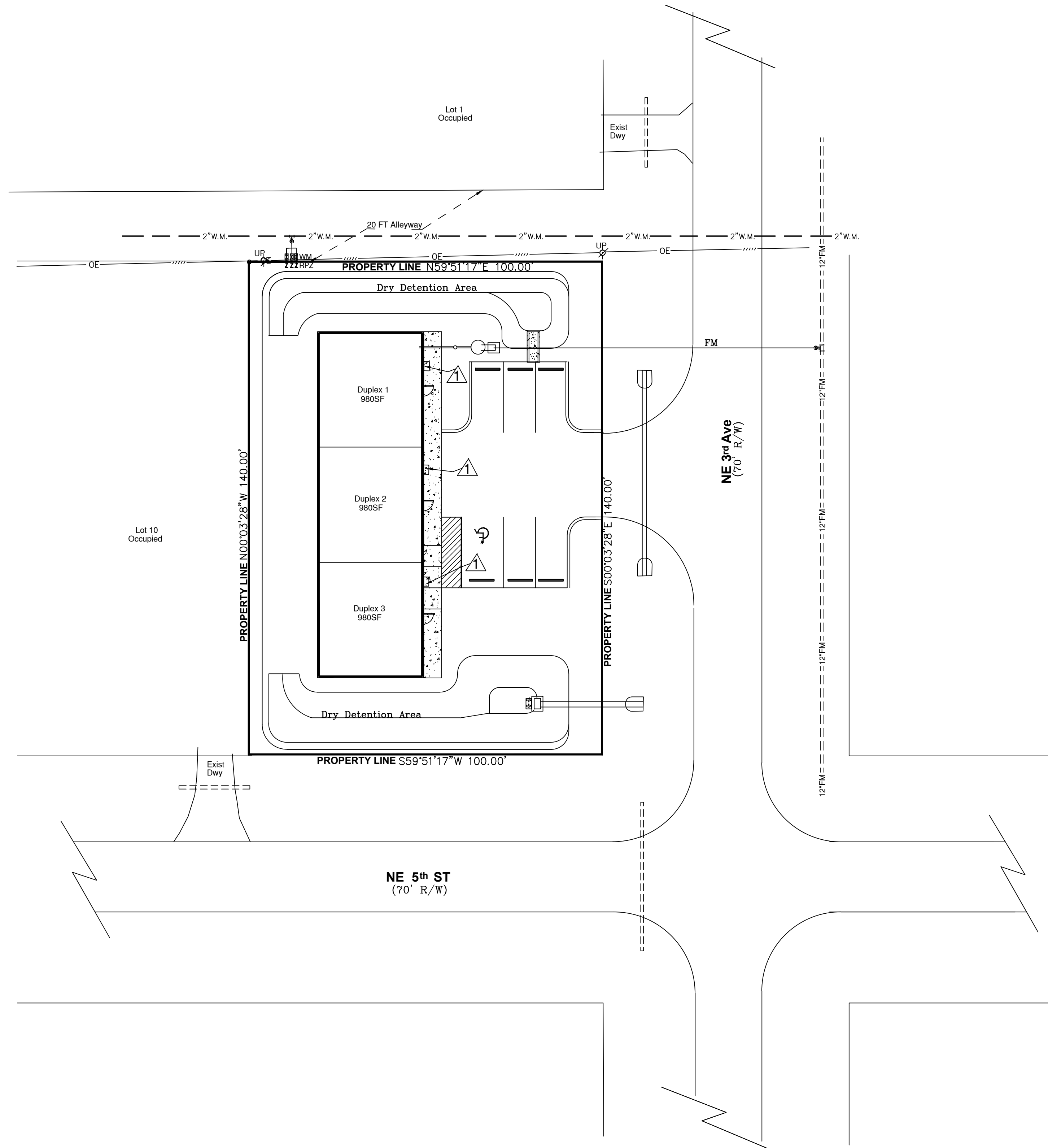
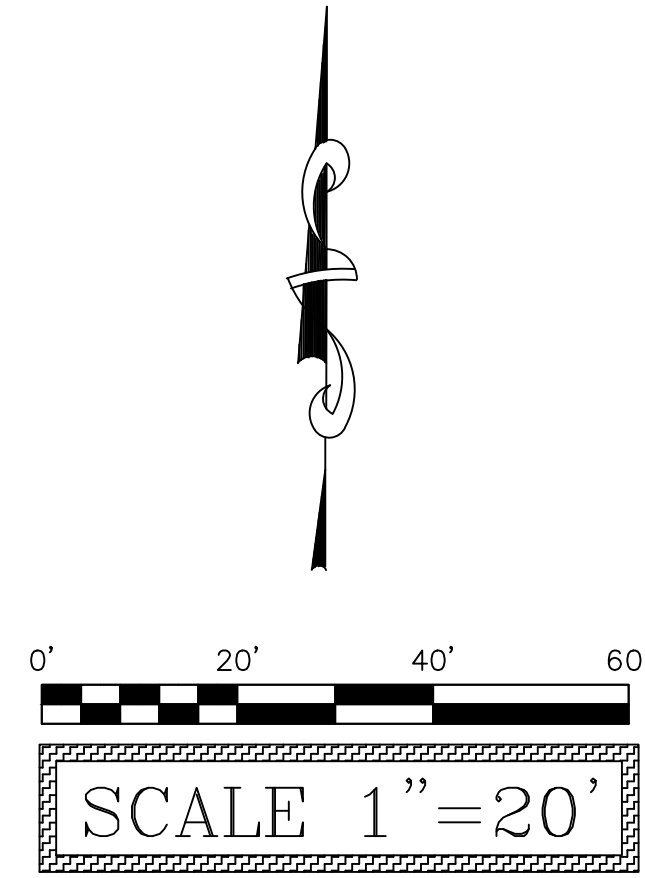
**BUDGET HOMES LLC**  
 7416-A SW 48th STREET  
 MIAMI, FL 33155  
 PHONE (305) 778-4444  
 E-MAIL : mike@excelconstructionllc.com

