



City of Okeechobee
TECHNICAL REVIEW COMMITTEE
55 SOUTHEAST THIRD AVENUE ♦ OKEECHOBEE, FL 34974
September 17, 2020
LIST OF EXHIBITS

Draft Minutes	June 18, 2020 Summary of Committee Action
Applications	Abandonment of Right-of-Way Petition No. 20-002-SC
Applications	Site Plan Review Application No. 20-005-TRC



CITY OF OKEECHOBEE, FLORIDA
JUNE 18, 2020
DRAFT TECHNICAL REVIEW COMMITTEE MINUTES

I. CALL TO ORDER

Chairperson Montes De Oca called the regular meeting of the Technical Review Committee for the City of Okeechobee to order on Thursday, June 18, 2020, at 10:00 A.M. in the City Council Chambers, located at 55 Southeast 3rd Avenue, Room 200, Okeechobee, Florida. Pursuant to Executive Order No. 20-69 issued by Governor DeSantis on March 20, 2020, and extended by Executive Order No. 20-112, effective May 4, 2020, the meeting was conducted utilizing communications media technology as provided by Florida Statutes 120.54(5)(b)2, by means of Zoom.com Meeting ID 2459713294. The Host computer was operated by Executive Assistant Brock. The video, audio, and digital comments are recorded and retained as a permanent record.

A. The Pledge of Allegiance was led by Chairperson Montes De Oca.

II. ATTENDANCE

Technical Review Committee Secretary Patty Burnette called the roll. City Administrator Marcos Montes De Oca, Public Works Director David Allen, and Building Official Jeffery Newell were present. Police Chief Bob Peterson was absent, and Major Donald Hagan was present in his place. Fire Chief Smith was absent, and Lieutenant Steve Weeks was present in his place.

CITY STAFF

City Planning Consultant Ben Smith, General Services Secretary Yesica Montoya and Executive Assistant Robin Brock were present in the Chambers and City Attorney John Fumero was present via Zoom. The School Board Representative, Okeechobee Utility Authority (OUA) Executive Director John Hayford, and Okeechobee County Environmental Health Director Victor Faconti were absent with consent.

III. AGENDA

- A.** Chairperson Montes De Oca asked whether there were any agenda items to be added, deferred or withdrawn. There were none.
- B.** A motion was made by Building Official Newell to approve the agenda as published; seconded by Public Works Director Allen.

Chairperson Montes De Oca, Public Works Director Allen, Building Official Newell, Major Hagan, and Fire Lieutenant Weeks voted: Aye. Nays: none. Motion Carried.

IV. MINUTES

- A.** A motion was made by Building Official Newell to dispense with the reading and approve the May 21, 2020 regular meeting minutes; seconded by Public Works Director Allen.

Chairperson Montes De Oca, Public Works Director Allen, Building Official Newell, Major Hagan, and Fire Lieutenant Weeks voted: Aye. Nays: none. Motion Carried.

V. NEW BUSINESS

- A.** City Planning Consultant Ben Smith of LaRue Planning and Management Services briefly reviewed the Planning Staff Report for Abandonment of Right-of-Way Petition No. 20-001-AC-SC, which requests to vacate the 20-foot wide by 512.5-foot long East to West alleyway lying between Lots 1 through 10 and Lots 17 through 26, of Block 39, CITY OF OKEECHOBEE, Plat Books 1 and 5, Pages 10 and 5, Public of Records of Okeechobee County, and a 70-foot wide by 512.5-foot long portion of Northwest 10th Street, formally known as Sixteenth Avenue, lying between Lots 1 through 10, Block 39 and Lots 17 through 26, Block 28, CITY OF OKEECHOBEE, Plat Books 1 and 5, Pages 10 and 5, Public of Records of Okeechobee County. He stated recently the vacant portion of Block 39 contiguous to the subject rights-of-way was approved for a Future Land Use Map Amendment (FLUM) to Multi-Family Residential and a Rezoning change to Residential Multiple Family (RMF). If this request is approved, the Applicant intends to join the vacant portion of Block 28 to the North and construct a multifamily residential project. With those recent FLUM and Zoning approvals and the property to the North being designated as Multi-Family Residential on the FLUM and RMF on the zoning map, it seems appropriate to place the same designation on the vacated property. This designation is also necessary if the Applicant is to complete the stated goal of developing a multi-family residential project at this site.

Planning Staff's responses to the required findings are. The alleyway is not the sole means of access to any property. The property owner of the parcel to the North of the Northwest 10th Street right-of-way, Fosler LLC, has provided consent and the Applicant owns the Southern half. The proposed right-of-way areas to be vacated have not been improved to facilitate vehicular travel. Turning over maintenance responsibility to the Applicant and adding property to the City's tax rolls will be a benefit to the City. Finally, the Applicant has received authorization from all necessary utility entities. Planning Staff is recommending approval based on these findings.

1. Building Official Newell commented he is in support of the request although, just a little concerned with the Industrial uses close by he proposed residential.

Fire Lieutenant Weeks: No issues were received.

Major Hagan: No issues were received.

Public Works Director Allen stated his concern is with the North to South Alleyway located on the West side of Blocks 28 and 39 that would still be open for the City to maintain. He understands the property is in the City of Okeechobee subdivision which would involve purchasing the property from the H. E. Hamrick Trust. Since this would be an additional expense for the Applicant, maybe a maintenance agreement would be a better alternative.

Chairperson Montes De Oca asked Mr. Randy Simler, Registered Agent for Fosler LLC, who is intending to purchase the property from the Applicant, Omar Abuaita, if the City requested a maintenance agreement would he be open to that. Mr. Simler answered yes.

County Environmental Health Dept: No issues were received.

OUA: No issues were received.

2. Mr. Michael Baggot, with SLD Engineering, who represents the Property Owner, Omar Abuaita, and the Applicant, Mr. Randy Simler, was present for questions. Mr. Simler, 310 Lakeshore Drive, Lake Park Florida, was present as well.
3. Chairperson Montes De Oca asked whether there were any comments or questions from those in attendance from the Public. There were none.
4. Chairperson Montes De Oca disclosed he had spoken to both Mr. Simler and Mr. Steve Dobbs, PE, with SLD Engineering, regarding the application. There were no other disclosures offered.
5. A motion was offered by Building Official Newell to recommend approval to the Planning Board for Abandonment of Right-of-Way Petition No. 20-001-AC-SC, which requests to vacate the 20-foot wide by 512.5-foot long East to West alleyway lying between Lots 1 through 10 and Lots 17 through 26, of Block 39, CITY OF OKEECHOBEE, Plat Books 1 and 5, Pages 10 and 5, Public of Records of Okeechobee County, and a 70-foot wide by 512.5-foot long portion of Northwest 10th Street, formally known as Sixteenth Avenue, lying between Lots 1 through 10, Block 39 and Lots 17 through 26 Block 28; seconded by Public Works Director Allen.
 - a) The Committee offered no further discussion.
 - b) **Chairperson Montes De Oca, Public Works Director Allen, Building Official Newell, Major Hagan, and Fire Lieutenant Weeks voted: Aye. Nays: none. Motion Carried.**

- VI. There being no further items on the agenda, Chairperson Montes De Oca adjourned the meeting at 10:12 A.M.

Please take note and be advised that any person desiring to appeal any decision made by the Technical Review Committee with respect to any matter considered at this proceeding, such interested person will need a record of the proceedings, and for such purpose may need to ensure a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. General Service's media are for the sole purpose of backup for official records of the Department.

Marcos Montes De Oca, Chairperson

ATTEST:
Patty M. Burnette, Secretary



CITY OF OKEECHOBEE
General Services Department
55 Southeast 3rd Street
Okeechobee, Florida 34974
863-763-3372 X 9820
Fax: 863-763-1686

ABANDONMENT OF RIGHT-OF-WAY PETITION

PETITION NO. 20-002-SC

Application fee (non-refundable) \$600.00 Note: (Resolution No. 98-11) Schedule of Land Development Regulation Fees and Charges When the cost for advertising publishing and mailing notices of public hearings exceeds the established fee, or when a professional consultant is hired to advise the city on the application, the applicant shall pay the actual costs.	Date Fee Paid: <u>8-4-20</u>	Receipt No: <u>54022</u>
	TRC Meeting: <u>9-17-20</u>	Publication Date: Letters Mailed: <u>N/A</u>
	PB/BOA Meeting: <u>10-15-20</u>	Publication Dates: Letters Mailed: <u>9-30-20</u>
	City Council 1 st Reading: <u>11-17-20</u>	CMR Letter E-mailed:
	City Council Public Hearing: <u>12-1-20</u>	Publication Date:

Right-of-way Definition: Land dedicated, deeded, used, or to be used for a street, alley, walkway, boulevard, drainage facility, access for ingress or egress, or other purpose by the public, certain designated individuals, or governing bodies. [F.S. Ch. 177 § 177.031(16)]. Easements for roads and related purposes shall be considered as right-of-way.

Legal Description of the Right-of-Way to be Abandoned:

That portion of Southwest 4th Street (formerly known per plat as Fifth Avenue), 100 feet in width, lying north of Lot 1, Block 190, City of Okeechobee, according to the plat thereof as recorded in Plat Book 5 at Page 5 of the Public Records of Okeechobee County, Florida.

That portion of Southwest 5th Street (formerly known per plat as Fourth Street), 70 feet in width, lying north of Block 191, City of Okeechobee, according to the plat thereof as recorded in Plat Book 5 at Page 5 of the Public Records of Okeechobee County, Florida.

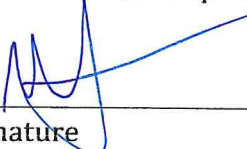
Note: Upon abandonment of a right-of-way in the City of Okeechobee or First Addition of City of Okeechobee Subdivision's, there may be a Fee Simple Interest from the Hamrick Trust. For more information contact Gil Culbreth, 3550 US Hwy 441 South, Okeechobee, Florida 34974, 863-763-3154.

Purpose of the Right-of-Way Abandonment:

SW 4th Street and SW 5th Street ROWs are required to be abandoned to adjoin the already developed parcel to the north so the proposed expansion to the existing building can proceed to the south for the industrial expansion project.

✓	Name of property owner(s): Loumax Development, Inc. - Neal Markus
	Owner(s) mailing address: P. O. Box 5501
	Owner(s) e-mail address: Fort Lauderdale, FL 33310
	Owner(s) daytime phone(s): 954-347-1077 Fax:

✓	Required Attachments
X	Copy of recorded deed of petitioner as well as any other property owner whose property is contiguous to the right-of-way. ✓
X	Letters of Consent or Objection. (If more than one property owner is involved and they are not signing the petition). SEE NOTE BELOW FOR ADDITIONAL INSTRUCTIONS ✓
X	Location map of subject property and surrounding area within 100' (See Information Request Form attached) and dimensions of right-of-way.
X	List of all property owners within 300' of subject property (See Information Request Form attached) ✓
X	Site Plan of property after abandonment. (No larger than 11x 17)
X	Utility Companies Authorization Form. (See attached) ✓
X	Supplementary supporting information: Copy of recorded Plat of the Subdivision where right-of-way exists no larger than 11x17. (Can be obtained from the County Clerk's Office, Court House)
<p>PLEASE NOTE: <i>If there are other property owners that are contiguous to the subject right-of-way, a notarized letter must be attached with the following information: date, their name(s), what property they own, and whether they object to or consent to the right-of-way abandonment. (See attached sample letter)</i></p>	

✓	Confirmation of Information Accuracy
<p>I hereby certify that the information contained in and/or attached with this petition is correct. The information included in this petition is for use by the City of Okeechobee in processing my request. False or misleading information may be punishable by a fine of up to \$500.00 and imprisonment of up to 30 days and may result in the summary denial of this petition.</p>	
 Signature	Neal Markus Printed Name
	8/4/2020 Date

PLEASE COMPLETE THE FOLLOWING

**FINDINGS REQUIRED FOR GRANTING A VACATION OF RIGHTS-OF-WAYS
(Sec. 78-33, page CD78:4 in the LDR's)**

It is the Petitioner's responsibility to convince the Technical Review Committee, Planning Board/BOA and City Council that approval of the proposed vacation is justified. Specifically, the Petitioner should provide in his/her application and presentation sufficient explanation and documentation to convince the reviewing body to find that:

1. Proposed vacation is consistent with the Comprehensive Plan:

The requested abandonment of the road ROW is consistent with the Comprehensive Plan as it is currently not used for access or utilities, there is no mention of alleys in the City's Comprehensive plan, the LDR's mention alleys in Section 86-142, which states alley may be allowed in residential districts, also in Section 70-335, which states notice of abandonment required, otherwise they are other referenced, but not concerning vacancies.

2. Right-of-way to be vacated is not the sole access to any property, and the remaining access is not an easement:

Neither ROW is sole access to any property and a remaining land will not require an easement.

3. Proposed vacation is in the public interest and provides a benefit to the City:

The proposed vacation of the ROW is within a block that was previously rezoned to Industrial and will allow the existing business to expand to the south so this vacation will allow the existing road ROW square footage to add the required space south of the existing facility for the proposed expansion and return the property to the tax rolls.

4. Proposed vacation would not jeopardize the location of any utility.

There are currently no utilities in the requested abandonment.

The City Staff will, in the Staff Report, address the request and evaluate it and the Petitioner's submission in light of the above criteria and offer a recommendation for *approval or denial*).



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Profit Corporation

LOUMAX DEVELOPMENT, INC.

Filing Information

Document Number P01000028001
FEI/EIN Number 59-3707151
Date Filed 03/19/2001
State FL
Status ACTIVE

Principal Address

312 SW 7th AVE
OKEECHOBEE, FL 34974

Changed: 04/08/2020

Mailing Address

P.O. Box 5501
FT LAUDERDALE, FL 33310

Changed: 04/08/2020

Registered Agent Name & Address

FISHMAN, MICHAEL
5064 NW 66th LANE
CORAL SPRINGS, FL 33067

Address Changed: 04/08/2020

Officer/Director Detail

Name & Address

Title D

MARKUS, NEAL J

1110 OYSTERWOOD ST
HOLLYWOOD, FL 33019

Title D

FISHMAN, MICHEAL S.

5064 NW 66th LANE
CORAL SPRINGS, FL 33067

Parcel ID Number: 3-15-37-35-0010-01900-0010

Prepared by and return to:
SUSIE BURK
Okee-Tantie Title Company, Inc.
105 NW 6th Street
Okeechobee, Florida 34972
FILE NO. 37460

Warranty Deed

This Indenture, Executed this JULY 31, 2020 A.D. Between

RUTH G. SPRADLEY, and, JOY N. LOPER, AS CO-TRUSTEES OF THE NEMEC CHILDREN'S TRUST AGREEMENT DATED DECEMBER 30, 1985,

whose address is 5243 EUROPA DRIVE, APT P, Boynton Beach, Florida 33437, hereinafter called the grantor, to

LOUMAX DEVELOPMENT, INC., A FLORIDA CORPORATION,

whose post office address is: P.O. BOX 5501, Fort Lauderdale, Florida 33310, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Okeechobee County, Florida, viz:

Legal Description as Exhibit "A"

Parcel ID Number: 3-15-37-35-0010-01900-0010 & 3-15-37-35-0010-01910-0010 & 3-21-37-35-0020-02510-0130

Subject to covenants, restrictions, easements of record and taxes for the current year.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2019.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]
Witness Printed Name Sylvia E. Burk

NEMEC CHILDREN'S TRUST AGREEMENT DATED
DECEMBER 30, 1985

[Signature] (Seal)
BY: RUTH G. SPRADLEY, Its CO-TRUSTEE
Address: 5243 EUROPA DRIVE, APT P, Boynton Beach, Florida
33437

[Signature]
Witness Printed Name Darlene Adams

[Signature] (Seal)
BY: JOY N. LOPER, Its CO-TRUSTEE
Address: 5243 EUROPA DRIVE, APT P, Boynton Beach, Florida
33437

State of Florida
County of Dade

The foregoing instrument was acknowledged before me by means of X physical presence or NA online notarization, this ^{July} August 31, 2020, by NEMEC CHILDREN'S TRUST AGREEMENT DATED DECEMBER 30, 1985, who produced a drivers license as identification.



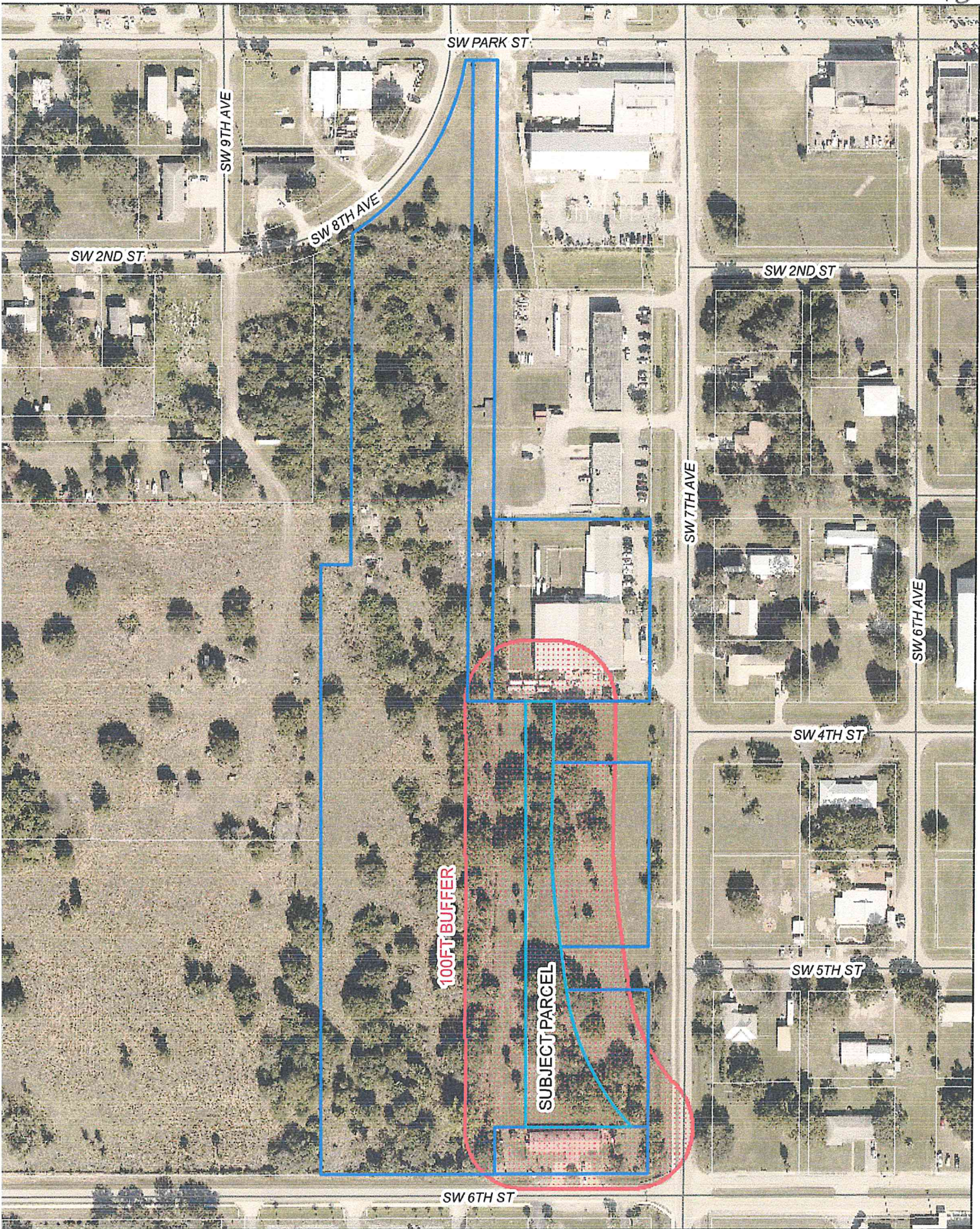
[Signature]
Notary Public
Print Name: Sylvia E. Burk
My Commission Expires _____

Exhibit "A"

All of Block 191, Town of Okeechobee, according to the plat thereof recorded in Plat Book 2, Page 17, Saint Lucie County, Florida, Public Records, lying in Okeechobee County.

That portion of the Florida East Coast Railway Company right of way, Since Abandoned, and of North Curve Street, Since Abandoned, as shown on plat of First Addition to Okeechobee County, Florida, as recorded in Plat Book 2, Page 26, of the Public Records of Saint Lucie County, Florida, and in Plat Book 1, Page 11, of the Public Records of Okeechobee County, Florida, which is bounded on the West by the Northerly extension of the West line of Block 251 (same also being a part of the East line of a tract of land known as the Station Grounds of said Railway Company), and on the South by a line extending from the Southernmost point of Block 191, as shown on the plat of the Town of Okeechobee, as recorded in Plat Book 2, Page 17, of the Public Records of Saint Lucie County, Florida, and in Plat Book 1, Page 10, of the Public Records of Okeechobee County, Florida, in a Westerly direction, said line being North of and parallel with the Westerly extension of the North line of Third Street, and which is bounded on the North by the Westerly extension of the North line of Fifth Street, of said Town of Okeechobee aforesaid and all that part of Fourth Street and Fifth Street lying West of Seventh Avenue in said Town of Okeechobee .

Lot 1 to 6, inclusive of Block 190, Okeechobee, according to the plat thereof recorded in Plat Book 2, Page 17 of the Public Records of Saint Lucie County, Florida.



THIS MAP HAS BEEN COMPILED FROM THE MOST AUTHENTIC INFORMATION AVAILABLE AND IE OKEECHOBEE COUNTY PROPERTY APPRAISER'S OFFICE DOES NOT ASSUME RESPONSIBILITY OR ERRORS OR OMMISIONS CONTAINED HEREON

OKEECHOBEE COUNTY PROPERTY APPRAISER'S OFFICE



#7

PARCEL NUMBER	OWNER	ADDRESS 1	ADDRESS 2	ADDRESS 3	CITY	ST	Zip
2-21-37-35-0A00-00001-A000	OKEECHOBEE PLAZA PROPERTIES	MANAGEMENT LLC	4285 21ST STREET SW		VENO BEACH	FL	32968
2-21-37-35-0A00-00005-0000	LOUMAX DEVELOPMENT INC	PO BOX 5501			FT LAUDERDALE	FL	33310
2-21-37-35-0A00-00006-0000	ALTOBELLO FRANK CHARITABLE	REMAINDER TRUST III, ETAL	C/O FRANK IRBY PERSONAL REP	1385 SE 23RD STREET	OKEECHOBEE	FL	34974
2-21-37-35-0A00-00006-C000	HAVEN OF REST INC	32801 US HIGHWAY 441 N LOT 244			OKEECHOBEE	FL	349720296
2-21-37-35-0A00-00006-D000	ALTOBELLO FRANK CHARITABLE	REMAINDER TRUST III, ETAL	C/O FRANK IRBY PERSONAL REP	1385 SE 23RD STREET	OKEECHOBEE	FL	34974
2-21-37-35-0A00-00013-0000	DIOCESE OF PALM BEACH	ATTN REAL ESTATE DEPT	P O BOX 109650		PALM BEACH GARDENS	FL	334100000
2-21-37-35-0A00-00053-0000	SALRY RR	C/O CSX CORP	500 WATER ST 1910		JACKSONVILLE	FL	332020000
3-15-37-35-0010-01790-0040	BELIEVERS FELLOWSHIP INC	PO BOX 653			OKEECHOBEE	FL	349730653
3-15-37-35-0010-01790-0060	CREECH DANIEL B	406 SW 2ND STREET			OKEECHOBEE	FL	34974
3-15-37-35-0010-01790-0080	HILL JUDITH E	635 SW 85TH AVE			OKEECHOBEE	FL	34974
3-15-37-35-0010-01890-0040	SCHOOLEY KEVIN L & DEBORAH S	2139 SW 22ND CIR N			OKEECHOBEE	FL	349745701
3-15-37-35-0010-01890-0100	SCHOOLEY KEVIN L & DEBORAH S	604 SW 5TH STREET			OKEECHOBEE	FL	34974
3-15-37-35-0010-01900-0010	SPRADLEY RUTH G & NEMEC GALE B	%NEMEC CHILDREN'S TRUST	608 HARBOUR POINTE WAY		GREENACRES	FL	334130000
3-15-37-35-0010-01910-0010	SPRADLEY RUTH G & NEMEC GALE B	%NEMEC CHILDREN'S TRUST	5243 EUROPA DR UNIT P		BOYNTON BEACH	FL	334370000
3-15-37-35-0010-01920-0010	SCHOOLEY KEVIN L & DEBORAH S	2139 SW 22ND CIR N			OKEECHOBEE	FL	349745701
3-15-37-35-0010-01920-0040	UNDERWOOD WILLIAM L & KELLEY A	615 SW 5TH ST			OKEECHOBEE	FL	349744258
3-15-37-35-0010-01920-0070	UNDERWOOD WILLIAM L & KELLEY A	615 SW 5TH ST			OKEECHOBEE	FL	349744258
3-15-37-35-0010-01920-0100	HAMRICK SARAH REGINA REVOC TRU	P O BOX 837			OKEECHOBEE	FL	349730000
3-15-37-35-0010-01970-0010	OKEECHOBEE COUNTY SCHOOL BOARD				OKEECHOBEE	FL	34972
3-21-37-35-0020-02510-0010	A CHILD'S WORLD CHILDCARE &	PRESCHOOL INC	703 SW 6TH ST		OKEECHOBEE	FL	349744288
3-21-37-35-0020-02510-0120	110 MARION ROAD INC	PO BOX 453511			MIAMI	FL	332453511

#7

CITY OF OKEECHOBEE RIGHT-OF-WAY ABANDONMENT PETITION
Utility Companies Authorization Form

Instructions:

Applicant: Deliver the petition and this form to the following Utility Companies for their comments. It must be signed and dated with a contact number for each person.