**BUDGET HOMES, LLC**  
 NE 3rd Ave / 5th St  
 Okeechobee, FL

**LANDSCAPE PLAN**

DATE : 11.17.2021  
 SCALE : 1" = 20'

SHEET L-1 OF 1



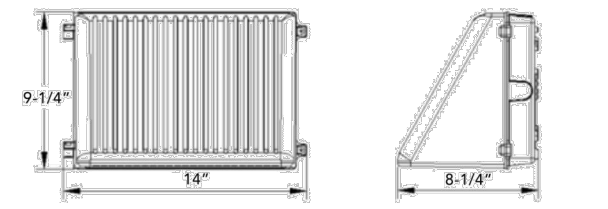
NOTE : LTG FROM BUILDING WITH FIXTURE TYPE SEE PLAN FOR LOCATIONS

**LWPX SERIES** Outdoor Lighting  
LWPX-30-80W-MCTP



**WESTGATE**  
THE FUTURE IS HERE... AND IT'S QUITE BRIGHT!

Customer Name: \_\_\_\_\_  
Project Name: \_\_\_\_\_  
Note: \_\_\_\_\_ Type: \_\_\_\_\_



Ideal for general site lighting, alleys, loading docks, doorway, pathway, and parking areas.

**Features**

- High Light Transmittance, Anti-UV and Fire Resistant PC Lens
- LED Type/Brand: SMD 3030/ Philips Lumileds LEDs
- Four 1/2" Knockouts: 1 Top, 1 on Each Side, 1 Back
- Die-Cast Aluminum With Powder Coat Finish (Dark Bronze)
- Multi CCT and Power (Switches are inside fixture)
- 7-Year Warranty

**Technical Specifications**

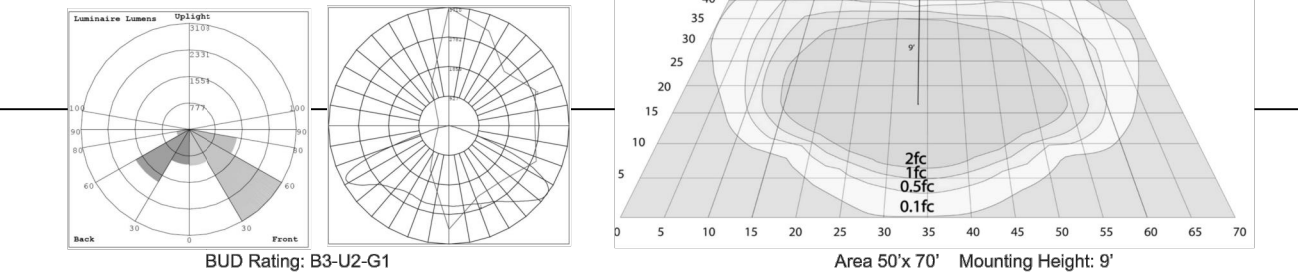
- Electrical:**
- Voltage: 120-277VAC 60Hz
  - Wattage: 30W/ 40W/ 60W/ 80W
  - Power Factor: >0.95
  - Efficacy: 125 LPW
- Mechanical:**
- Die-Cast Aluminum With Powder Coat Finish (Dark Bronze)
  - High Light Transmittance, Anti-UV and Fire Resistant Shatterproof PC Lens
  - Rated life: 70,000 Hrs
  - Operating Temperature: -4°F -104°F
  - IP 65
  - Wet Location
  - 7-Year Warranty
  - Full Cutoff, Dark-sky Compliant
- Lighting:**
- Dimming: 0-10V Dimmable
  - Multi CCT and Power (Switches are inside fixture)
  - LED Type/Brand: SMD 3030/ Philips Lumileds LEDs
  - The Type II Distribution is Used for Wide Walkways, on Ramps and Entrance Roadways, As Well As Other Long, Narrow Lighting
  - Dimmable: 0-10V Dimming
  - Total Lumens: 10050LM Max.
  - Color Temperatures: 3000K/ 4000K/ 5000K/ 5700K
  - Color Rendering Index: CRI ≥ 80
  - Beam angle: 80° x 100°
- Applications:**
- Ideal for general site lighting, alleys, loading docks, doorway, pathway and parking areas.
  - Replace existing HID flood lights/ wall packs
  - Great for use with motion sensors or other instant on/ off controls



Phone: (877) 805-2252 | Fax: (877) 805-2252  
www.westgateinf.com | www.westgatecontrols.co



**Photometrics:** LWPX-30-80W-MCTP



**Other Views:**



**Performance Table:** LWPX-30-80W-MCTP

MODEL NO.	Wattage	Voltage	Lumens	Color Temp.	BUG Rating	LPW
LWPX-30-80W-MCTP	30W	120-277V	4050LM	3000K 4000K 5000K 5700K	B2-U2-G1	125
			4150LM			
			4280LM			
			4280LM			
			5250LM			
			5400LM			
	40W		5550LM			
			5550LM			
			7400LM			
			7600LM			
			7800LM			
			7800LM			
60W	9850LM					
	10050LM					
	10150LM					
	10050LM					
	10150LM					
	10050LM					
80W						

**WESTGATE**

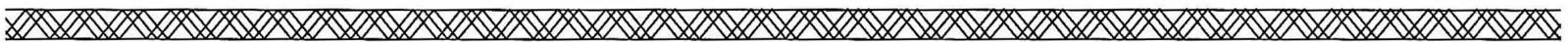
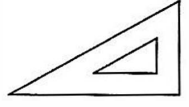
2 Phone: (877) 805-2252 | Fax: (877) 805-2252  
www.westgateinf.com | www.westgatecontrols.co



<b>BUDGET HOMES LLC</b> 7416-A SW 48th STREET MIAMI, FL 33155 PHONE (305) 778-4444 E-MAIL : mike@excelconstructionllc.com	<b>BUDGET HOMES LLC</b>	DESIGNED BY MJ
		DRAWN BY MJ
	<b>PARKING LOT LIGHTING PLAN</b>	DATE Nov. 5/2021
		SHEET 1 OF 1



**Abraham Chabab, Inc.**  
**1391 NW St. Lucie West Blvd #411**  
**Port St. Lucie, FL 34986**



**BUDGET HOMES, LLC**  
**DRAINAGE REPORT**

**EXISTING CONDITIONS:**

Current use of the property is a vacant land with three oak trees. The property drains to the swale that is running north to south along the NE 3<sup>rd</sup> Avenue.