Utility Companies: If an easement is needed, provide a complete legal description for it. The City Attorney will address it as a nonexclusive perpetual easement within the Ordinance. If there is going to be a relocated easement, provide legal of where it's to be relocated to. The City Attorney will address this in the Ordinance by denoting the relocated easement is in an attached exhibit to the Ordinance. Additionally, the effective date will be upon the City's receipt of the recorded relocated easement between the owner and utility company and provided on the utility company's form.

Florida Power & Light	FPL requires a 10' easement on the east end of SW 4th Street and SW 5th Street ROWs west of SW 7th Avenue, if abandoned.
863-467-3708	
Donna Padgett	

Donna Padgett

Authorized Signature

SVC PLANNING

Typed Name & Title

863-467-3708

Phone No.

7/31/20

Date

Embarq d/b/a Century Link	
863-452-3185	
Kenneth R. Lutz	
ken.lutz@centurylink.com	

Authorized Signature

Typed Name & Title

Phone No.

Date

Comcast Cable	
863-763-2824	
107 NW 7 th Avenue	

Authorized Signature

Typed Name & Title

Phone No.

Date

Okeechobee Utility Authority	
John Hayford	
863-763-9460	
100 SW 5 th Avenue	

Authorized Signature

Typed Name & Title

Phone No.

Date

Florida Public Utilities	
Dale M. Butcher	
561-366-1635	
dbutcher@fpuc.com	

Authorized Signature

Typed Name & Title

Phone No.

Date

***REQUIRED ONLY FOR CITY OF OKEECHOBEE & FIRST ADDITION TO CITY OF OKEECHOBEE SUBDIVISIONS**

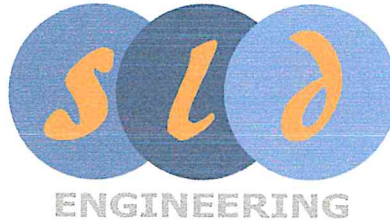
Hamrick Estate	
Gil Culbreth, Co-Trustee	
863-763-3154	

Authorized Signature

Typed Name & Title

Phone No.

Date



August 3, 2020

City of Okeechobee
55 SE 3rd Avenue
Okeechobee, FL 34974

Subject: Loumax Development, Inc. SW 4th and SW 5th Street Abandonment Statement

Dear Mr. Montes de Oca:

As discussed last week, I know the deadline for the abandonment submittal is noon on Tuesday August 4, 2020 and that FPL and Centurylink were on storm watch last week. I was able to get FPL's sign off, but I am still awaiting Centurylink. As soon as I received the signoff, I will forward it to the City for your records.

Should you have any questions or comments, please do not hesitate to call.

Sincerely,

Steven L. Dobbs Engineering

Steven L. Dobbs, P. E.
President

CC: Neal Markus
File

Patty Burnette

From: Steven L. Dobbs, P. E. <sdobbs@stevedobbsengineering.com>
Sent: Thursday, August 13, 2020 7:45 AM
To: Patty Burnette; 'Ben Smith'
Cc: 'Neal Markus'
Subject: FW: P830678 / Okeechobee - SW 4th Street & SW 5th Street
Attachments: Loumax Vacation Letter.pdf

Patty,

Please find attached the no objection letter from Centurylink. As you can see, I just received it today.

Please call with any questions.

Steven L. Dobbs, P. E.

Steven L. Dobbs Engineering, LLC

OFFICE:

209 NE 2nd Street

Okeechobee, FL 34972

MAILING:

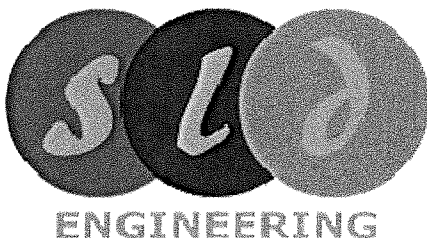
1062 Jakes Way

Okeechobee, FL 34974

Phone: 863-824-7644

Cell: 863-634-0194

sdobbs@stevedobbsengineering.com



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From: Paul, William D[Faulk and Foster Real Estate] <William.D.Paul@centurylink.com>
Sent: Thursday, August 13, 2020 7:24 AM
To: Steven L. Dobbs, P. E. <sdobbs@stevedobbsengineering.com>
Cc: Lutz, Kenneth R <Ken.Lutz@centurylink.com>
Subject: P830678 / Okeechobee - SW 4th Street & SW 5th Street

Steve,

Attached is you vacation approval letter. Let me know if you have any questions.

Bill

William Paul
Faulk & Foster
P.O. Box 24290, Tampa, FL 33623
Cell: (727) 449-3544
William.D.Paul@centurylink.com



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CITY OF OKEECHOBEE RIGHT-OF-WAY ABANDONMENT PETITION
Utility Companies Authorization Form

Instructions:

Applicant: Deliver the petition and this form to the following Utility Companies for their comments. It must be signed and dated with a contact number for each person.

Utility Companies: If an easement is needed, provide a complete legal description for it. The City Attorney will address it as a nonexclusive perpetual easement within the Ordinance. If there is going to be a relocated easement, provide legal of where it's to be relocated to. The City Attorney will address this in the Ordinance by denoting the relocated easement is in an attached exhibit to the Ordinance. Additionally, the effective date will be upon the City's receipt of the recorded relocated easement between the owner and utility company and provided on the utility company's form.

Florida Power & Light	
863-467-3708	
Donna Padgett	

Authorized Signature Typed Name & Title Phone No. Date

Embarq d/b/a Century Link	
863-452-3185	
Kenneth R. Lutz	
ken.lutz@centurylink.com	

Kenneth R. Lutz Kenneth R. Lutz - Engineer II 863-452-3185 08/13/2020
Authorized Signature Typed Name & Title Phone No. Date

Comcast Cable	
863-763-2824	
107 NW 7 th Avenue	

Authorized Signature Typed Name & Title Phone No. Date

Okeechobee Utility Authority	
John Hayford	
863-763-9460	
100 SW 5 th Avenue	

Authorized Signature Typed Name & Title Phone No. Date

Florida Public Utilities	
Dale M. Butcher	
561-366-1635	
dbutcher@fpuc.com	

Authorized Signature Typed Name & Title Phone No. Date

***REQUIRED ONLY FOR CITY OF OKEECHOBEE & FIRST ADDITION TO CITY OF OKEECHOBEE SUBDIVISIONS**

Hamrick Estate	
Gil Culbreth, Co-Trustee	
863-763-3154	

Authorized Signature Typed Name & Title Phone No. Date

8/13/2020

Loumax Development, Inc.
c/o Steven L. Dobbs, P.E.
208 NE 2nd Avenue
Okeechobee, FL 34972



No Reservations/No Objection

SUBJECT:

Abandonment that portion of SW 4th Street and SW 5th Street, according to plat thereof as recorded in Plat Book 5 at Page 5 of the Public Records of Okeechobee County, Florida.

To Whom It May Concern:

Embarq Florida, Inc., d/b/a CENTURYLINK ("CenturyLink") has reviewed the request for the subject vacation and has determined that it has no objections with respect to the areas proposed for vacation as shown and/or described on Exhibit "A", said Exhibit "A" attached hereto and incorporated by this reference.

It is the intent and understanding of CenturyLink that this Vacation shall not reduce our rights to any other existing easement or rights we have on this site or in the area.

This vacation response is submitted WITH THE STIPULATION that if CenturyLink facilities are found and/or damaged within the vacated area as described, the Applicant will bear the cost of relocation and repair of said facilities.

If you have any questions, please contact Bill Paul at 727-449-3544 / william.d.paul@centurylink.com

Sincerely yours,

Mike Pietlukiewicz
Contract Manager III
CenturyLink
P830678

BOUNDARY SURVEY PREPARED FOR LOUMAX DEVELOPMENT, INC.



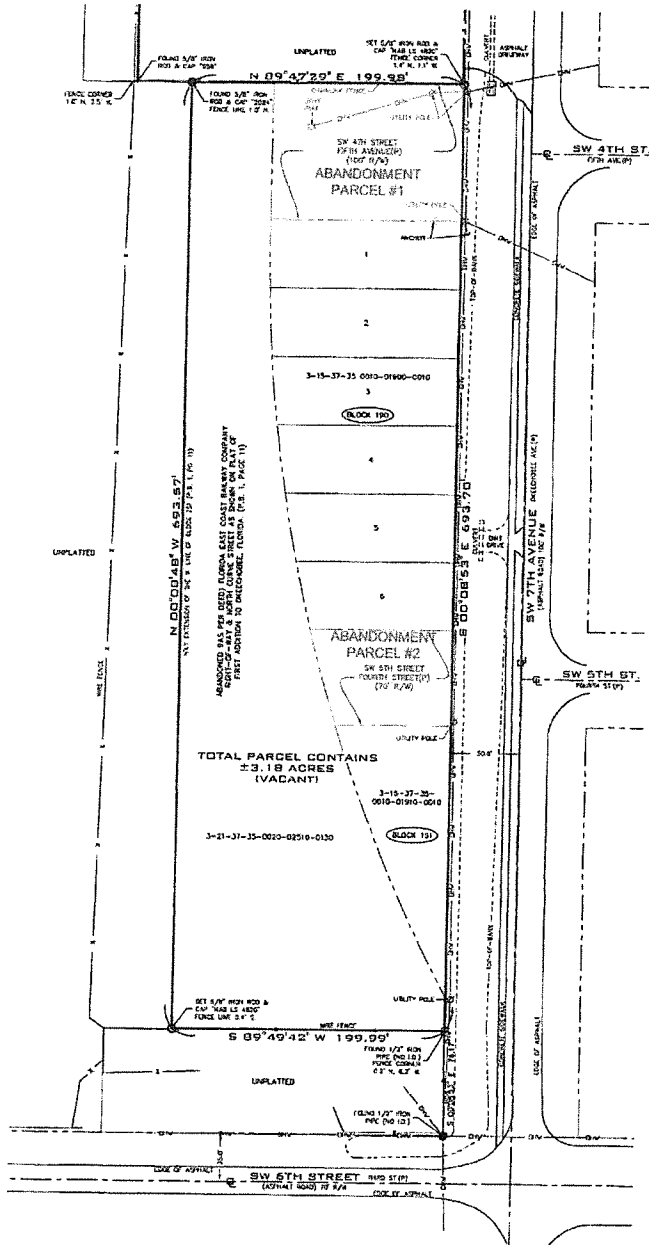
**DESCRIPTION, RECITED FROM ORB 316, PAGE 1436,
PUBLIC RECORDS OF OKEECHOBEE COUNTY, FLORIDA:**
ALL OF BLOCK 191, TOWN OF OKEECHOBEE, ACCORDING TO THE PLAT
THEREOF RECORDED IN PLAT BOOK 2, PAGE 17, ST. LUCIE COUNTY,
FLORIDA, PUBLIC RECORDS, LYING IN OKEECHOBEE COUNTY.