**PROPOSED IMPROVEMENTS:**

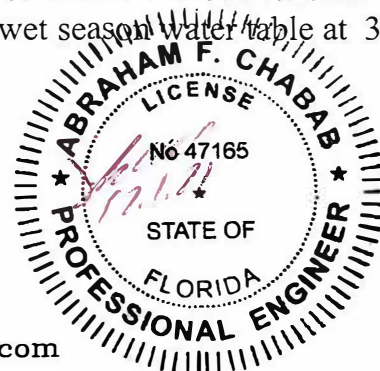
Proposed improvements consist of one building, paved parking area and sidewalk. Total proposed impervious area is 5980 SF, (43%) of the total site.

**PROPOSED DRAINAGE SYSTEM:**

Proposed surface water management system consists of dry detention area with a control structure. The first inch of stormwater runoff will be treated on site. Stormwater system is designed to retain the 25-year storm event of 24-hour duration.

**SITE DATA:**

- Site Area : 0.32 Acres                      14000 SF
- Site Location : NW corner of NE 5<sup>th</sup> Street and NE 3<sup>rd</sup> Ave.
- Site Soils : It consists of light gray, dark and light brown sand.
- Flood Zone : Property lies in F.I.R.M. Zone X as shown on Panel 12093C0480C dated 07/16/15.
- Wet Season Water Table : Based on information we obtained from the surrounding areas & what has been accepted by SFWMD and Okeechobee County in the past, we estimate the wet season water table at 3.0 feet below ground.



**PROJECT NAME : BUDGET HOMES, LLC**

DATE : Nov. 30, 2021

**\*PROJECT AREA**

\*Proposed Development :

	Area (SF)	Area(AC)	%
<u>Proposed Impervious:</u>			
Proposed Roof Top :	2940	0.0675	21.00
Proposed Paved Pkg :	2320	0.0536	16.57
Proposed Pads/Walks :	720	0.0165	5.14
TOTAL :	5980	0.1373	42.71
Green/Open Space :	8020	0.1841	57.29
TOTAL :	14000	0.3214	100.00

**\*DESIGN CRITERIA**

1-Water Quality :

1" x Entire Site or 2.5"x % Impervious use the greater one

1"x 14000x1/12 = 1167 CF

2.5"x 5980x1/12 = 1246 CF

Volume Provided 3045 CF > Volume Required 1246 CF **OK**

2-Water Quantity :

10 Year 1-Day	Storm Frequency for Parking Lot	5.5"/Day
25 Year 1-Day	Storm Frequency for Perimeter Berm	6.5"/Day



**\*SOIL STORAGE**

Average Site Grade 27.0

Water Table is 5 Feet Below Grade

Estimate Wet Season Water Table 3.0 Feet Below Grade

S= Compacted Water Storage  $4.95 \times (1 - \% \text{ Imp.})$

$S = 4.95 \times (1 - 0.43) = 2.82$  Inches

**\*STAGE STORAGE COMPUTATIONS**

1-Dry Detention:

-At Elev. 25.00

0 = 0 CF 0 AC-FT

-At Elev. 26.0

609 CF 0.01 AC-FT

-At Elev. 27.0

1522 CF 0.04 AC-FT

-At Elev. 27.5

3045 CF 0.07 AC-FT

**\*STAGE STORAGE TABLE**

<u>Elevation</u>	<u>Detention</u>	<u>Exfiltration</u>	<u>Parking Lot</u>	<u>Green Area</u>	<u>TOTAL</u>
25.00	0	0	0	0	0
26.00	609 CF	0	0	0	609 CF (0.01 AC-FT)
27.00	1522 CF	0	0	0	1522 CF (0.04 AC-FT)
27.50	3044 CF	0	0	0	3044 CF (0.07 AC-FT)