THAT PORTION OF THE FLORIDA EAST COAST RAILWAY COMPANY
RIGHT-OF-WAY, SINCE ABANDONED, AND OF NORTH CURVE STREET,
SINCE ABANDONED, AS SHOWN ON PLAT OF FIRST ADDITION TO
OKEECHOBEE, FLORIDA, AS RECORDED IN PLAT BOOK 2, PAGE 26, OF
THE PUBLIC RECORDS OF SAINT LUCIE COUNTY, FLORIDA, AND IN PLAT
BOOK 1, PAGE 11, OF THE PUBLIC RECORDS OF OKEECHOBEE COUNTY,
FLORIDA, WHICH IS BOUNDED ON THE WEST BY THE NORTHERLY
EXTENSION OF THE WEST LINE OF BLOCK 251 (SAME ALSO BEING A
PART OF THE EAST LINE OF A TRACT OF LAND KNOWN AS THE STATION
GROUNDS OF SAID RAILWAY COMPANY), AND ON THE SOUTH BY A LINE
EXTENDING FROM THE SOUTHERNMOST POINT OF BLOCK 191, AS SHOWN
ON THE PLAT OF THE TOWN OF OKEECHOBEE, AS RECORDED IN PLAT
BOOK 2, PAGE 17, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY,
FLORIDA, AND IN PLAT BOOK 1, PAGE 10, OF THE PUBLIC RECORDS OF
OKEECHOBEE COUNTY, FLORIDA, IN A WESTERLY DIRECTION, SAID LINE
BEING NORTH OF AND PARALLEL WITH THE WESTERLY EXTENSION OF THE
NORTH LINE OF THIRD STREET, AND WHICH IS BOUNDED ON THE NORTH
BY THE WESTERLY EXTENSION OF THE NORTH LINE OF FIFTH STREET, OF
SAID TOWN OF OKEECHOBEE AFORESAID AND ALL THAT PART OF FOURTH
STREET AND FIFTH STREET LYING WEST OF SEVENTH AVENUE IN SAID
TOWN OF OKEECHOBEE.

LOTS 1 TO 6, INCLUSIVE OF BLOCK 190, OKEECHOBEE, ACCORDING TO
THE PLAT THEREOF RECORDED IN PLAT BOOK 2, PAGE 17 OF THE
PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

PROJECT SPECIFIC NOTES:

- 1) UNLESS SHOWN OTHERWISE, ALL DIMENSIONS ARE CALCULATED(C) AND MEASURED(M).
- 2) SITE ADDRESS: NOT ASSIGNED AT TIME OF SURVEY.
- 3) F.I.R.M. ZONE: "X", MAP NO. 12093C0480C, DATED 07/16/15.
- 4) THIS SURVEY IS NOT INTENDED TO DEPICT JURISDICTIONAL AREAS OR OTHER AREAS OF LOCAL CONCERN.
- 5) SURVEYOR ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THE ACCURACY OF EASEMENT DIMENSIONS SHOWN HEREON, THERE MAY BE OTHER EASEMENTS OR RESTRICTIONS THAT EFFECT THIS PARCEL.
- 6) THE SURVEY DEPICTED HERE IS NOT COVERED BY PROFESSIONAL LIABILITY INSURANCE. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- 7) DATE OF LAST FIELD SURVEY: 12/30/19.



STANDARD NOTES: No search of the public records for determination of ownership or restrictions affecting the lands shown was performed by the surveyor. The survey depicted here is prepared exclusively for those parties noted. No responsibility or liability is assumed by the surveyor for use by others not specifically named. Not valid without the signature and embossed seal of Florida licensed surveyor and mapper #4820. There are no visible above ground encroachments except as shown, outlined in Chapter 52-17, Florida Administrative Code.			
PREPARED FOR THE EXCLUSIVE USE OF: LOUMAX DEVELOPMENT, INC.			
DESCRIPTION: BOUNDARY SURVEY		DWG. DATE: 01/02/20	BY: WC
FILE: 33421		SCALE: 1" = 50'	JOB NO: 33421

TRADEWINDS SURVEYING SERVICES, LLC.
 200 S.W. 3rd Avenue
 Okeechobee, FL 34874
 Tel: (863) 763-2807
 Fax: (863) 763-4342
 Email: kab.twps@yahoo.com

Kenneth A. Breaux, Jr. (PSM 4820) L.D. NO. 8097

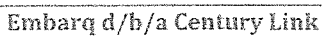
CITY OF OKEECHOBEE RIGHT-OF-WAY ABANDONMENT PETITION
Utility Companies Authorization Form

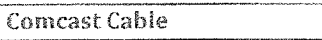

Instructions:

Applicant: Deliver the petition and this form to the following Utility Companies for their comments. It must be signed and dated with a contact number for each person.


Utility Companies: If an easement is needed, provide a complete legal description for it. The City Attorney will address it as a nonexclusive perpetual easement within the Ordinance. If there is going to be a relocated easement, provide legal of where it's to be relocated to. The City Attorney will address this in the Ordinance by denoting the relocated easement is in an attached exhibit to the Ordinance. Additionally, the effective date will be upon the City's receipt of the recorded relocated easement between the owner and utility company and provided on the utility company's form.

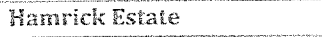
Florida Power & Light	
863-467-3708	
Donna Padgett	

Authorized Signature	Typed Name & Title	Phone No.	Date
	Embarq d/h/a Century Link		
	863-452-3185		
	Kenneth R. Lutz		
	ken.lutz@centurylink.com		

Authorized Signature	Typed Name & Title	Phone No.	Date
	Comcast Cable		
	863-763-2824		
	107 NW 7 th Avenue		
	1495 NW BRITT RD STUART FL 34994		
	Construction Coordinator	561-402-4513	7-15-20

Okeechobee Utility Authority	
John Hayford	
863-763-9460	
100 SW 5 th Avenue	

Authorized Signature	Typed Name & Title	Phone No.	Date
	Florida Public Utilities		
	Dale M. Butcher		
	561-366-1635		
	dbutcher@fpuc.com		

Authorized Signature	Typed Name & Title	Phone No.	Date
*REQUIRED ONLY FOR CITY OF OKEECHOBEE & FIRST ADDITION TO CITY OF OKEECHOBEE SUBDIVISIONS			
	Hamrick Estate		
	Gil Culbreth, Co-Trustee		
	863-763-3154		

Authorized Signature	Typed Name & Title	Phone No.	Date
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CITY OF OKEECHOBEE RIGHT-OF-WAY ABANDONMENT PETITION

Utility Companies Authorization Form

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Florida Power & Light	
863-467-3708	
Donna Padgett	

Authorized Signature Typed Name & Title Phone No. Date

Embarq d/b/a Century Link	
863-452-3185	
Kenneth R. Lutz	
<u>ken.lutz@centurylink.com</u>	

Authorized Signature Typed Name & Title Phone No. Date

Comcast Cable	
863-763-2824	
107 NW 7 th Avenue	

Authorized Signature Typed Name & Title Phone No. Date

Okeechobee Utility Authority	<i>No objection to parcels - right of way abandoned.</i>
John Hayford	
863-763-9460	
100 SW 5 th Avenue	

Authorized Signature Typed Name & Title Phone No. Date

Florida Public Utilities	
Dale M. Butcher	
561-366-1635	
<u>dbutcher@fpuc.com</u>	

Authorized Signature Typed Name & Title Phone No. Date

***REQUIRED ONLY FOR CITY OF OKEECHOBEE & FIRST ADDITION TO CITY OF OKEECHOBEE SUBDIVISIONS**

Hamrick Estate	
Gil Culbreth, Co-Trustee	
863-763-3154	

Authorized Signature Typed Name & Title Phone No. Date

CITY OF OKEECHOBEE RIGHT-OF-WAY ABANDONMENT PETITION

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Florida Power & Light	
863-467-3708	
Donna Padgett	

Authorized Signature	Typed Name & Title	Phone No.	Date
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Embarq d/b/a Century Link	
863-452-3185	
Kenneth R. Lutz	
ken.lutz@centurylink.com	

Authorized Signature	Typed Name & Title	Phone No.	Date
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Comcast Cable	
863-763-2824	
107 NW 7th Avenue	

Authorized Signature	Typed Name & Title	Phone No.	Date
----------------------	--------------------	-----------	------

Okeechobee Utility Authority	
John Hayford	
863-763-9460	
100 SW 5th Avenue	

Authorized Signature	Typed Name & Title	Phone No.	Date
----------------------	--------------------	-----------	------

Florida Public Utilities	
Ivan Gibbs	
561-723-3459	
igibbs@fpuc.com	

<i>IVAN GIBBS</i>	Ivan Gibbs Engineering Technician	561-723-3459	7-28-2020
Authorized Signature	Typed Name & Title	Phone No.	Date

***REQUIRED ONLY FOR CITY OF OKEECHOBEE & FIRST ADDITION TO CITY OF OKEECHOBEE SUBDIVISIONS**

Hamrick Estate	
Gil Culbreth, Co-Trustee	
863-763-3154	

Authorized Signature	Typed Name & Title	Phone No.	Date
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CITY OF OKEECHOBEE RIGHT-OF-WAY ABANDONMENT PETITION

Utility Companies Authorization Form

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Florida Power & Light	
863-467-3708	
Donna Padgett	

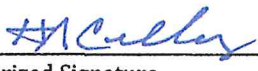
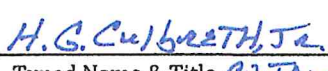
Authorized Signature	Typed Name & Title	Phone No.	Date
Embarq d/b/a Century Link			
863-452-3185			
Kenneth R. Lutz			
ken.lutz@centurylink.com			

Authorized Signature	Typed Name & Title	Phone No.	Date
Comcast Cable			
863-763-2824			
107 NW 7 th Avenue			

Authorized Signature	Typed Name & Title	Phone No.	Date
Okeechobee Utility Authority			
John Hayford			
863-763-9460			
100 SW 5 th Avenue			

Authorized Signature	Typed Name & Title	Phone No.	Date
Florida Public Utilities			
Dale M. Butcher			
561-366-1635			
dbutcher@fpuc.com			

Authorized Signature	Typed Name & Title	Phone No.	Date
Hamrick Estate	THE HAMRICK TRUST HAS A FEE SIMPLE INTEREST		
Gil Culbreth, Co-Trustee	IN THE LEGAL DESCRIPTION OF THE RIGHT-OF-WAY		
863-763-3154	TO BE ABANDONED		



863-610-0265
7-29-2020

Authorized Signature

Typed Name & Title Co-Trustee Phone No.

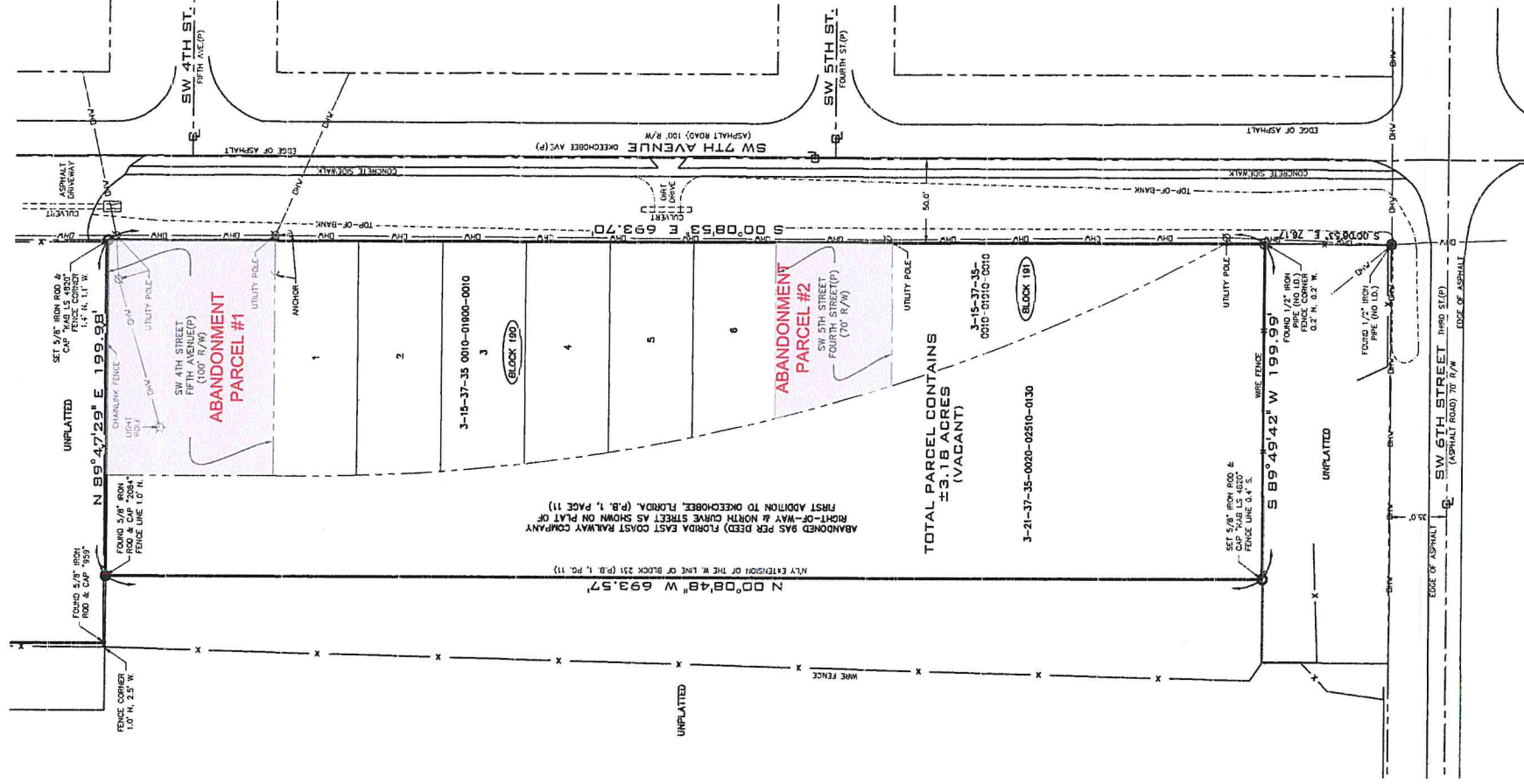
Date

MAP SCALE: 1 INCH = 60 FEET
INTENDED DISPLAY SCALE

THAT PORTION OF THE FLORIDA EAST COAST RAILWAY COMPANY RIGHT-OF-WAY, SINCE ABANDONED, AND OF NORTH CURVE STREET, SINCE ABANDONED, AS SHOWN ON PLAT OF FIRST ADDITION TO OKEECHOBEE, FLORIDA, AS RECORDED IN PLAT BOOK 2, PAGE 26, OF THE PUBLIC RECORDS OF SAINT LUCIE COUNTY, FLORIDA, AND IN PLAT BOOK 1, PAGE 11, OF THE PUBLIC RECORDS OF OKEECHOBEE COUNTY, FLORIDA, WHICH IS BOUNDED ON THE WEST BY THE NORTHERLY EXTENSION OF THE WEST LINE OF BLOCK 251 (SAME ALSO BEING A PART OF THE EAST LINE OF A TRACT OF LAND KNOWN AS THE STATION GROUNDS OF SAID RAILWAY COMPANY), AND ON THE SOUTH BY A LINE EXTENDING FROM THE SOUTHERNMOST POINT OF BLOCK 191, AS SHOWN ON THE PLAT OF THE TOWN OF OKEECHOBEE, AS RECORDED IN PLAT BOOK 2, PAGE 17, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, AND IN PLAT BOOK 1, PAGE 10, OF THE PUBLIC RECORDS OF OKEECHOBEE COUNTY, FLORIDA, IN A WESTERLY DIRECTION, SAID LINE BEING NORTH OF AND PARALLEL WITH THE WESTERLY EXTENSION OF THE NORTH LINE OF THIRD STREET, AND WHICH IS BOUNDED ON THE NORTH BY THE WESTERLY EXTENSION OF THE NORTH LINE OF FIFTH STREET, OF SAID TOWN OF OKEECHOBEE AFORESAID AND ALL THAT PART OF FOURTH STREET AND FIFTH STREET LYING WEST OF SEVENTH AVENUE IN SAID TOWN OF OKEECHOBEE.

PROJECT SPECIFIC NOTES:

- 1) UNLESS SHOWN OTHERWISE, ALL DIMENSIONS ARE CALCULATED(C) AND MEASURED(M).
- 2) SITE ADDRESS: NOT ASSIGNED AT TIME OF SURVEY.
- 3) F.I.R.M. ZONE: "X", MAP NO. 12093C0480C, DATED 07/16/15.
- 4) THIS SURVEY IS NOT INTENDED TO DEPICT JURISDICTIONAL AREAS OR OTHER AREAS OF LOCAL CONCERN.
- 5) SURVEYOR ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THE ACCURACY OF EASEMENT DIMENSIONS SHOWN HEREON, THERE MAY BE OTHER EASEMENTS OR RESTRICTIONS THAT EFFECT THIS PARCEL.
- 6) THE SURVEY DEPICTED HERE IS NOT COVERED BY PROFESSIONAL LIABILITY INSURANCE. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- 7) DATE OF LAST FIELD SURVEY: 12/30/19.



STANDARD NOTES: No search of the public records for determination of ownership or restrictions affecting the lands shown was performed by the surveyor. The survey depicted here is prepared exclusively for those parties noted. No responsibility or liability is assumed by the surveyor for use by others not specifically named. No attempt was made to locate underground improvements and/or encroachments except as shown. No attempt was made to locate underground improvements and/or encroachments (if any) as part of this survey. This survey was prepared in accordance with and conforms to the standards of practice for professional surveyors and mappers as outlined in Chapter 53-17, Florida Administrative Code.

PREPARED FOR THE EXCLUSIVE USE OF:
LOUMAX DEVELOPMENT, INC.

MADEWINDS SURVEYS
200 S.W. 3rd Avenue
Okeechobee, FL. 34974
Tel: (863) 763-2887
Fax: (863) 763-4342
Email: kab.twps@yahoo.com

Kenneth A. Breaux, Jr. (PSM 4820) LB NO. 8097

TRADEWINDS SURVEYING SERVICES, LLC.

[illegible]

Okeechobee County Property Appraiser

Mickey L. Bandi, CFA

2020 Working Values

updated: 7/30/2020

Parcel: << **3-15-37-35-0010-01900-0010 (34183)** >>

Aerial Viewer Pictometry Google Maps

Owner & Property Info

Owner	SPRADLEY RUTH G & NEMEC GALE B %NEMEC CHILDREN'S TRUST 608 HARBOUR POINTE WAY GREENACRES, FL 33413		
Site	SW 7TH AVE, OKEECHOBEE		
Description*	CITY OF OKEECHOBEE LOTS 1 TO 6 INC BLOCK 190		
Area	0.86 AC	S/T/R	15-37-35
Use Code**	VACANT (0000)	Tax District	50

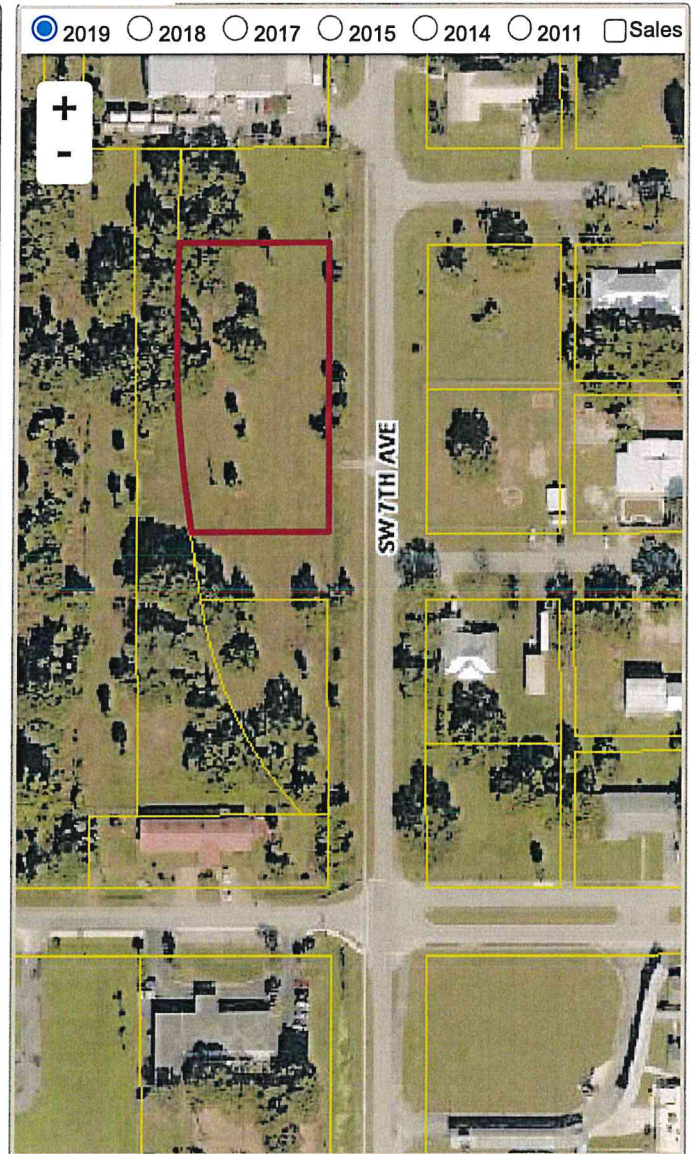
*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

**The Use Code is a Dept. of Revenue code. Please contact Okeechobee County Planning & Development at 863-763-5548 for zoning info.

Property & Assessment Values

2019 Certified Values		2020 Working Values	
Mkt Land	\$41,850	Mkt Land	\$41,850
Ag Land	\$0	Ag Land	\$0
Building	\$0	Building	\$0
XFOB	\$0	XFOB	\$0
Just	\$41,850	Just	\$41,850
Class	\$0	Class	\$0
Appraised	\$41,850	Appraised	\$41,850
SOH Cap [?]	\$0	SOH/10% Cap [?]	\$0
Assessed	\$41,850	Assessed	\$41,850
Exempt	\$0	Exempt	\$0
Total Taxable	county:\$41,850 city:\$41,850 other:\$41,850 school:\$41,850	Total Taxable	county:\$41,850 city:\$41,850 other:\$41,850 school:\$41,850

Note: Property ownership changes can cause the Assessed value of the property to reset to full Market value, which could result in higher property taxes.

**▼ Sales History**

Sale Date	Sale Price	Book/Page	Deed	V/I	Quality (Codes)	RCode
8/1/1990	\$0	0316/1436	WD	V	U	03
4/6/1964	\$0	0080/0731	QC	V	U	03
2/18/1964	\$0	0079/0499	QC	V	U	03
2/17/1964	\$0	0079/0497	QC	V	U	03

▼ Building Characteristics

Bldg Item	Description*	Year Blt	Base SF	Actual SF	Bldg Value
NONE					

▼ Extra Features & Out Buildings (Codes)

Code	Description	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

▼ Land Breakdown

Code	Description	Units	Adjustments	Eff Rate	Land Value
------	-------------	-------	-------------	----------	------------

Okeechobee County Property Appraiser

Mickey L. Bandi, CFA

2020 Working Values

updated: 7/30/2020

Parcel: << **3-15-37-35-0010-01910-0010 (34184)** >>**Owner & Property Info**

Result: 3 of 4

Owner	SPRADLEY RUTH G & NEMEC GALE B %NEMEC CHILDREN'S TRUST 5243 EUROPA DR UNIT P BOYNTON BEACH, FL 33437		
Site	SW 6TH ST, OKEECHOBEE		
Description*	CITY OF OKEECHOBEE ALL BLOCK 191		
Area	0.409 AC	S/T/R	15-37-35
Use Code**	VACANT (0000)	Tax District	50

*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

**The Use Code is a Dept. of Revenue code. Please contact Okeechobee County Planning & Development at 863-763-5548 for zoning info.

Property & Assessment Values

2019 Certified Values		2020 Working Values	
Mkt Land	\$25,087	Mkt Land	\$25,088
Ag Land	\$0	Ag Land	\$0
Building	\$0	Building	\$0
XFOB	\$0	XFOB	\$0
Just	\$25,087	Just	\$25,088
Class	\$0	Class	\$0
Appraised	\$25,087	Appraised	\$25,088
SOH Cap [?]	\$0	SOH/10% Cap [?]	\$0
Assessed	\$25,087	Assessed	\$25,088
Exempt	\$0	Exempt	\$0
Total Taxable	county:\$25,087 city:\$25,087 other:\$25,087 school:\$25,087	Total Taxable	county:\$25,088 city:\$25,088 other:\$25,088 school:\$25,088

Note: Property ownership changes can cause the Assessed value of the property to reset to full Market value, which could result in higher property taxes.