**\* OUTPUT SUMMARY**

<u>Storm Frequency</u>	<u>Min. Elev.</u>	<u>Set Elev.</u>	<u>Max. Discharge</u>	<u>Allowable Discharge</u>	<u>Design Criteria.</u>
10 Year 1-Day	26.41	27.5	0.27	0.30	Parking Lot
25-Year 1-Day	26.71	27.5	0.30	0.30	Perimeter Berm

**\*\* Pre vs Post Runoff**

$$Q = (P - .2(S))^2 / (P + .8S)$$

P is 6.50 inches for 25-year 1-Day Storm Frequency

S = 6.50 Inches for Pre-development

S = 4.95 x (1 - .43) = 2.82 Inches for Post-development

$$Q_{pre} = (P - .2(S))^2 / (P + .8S) = (6.5 - .2(6.5))^2 / (6.5 + .8(6.5)) = 2.31 \text{ inches}$$

$$Q_{post} = (P - .2(S))^2 / (P + .8S) = (6.5 - .2(2.82))^2 / (6.5 + .8(2.82)) = 4.02 \text{ inches}$$

$$Q_{runoff} = Q_{post} - Q_{pre} = 4.02 - 2.31 = 1.71 \text{ inches}$$

Volume required  $1.71'' \times 14000 \text{ SF} \times 1' / 12'' = 1995 \text{ CF}$  (0.046 AC-FT)

Volume Provided 3044 CF > Volume Required 1995 CF

Project Name: Buget Homes LLC

Reviewer: A. Chabab

Project Number: 0121

Period Begin: Nov 30, 2001;0000 hr End: Dec 01, 2001;0000 hr Duration: 24 hr

Time Step: 0.2 hr, Iterations: 20

Basin 1: Detention Area

Method: Santa Barbara Unit Hydrograph

Rainfall Distribution: SFWMD - 24 hr

Design Frequency: 10 year

1 Day Rainfall: 5.5 inches

Area: 0.32 acres

Ground Storage: 2.82 inches

Time of Concentration: 0.2 hours

Initial Stage: 24 ft NGVD

Stage (ft NGVD)	Storage (acre-ft)
25.00	0.00
26.00	0.01
27.00	0.04
27.50	0.07

Offsite Receiving Body: Offsitel

Time (hr)	Stage (ft NGVD)
0.00	13.00
4000.00	25.00

Structure: 1

From Basin: Detention Area

To Basin: Offsitel

Structure Type: Gravity

Weir: None

Bleeder: Circular, Invert Elev = 25 ft NGVD, Diameter = 0.25 ft

Default Coefs: Weir Coef = 0.6, Orifice Coef = 0.6

Pipe: Diameter = 1 ft, Manning's n = 0.02, Length = 30 ft

US Invert Elev = 24.5 ft NGVD, DS Invert Elev = 23.8 ft NGVD, no flap gate

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
0.00	0.00	0.00	0.00	0.00	24.00	13.00
2.00	0.11	0.00	0.00	0.00	25.00	13.01
4.00	0.25	0.00	0.00	0.00	25.00	13.01
6.00	0.46	0.00	0.00	0.00	25.00	13.02
8.00	0.75	0.01	0.00	0.00	25.02	13.02
10.00	1.17	0.02	0.02	0.00	25.11	13.03
12.00	3.61	0.77	0.24	0.01	26.19	13.04
14.00	4.50	0.07	0.18	0.05	25.68	13.04
16.00	4.84	0.04	0.04	0.07	25.17	13.05
18.00	5.04	0.03	0.03	0.07	25.13	13.05
20.00	5.24	0.03	0.03	0.08	25.13	13.06
22.00	5.37	0.02	0.02	0.08	25.10	13.07
24.00	5.50	0.02	0.02	0.08	25.10	13.07

STRUCTURE MAXIMUM AND MINIMUM DISCHARGES

Struc	Max (cfs)	Time (hr)	Min (cfs)	Time (hr)
1	0.27	12.40	0.00	0.00

BASIN MAXIMUM AND MINIMUM STAGES

```

=====
      Basin      Max (ft)      Time (hr)      Min (ft)      Time (hr)
=====
Detention Area      26.41      12.40      24.00      0.00
    
```