Aerial Viewer Pictometry Google Maps

☒ 2019
 ☐ 2018
 ☐ 2017
 ☐ 2015
 ☐ 2014
 ☐ 2011
 ☐ Sales
**▼ Sales History**

Sale Date	Sale Price	Book/Page	Deed	V/I	Quality (Codes)	RCode
8/1/1990	\$0	0316/1436	WD	V	U	03

▼ Building Characteristics

Bldg Item	Description*	Year Blt	Base SF	Actual SF	Bldg Value
NONE					

▼ Extra Features & Out Buildings (Codes)

Code	Description	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

▼ Land Breakdown

Code	Description	Units	Adjustments	Eff Rate	Land Value
161CI2	CITY LT (MKT)	223.000 FF (0.409 AC)	1.0000/.7500 1.0000/ /	\$113 /FF	\$25,088

Search Result: 3 of 4

© Okeechobee County Property Appraiser | Mickey L. Bandi, CFA | Okeechobee, Florida | 863-763-4422

by: GrizzlyLogic.com

Okeechobee County Property Appraiser

Mickey L. Bandi, CFA

2020 Working Values

updated: 7/30/2020

Parcel: << **3-21-37-35-0020-02510-0130 (34741)** >>**Owner & Property Info**

Owner	SPRADLEY RUTH G & NEMEC GALE B %NEMEC CHILDREN'S TRUST 608 HARBOUR POINTE WAY GREENACRES, FL 33413		
Site	SW 6TH ST, OKEECHOBEE		
Description*	THAT PORTION OF THE FLORIDA EAST COAST RAILWAY COMPANY RIGHT-OF-WAY, SINCE ABANDONED, AND OF NORTH CURVE STREET, SINCE ABANDONED, AS SHOWN ON PLAT OF FIRST ADDITION TO OKEECHOBEE, FLORIDA, AS RECORDED IN PLAT BOOK 2, PAGE 26, OF THE PUBLIC RECORDS OF SAINT LUCIE COUNTY, FLORIDA, AND IN PLAT BOOK 1, PAGE 11, OF THE PUBLIC RECORDS OF OKEECHOBEE COUNTY, FLORIDA, WHICH IS BOUNDED ON THE WEST BY THE NORTHERLY EXTENSION OF THE WEST LINE OF BLOCK 251 (SAME ALSO BEING A PART OF THE EAST LINE OF A TRACT OF LAND KNOWN AS THE STATION GROUNDS OF SAID RAILWAY COMPANY), AND ON THE SOUTH BY A LINE EXTENDING FROM THE SOUTHERNMOST POINT OF BLOCK 191, AS SHOWN ON THE PLAT OF THE TOWN OF OKEECHOBEE, AS RECORDED IN PLAT BOOK 2, PAGE 17, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, AND IN PLAT BOOK 1, PAGE 10, OF THE PUBLIC RECORDS OF OKEECHOBEE COUNTY, FLORIDA, IN A WESTERLY DIRECTION, SAID LINE BEING NORTH OF AND PARALLEL WITH THE WESTERLY EXTENSION OF THE NORTH LINE OF THIRD STREET, AND WHICH IS BOUNDED ON THE NORTH BY THE WESTERLY EXTENSION OF THE NORTH LINE OF FIFTH STREET, OF SAID TOWN OF OKEECHOBEE AFORESAID AND ALL THAT PART OF FOURTH STREET AND FIFTH STREET LYING WEST OF SEVENTH AVENUE IN SAID TOWN OF OKEECHOBEE. <<<less		
Area	1.6 AC	S/T/R	21-37-35
Use Code**	VACANT (0000)	Tax District	50

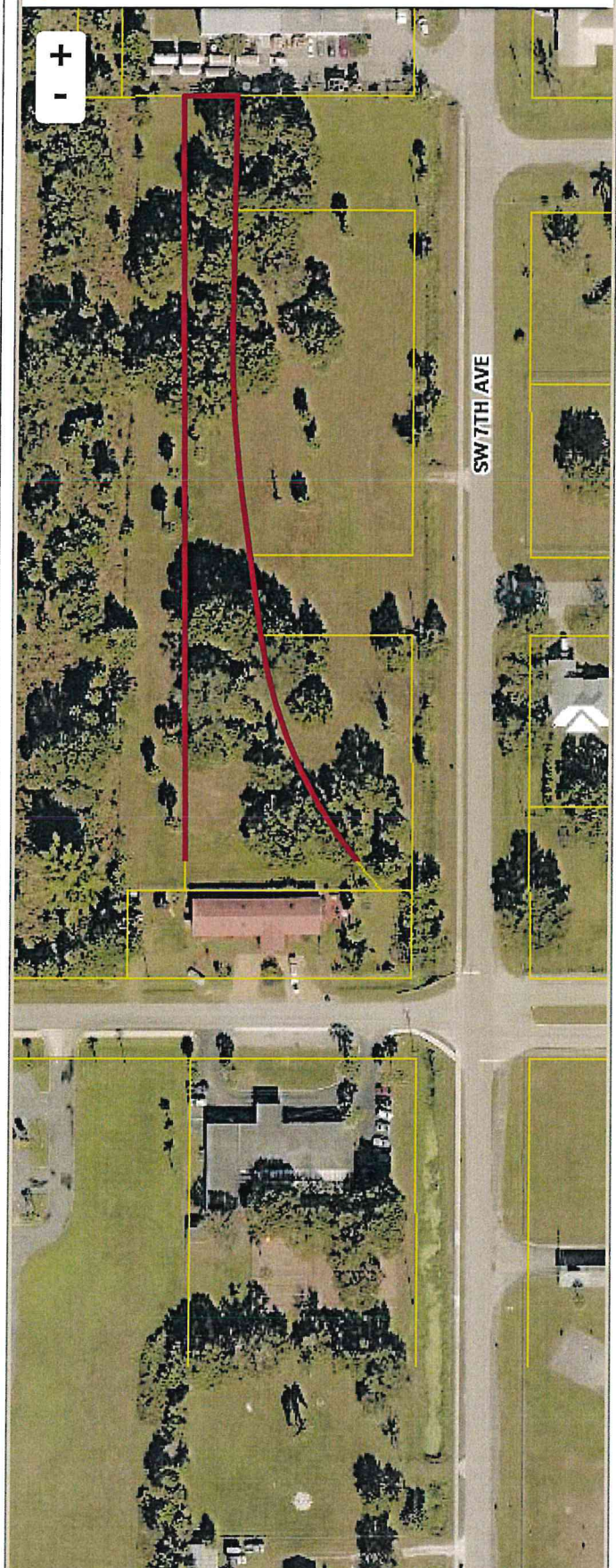
*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

**The Use Code is a Dept. of Revenue code. Please contact Okeechobee County Planning & Development at 863-763-5548 for zoning info.

Property & Assessment Values

2019 Certified Values		2020 Working Values	
Mkt Land	\$16,800	Mkt Land	\$16,800
Ag Land	\$0	Ag Land	\$0
Building	\$0	Building	\$0
XFOB	\$0	XFOB	\$0
Just	\$16,800	Just	\$16,800
Class	\$0	Class	\$0
Appraised	\$16,800	Appraised	\$16,800
SOH Cap [?]	\$0	SOH/10% Cap [?]	\$0
Assessed	\$16,800	Assessed	\$16,800
Exempt	\$0	Exempt	\$0
Total Taxable	county:\$16,800	Total Taxable	county:\$16,800
	city:\$16,800		city:\$16,800
	other:\$16,800		other:\$16,800
	school:\$16,800		school:\$16,800

Aerial Viewer Pictometry Google Maps

☒ 2019
 ☐ 2018
 ☐ 2017
 ☐ 2015
 ☐ 2014
 ☐ 2011
 ☐ Sales


Note: Property ownership changes can cause the Assessed value of the property to reset to full Market value, which could result in higher property taxes.



▼ Sales History

Sale Date	Sale Price	Book/Page	Deed	V/I	Quality (Codes)	RCode
8/1/1990	\$0	0316/1436	WD	V	U	03

▼ Building Characteristics

Bldg Item	Description*	Year Blt	Base SF	Actual SF	Bldg Value
N O N E					

▼ Extra Features & Out Buildings (Codes)

Code	Description	Year Blt	Value	Units	Dims	Condition (% Good)
N O N E						

▼ Land Breakdown

Code	Description	Units	Adjustments	Eff Rate	Land Value
961CAC	NON/CONFG (MKT)	1.600 AC	1.0000/1.0000 1.0000/.7500 .7500/.7500	\$10,500 /AC	\$16,800



Staff Report

Right-of-Way Abandonment

Prepared for: *The City of Okeechobee*
Applicant: *Loumax Development, Inc*
Petition No.: *20-002-SC*

Request

The matter before the TRC is a request to abandon two sections of public right-of-way:

1. An approximately 15,700 square foot section of ROW described as follows:
"That portion of Southwest 4th Street (formerly known per plat as Fifth Avenue), 100 feet in width, lying north of Lot 1, Block 190, City of Okeechobee, according to the plat thereof as recorded in Plat Book 5 at Page 5 of the Public Records of Okeechobee County, Florida."
2. An approximately 9,725 square foot section of ROW described as follows:
"That portion of Southwest 5th Street (formerly known per plat as Fourth Street), 70 feet in width, lying north of, Block 191, City of Okeechobee, according to the plat thereof as recorded in Plat Book 5 at Page 5 of the Public Records of Okeechobee County, Florida."

In total, the abandonment request encompasses approximately 25,425 square feet (0.58 acres) of public ROW. The surrounding property which is owned by the applicant was recently approved for a future land use map amendment and a rezoning to industrial. If this request is approved, the applicant has stated their intention is to expand their industrial manufacturing operation that has been in existence on the property to the north.

General Information

Owner	Neal Markus
Address	Loumax Development, Inc PO Box 5501 Fort Lauderdale, FL 33310
Phone Number	954-347-1077
For the legal description of the project or other information regarding this application, please refer to the application submittal package which is available by request at City Hall and is posted on the City's website prior to the advertised public meeting at https://www.cityofokeechobee.com/agendas.html .	

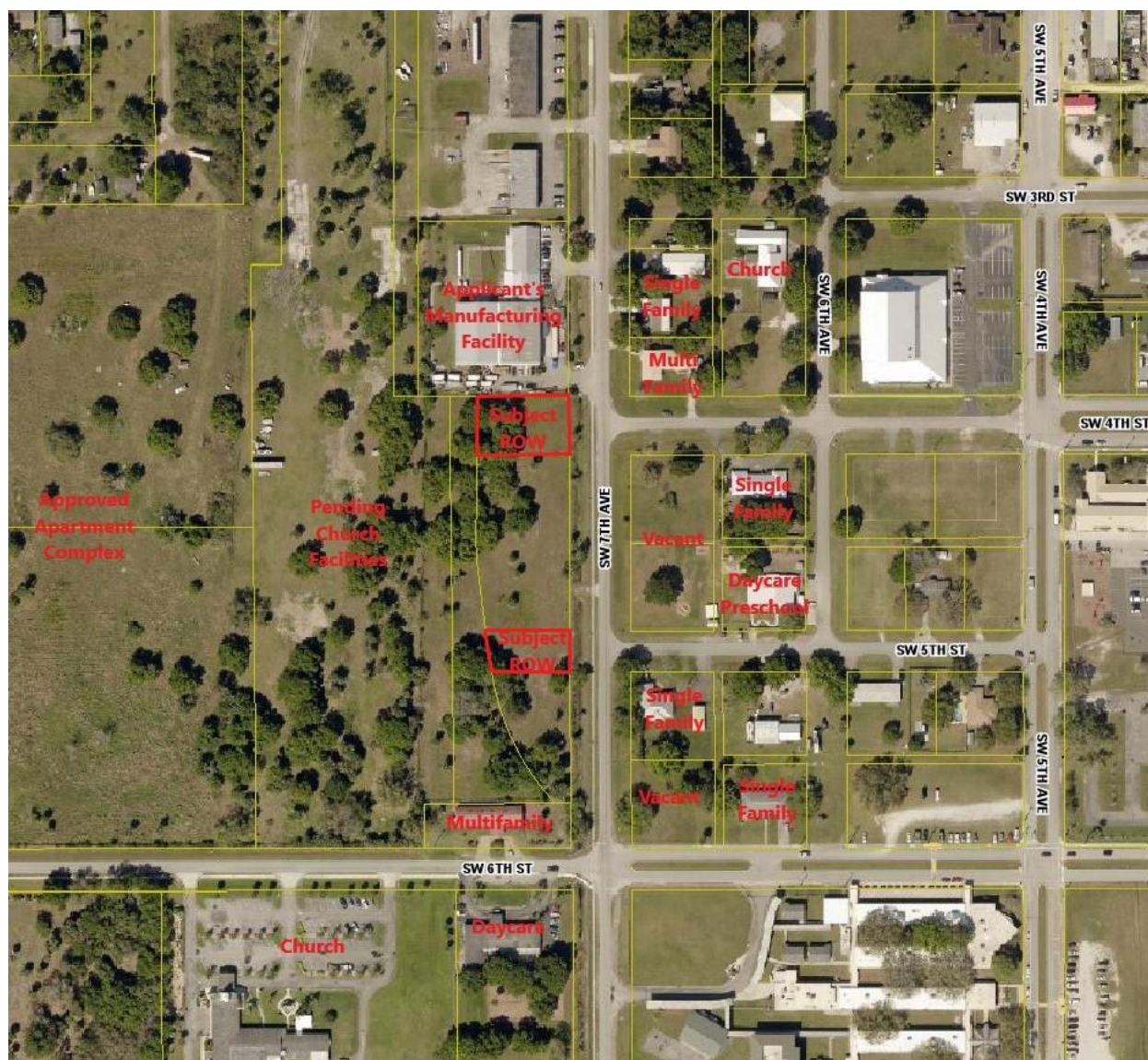
Characteristics of the Subject Property

	Existing	Proposed
Future Land Use	Industrial	Industrial
Zoning District	Industrial	Industrial
Use of Property	Industrial	Industrial
Acreage	2.87 acres	3.45

Description of the Subject Site and Surrounding Area

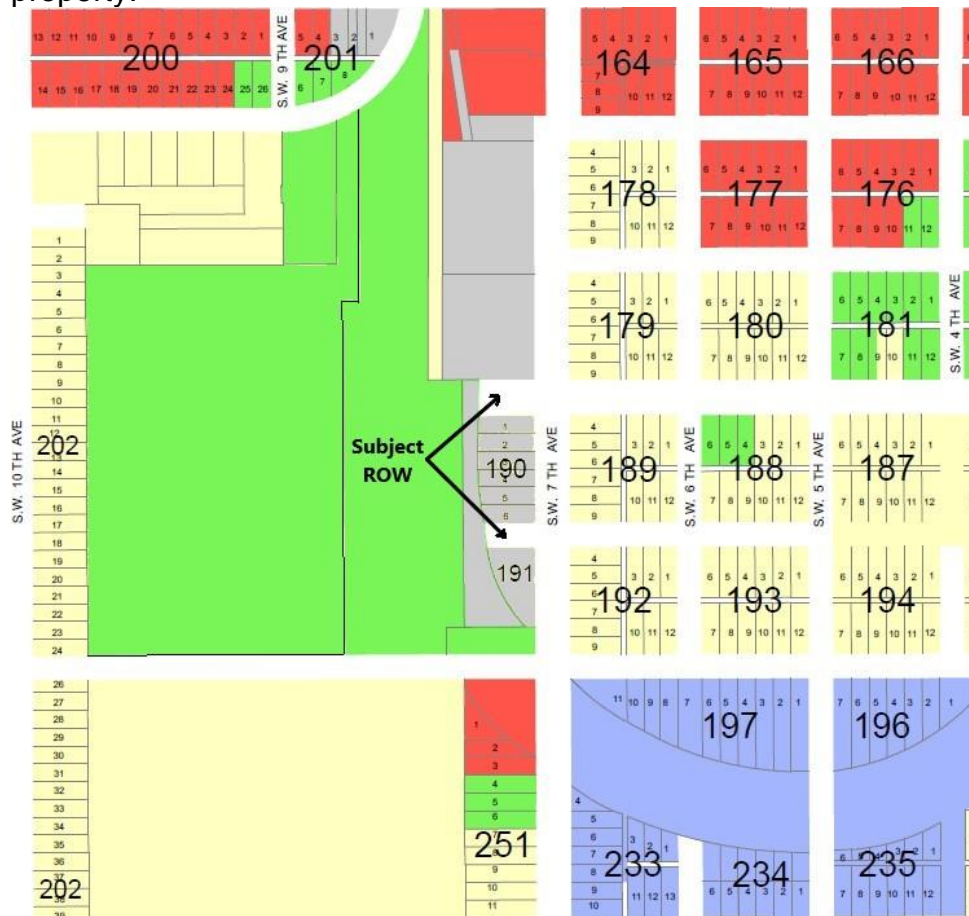
AERIAL

The subject of the abandonment/vacation, the unimproved rights-of-way of SW 4th Street and SW 5th Street, are outlined in Red, and the existing land uses in the vicinity are shown below on the aerial photograph from the Property Appraiser's office. The Applicant owns all four of the surrounding parcels.



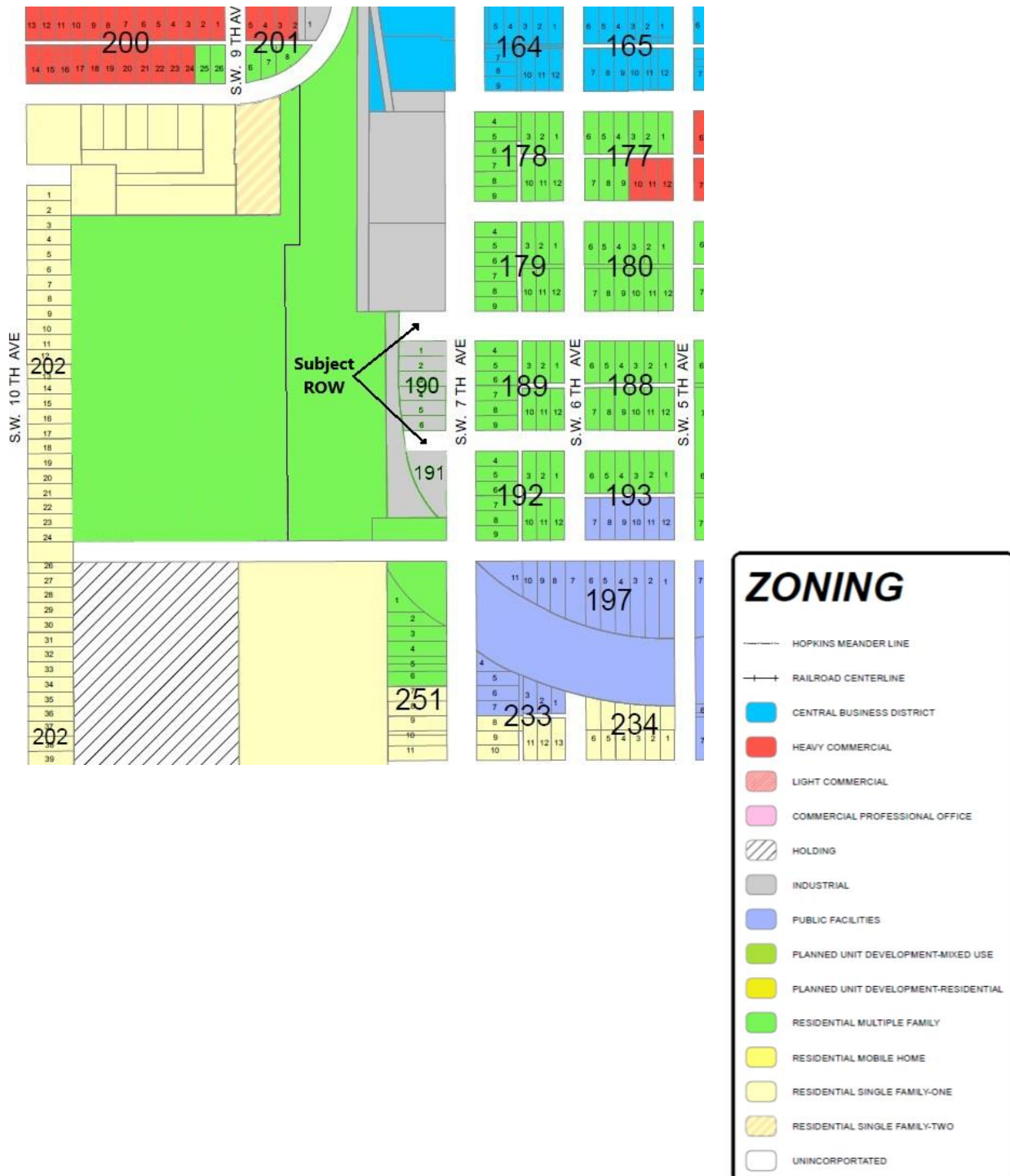
FUTURE LAND USE

The subject of the abandonment/vacation, the unimproved right-of-way of SW 4th Street and SW 5th Street, are identified below and the Future Land Use Map designations are shown on this excerpt from the City's Future Land Use Map. All surrounding properties on the west side of SW 7th Ave are designated Industrial and if this vacation is to be approved, it seems appropriate to place an Industrial designation on the vacated property.



ZONING

The subject of the abandonment/vacation, the unimproved right-of-way of SW 4th Street and SW 5th Street, are identified below and the zoning designations are shown on this excerpt from the City's Zoning Map. All surrounding properties on the west side of SW 7th Ave are designated Industrial and if this vacation is to be approved, it seems appropriate to place an Industrial designation on the vacated property.



Consistency with Sec. 78-33, Vacation of Rights-of-Way

Sec. 78.33 states that applications to vacate an alley or public right-of-way may be approved upon a finding by the City Council that the following requirements have been met. The Applicant's responses are provided in Times Roman typeface and are repeated below exactly as provided by the Applicant. Staff has made no attempt to correct typos, grammar, or clarify the Applicant's comments. Staff Comments are in Arial typeface.

1. *Proposed vacation is consistent with the Comprehensive Plan.*

Applicant Comment: "The requested abandonment of the road ROW is consistent with the Comprehensive Plan as it is currently not used for access or utilities, there is no mention of alleys in the City's Comprehensive plan, the LDR's mention alleys in Section 86-142, which states alley may be allowed in residential districts, also in Section 70-335, which states notice of abandonment required, otherwise they are other referenced, but not concerning vacancies."

Staff Comment: There is nothing in the City's Comprehensive Plan concerning abandonments or vacations of rights-of-way.

2. *Right-of-way to be vacated is not the sole access to any property, and the remaining access is not an easement*

Applicant Comment: "Neither ROW is sole access to any property and a remaining land will not require an easement."

Staff Comment: The applicant owns all of the surrounding property on the west side of SW 7th Avenue. No other properties require these ROWs for access.

3. *Proposed vacation is in the public interest and provides a benefit to the City.*

Applicant Comment: "The proposed vacation of the ROW is within a block that was previously rezoned to Industrial and will allow the existing business to expand to the south so this vacation will allow the existing road ROW square footage to add the required space south of the existing facility for the proposed expansion and return the property to the tax rolls."

Staff Comment: Since the City recently approved the future land use map amendment and rezoning to industrial designations, it seems appropriate to allow the subject rights-of-way to be vacated. Turning over maintenance responsibility to the applicant and adding this property to the City tax rolls will be a benefit to the City. If the property is developed according to the Applicant's stated plans, additional taxes will be collected by the City and a several jobs will be created by the applicant's proposed expansion of the existing manufacturing facility.

4. *Proposed vacation would not jeopardize the location of any utility.*

Applicant Comment: "There are currently no utilities in the requested abandonment."