BASIN WATER BUDGETS (all units in acre-ft)

```

=====
      Basin      Total      Structure      Structure      Initial      Final
      Runoff      Inflow      Outflow      Storage      Storage      Residual
=====
Detention Area      0.08      0.00      0.08      0.00      0.00      0.00
    
```

Project Name: Budget Homes LLC

Reviewer: A. Chabab

Project Number: 0121

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0.00	0.00	0.00	0.00	0.00	24.00	13.00
2.00	0.13	0.00	0.00	0.00	25.00	13.01
4.00	0.29	0.00	0.00	0.00	25.00	13.01
6.00	0.54	0.00	0.00	0.00	25.00	13.02
8.00	0.89	0.01	0.01	0.00	25.05	13.02
10.00	1.38	0.03	0.03	0.00	25.14	13.03
12.00	4.26	0.98	0.26	0.02	26.37	13.04
14.00	5.32	0.08	0.24	0.07	26.16	13.04
16.00	5.72	0.05	0.06	0.09	25.20	13.05
18.00	5.95	0.03	0.03	0.09	25.14	13.05
20.00	6.19	0.03	0.03	0.10	25.15	13.06
22.00	6.34	0.02	0.02	0.10	25.12	13.07
24.00	6.50	0.02	0.02	0.11	25.12	13.07

STRUCTURE MAXIMUM AND MINIMUM DISCHARGES

Struc	Max (cfs)	Time (hr)	Min (cfs)	Time (hr)
1	0.30	12.60	0.00	0.00

BASIN MAXIMUM AND MINIMUM STAGES

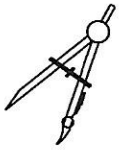
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=====
      Basin      Max (ft)      Time (hr)      Min (ft)      Time (hr)
=====
Detention Area      26.71      12.60      24.00      0.00
    
```

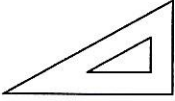
BASIN WATER BUDGETS (all units in acre-ft)

```

=====
      Basin      Total      Structure      Structure      Initial      Final
      Runoff      Inflow      Outflow      Storage      Storage      Residual
=====
Detention Area      0.11      0.00      0.11      0.00      0.00      0.00
    
```



**Abraham Chabab, Inc.**  
**1391 NW St. Lucie West Blvd #411**  
**Port St. Lucie, FL 34986**



Nov. 30, 2021

Patty Burnette, General Services Coordinator  
Town of Okeechobee  
55 SE 3<sup>rd</sup> Avenue  
Okeechobee, FL 34974

**RE : Budget Homes, LLC, Traffic Statement**

Dear Ms. Burnette:

Proposed project is to build a 2940 SF building that has three dwelling units with 6 parking spaces. Estimated trips generated;  $0.54 \times 3 = 1.62$  trips per hour and  $4.4 \times 3 = 13.2$  trips per day, ITE Code 220, Trip Generation Manual 10<sup>th</sup> Edition.

**Existing Traffic Conditions:**

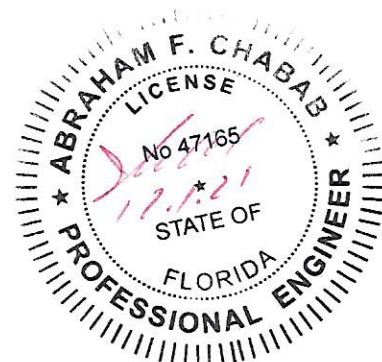
Current level of service is acceptable for most streets within 2 mile radius; Okeechobee Rd, N. Parrott Ave. 441 and US Highway 98 N.

**Traffic Distribution From Proposed Development:**

Trips associated with the proposed development will take place during a.m. and p.m. hours. Vehicles entering and exiting the site will use NE 3<sup>rd</sup> Ave or NE 5<sup>th</sup> Street to Okeechobee Rd or Parrott Avenue and connect them to their destination.

**Traffic Statement Summary:**

This facility will generate less than 1% of current trip volume. Affected streets should experience little or no impact to traffic entering and exiting the facility and level of service will remain at its current level of service. This project has **de minimis impacts** on roadway links within 2-mile radius and is in compliance with concurrency plan of the Town of Okeechobee.



**Ph:772-475-6630**

**Email: agchabab1@msn.com**