Staff Comment: The Applicant has provided signed authorizations from all necessary utility entities including:

- Florida Power & Light
- Century Link (with the condition that the Applicant will bear the cost of relocation and

- repair of any facilities that are found and/or damaged in the vacated areas)
- Comcast
 - Okeechobee Utility Authority
 - Florida Public Utilities

Recommendation

Based on the foregoing information and analysis, we believe, from a planning perspective, that the requested rights-of-way vacation/abandonment **can be considered consistent with the requirements of Sec. 78-33.**

Submitted by:




Benjamin L. Smith, AICP
Sr. Planner

LaRue Planning
September 8, 2020

TRC Meeting: September 17, 2020
PB/BOA Meeting: October 15, 2020
City Council 1st Reading: (tentative) November 17, 2020
City Council 2nd Reading and Public Hearing: (tentative) December 1, 2020

CITY OF OKEECHOBEE
Application for Site Plan Review

Pag 1 of 3

	<p>City of Okeechobee General Services Department 55 S.E. 3rd Avenue, Room 101 Okeechobee, Florida 34974 Phone: (863) 763-3372, ext. 9820 Fax: (863) 763-1686 E-mail: pburnette@cityofokeechobee.com</p>	<p>Date Received: <u>8-4-20</u></p> <p>Application No. <u>80-005-TRC</u></p> <p>Fee Paid: 1306.00 CK#2219</p> <p>Receipt No. 49593</p> <p>Hearing Date: <u>9-17-20</u></p>
APPLICANT INFORMATION		
1	Name of property owner(s): <u>Haven Of Rest</u>	
2	Owner mailing address: <u>32801 Highway 441 N, Lot 244, Okeechobee FL 34972</u>	
3	Name of applicant(s) if other than owner: <u>Tom Velie</u>	
4	Applicant mailing address:	
5	Name of contact person (state relationship): <u>Steven L. Dobbs</u>	
6	Contact person daytime phone(s) and email address: <u>(863) 634-0194 - sdobbs@stevedobbsengineering.com</u>	
7	Engineer: Name, address and phone number: <u>Steven L. Dobbs - 1062 Jakes Way, Okeechobee, FL. 34974</u> <u>(863) 634-0194 - sdobbs@stevedobbsengineering.com</u>	
8	Surveyor: Name, address and phone number: <u>Kenneth Breaux - 200 SW 3RD Ave, Okeechobee FL. 34974</u> <u>(863) 763-2887 - kab.twps@yahoo.com</u>	
PROPERTY and PROJECT INFORMATION		
9	Property address/directions to property: <u>807 SW 2ND Street, Okeechobee FL. 34974</u> <u>HWY 441 South, turn right onto NW 6TH Street. Parcel starts approximately 600FT from SW 7TH Ave on right.</u>	
10	Parcel Identification Number <u>2-21-37-35-0A00-00006-C000</u>	
11	Current Future Land Use designation: <u>Multifamily</u>	
12	Current Zoning district: <u>RMF</u>	
13	Describe the project including all proposed uses, type of construction and conceptual building layout, how the business or use is expected to operate on the site, including but not limited to: number of employees expected; hours of operation; location, extent and type of any outdoor storage or sales, etc., and fire flow layout. Use additional page if necessary. <u>This project is going to construct a sanctuary, fellowship hall, parking, and drainage facility to support the project.</u>	
14	Describe existing improvements on property (for example, the number and type of buildings, dwelling units, occupied or vacant, etc.). Use additional page if necessary. <u>There are currently only agricultural fences on-site.</u>	
15	Total land area in square feet (if less than two acres): _____ or acres: <u>10.2</u>	
16	Is proposed use different from existing or prior use <input checked="" type="checkbox"/> Yes) <input type="checkbox"/> No)	

CITY OF OKEECHOBEE
Application for Site Plan Review

Page 2 of 3

17	Number and description of phases: Phase 1 - Sanctuary, Fellowship Hall, parking, drainage, landscaping, and offsite improvements Future Phases - Parsonage, two additional buildings.
18	Source of potable water: OUA
19	Method of sewage disposal: Septic

ATTACHMENTS REQUIRED FOR ALL APPLICATIONS	
20	Applicant's statement of interest in property. Owner
21	One (1) copy of last recorded warranty deed.
22	Notarized letter of consent from property owner (if applicant is different from property owner).
23	Three (3) sealed boundary and topographic, "as is" surveys (one to be no larger than 11 x 17) of the property involved including: a. Certified boundary survey, date of survey, surveyor's name, address and phone number b. Legal description of site and parcel number c. Computation of total acreage to nearest tenth of an acre
24	Two (2) sets of aerials of the site.
25	Eleven (11) copies of sealed site plan drawings (see attached checklist for details of items to be included).
26	Eleven (11) copies of drawing indicating facades for all buildings, including architectural elevations.
27	Eleven (11) copies of landscape plan, including a separate table indicating the number of trees and shrubs by type and showing both the official and common name of each type of tree and shrub.
28	Eleven (11) copies of photometric lighting plan (see Code of Ordinances & LDR's Section 78-71(A)(5)).
29	Three (3) copies of sealed drainage calculations.
30	Attach a Traffic Impact Study prepared by a professional transportation planner or transportation engineer, if the rezoning or proposed use will generate 100 or more peak hour vehicle trip ends using the trip generation factors for the most similar use as contained in the Institute of Transportation Engineers most recent edition of <u>Trip Generation</u> . The TIA must identify the number of net new external trips, pass-bay calculations, internal capture calculations, a.m. and p.m. peak hour trips and level of service on all adjacent roadway links with and without the project.
31	USB flash drive of application and attachments.
32	Nonrefundable application fee: \$1,000.00 plus \$30.00 per acre. NOTE: Resolution No. 98-11 Schedule of Land Development Regulation Fees and Charges – When the cost for advertising, publishing and mailing notices of public hearings exceeds the established fee, or when a professional consultant is hired to advise the City on the application, the applicant shall pay the actual costs.

NOTE: Submissions will be reviewed by the General Services Coordinator and City Planner for all necessary documentation. The Applicant will be notified at least 10 days prior to the TRC meeting whether or not additional information is required to proceed or if the review will be rescheduled to the next TRC meeting.

Confirmation of Information Accuracy	
	I hereby certify that the information in this application is correct. The information included in this application is for use by the City of Okeechobee in processing my request. False or misleading information may be punishable by a fine of up to \$500.00 and imprisonment of up to 30 days and may result in the summary denial of this application.
Signature	<div style="text-align: center;"> <div>Tom Vehlke</div> <div>Printed Name</div> </div> <div style="text-align: right;"> <div>_____</div> <div>Date</div> </div>

For questions relating to this application packet, call the General Services Dept. at (863) -763-3372, Ext. 9820

CITY OF OKEECHOBEE
Application for Site Plan Review
City of Okeechobee
Checklist for Site Plan Review

Pag 3 of 3

	REQUIRED INFORMATION
1	Completed application (1)
2	Map showing location of site (may be on the cover sheet of site plan)
3	Eleven (11) copies of sealed site plan drawings prepared at a scale no smaller than one inch equals 60 feet, or in the case of small projects, the largest scale that can accommodate the entire site and all areas within 50 feet of the project boundary, and the scale, legend, and author block all on one 24" by 36" sheet. The site plan drawings shall include the location of all existing and proposed improvements, including, but not limited to:
	3.1 Water courses, water bodies, floodplains, wetlands, important natural features and wildlife areas, soil types, protected trees and vegetation or environmentally sensitive areas
	3.2 Streets, sidewalks, property lines and rights-of-way
	3.3 Utility lines/facilities, fire hydrants, septic tanks and drainfields
	3.4 Bridges, culverts and stormwater management facilities
	3.5 Buildings and structures and their distances from boundaries of the property, streets, and other structures
	3.6 Setback lines and required yards
	3.7 Ingress and egress to the site and buildings
	3.8 Vehicular use areas including off-street parking and loading areas
	3.9 On-site recreation and open space
	3.10 Landscaping, screens, buffers, walls, and fences,
	3.11 Method of solid waste collection and locations of and access to dumpsters
	3.12 Lighting and signs
4	Drawing notes and tabulations showing the following information shall be included along with the plan:
	4.1 Name, address and phone number of the owner
	4.2 Name, address and phone number of any agent, architect, engineer and planner
	4.3 Compete legal description of the property
	4.4 Future land use designation, current zoning and existing land use of the property and all abutting properties
	4.5 Total acreage of the property (square footage if less than two acres)
	4.6 Total # of dwelling units, by bedroom size; square footage of nonresidential uses by type of use (and/or seating, etc. as necessary to indicate the intensity)
	4.7 Number of off-street parking spaces provided (including handicapped spaces) and loading spaces and the calculation of, and basis for, the number of such spaces required by the Land Development Regulations
	4.8 Impervious surface calculations showing: the square footage and as a% of the total site for existing impervious surfaces, additional proposed impervious surfaces and the resulting proposed total impervious surfaces

Okeechobee County Property Appraiser

Mickey L. Bandi

2019 Preliminary Certified Values

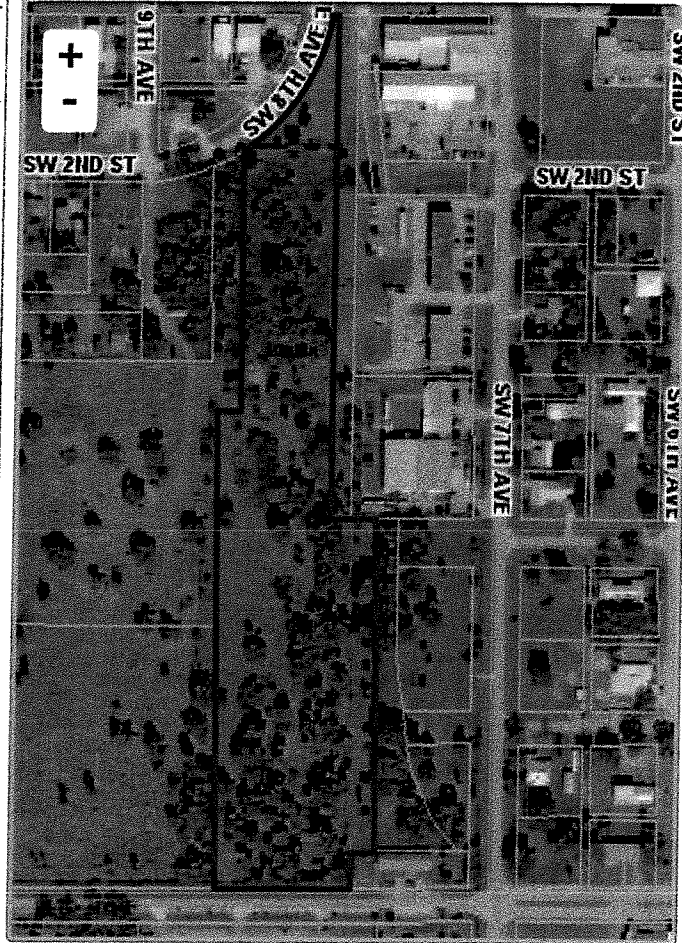
updated: 10/3/2019

Parcel: << **2-21-37-35-0A00-00006-C000** >>**Owner & Property Info**

Result: 1 of 1

Owner	HAVEN OF REST INC 32801 US HIGHWAY 441 N LOT 244 OKEECHOBEE, FL 349720296
Site	SW 2ND ST, OKEECHOBEE
Description*	THE EAST 10.24 ACRES OF THAT PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 500, PAGE 754, PUBLIC RECORDS OF OKEECHOBEE COUNTY, FLORIDA LYING NORTH OF SOUTHWEST 6TH STREET AND SOUTH OF SOUTH PARK STREET IN SECTION 21, TOWNSHIP 37 SOUTH, RANGE 35 EAST, OKEECHOBEE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE NORTH RIGHT-OF-WAY LINE OF SOUTHWEST 6TH STREET, SAID POINT BEING THE SOUTHWEST CORNER OF THAT PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 452, PAGE 1439; THENCE SOUTH 89°48'47" WEST, ALONG THE NORTH RIGHT-OF-WAY LINE OF SOUTHWEST 6TH STREET, A DISTANCE OF 285.13 FEET; THENCE NORTH 00°09'05" WEST, DEPARTING SAID NORTH LINE, ALONG A LINE PARALLEL TO THE WESTERLY RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD AS LOCATED ALONG THE EAST BOUNDARY OF THE PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 500, PAGE 754, TO THE INTERSECTION WITH A LINE AND THE EXTENSION THEREOF, 100.00 FEET SOUTH OF AND PARALLEL TO THE SOUTH BOUNDARY OF THE LAND DESCRIBED IN OFFICIAL RECORDS BOOK 293, PAGE 257, A DISTANCE OF 994.54 FEET; THENCE NORTH 89°49'33" EAST, ALONG A LINE PARALLEL TO THE SOUTH BOUNDARY LINE OF SAID PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 293, PAGE 257, TO THE INTERSECTION WITH A LINE LYING 70.0 FEET EAST OF AND PARALLEL TO THE EAST BOUNDARY LINE OF SAID PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 293, PAGE 257, A DISTANCE OF 49.69 FEET; THENCE NORTH 00°07'58" WEST, ALONG SAID LINE AND THE EXTENSION THEREOF LYING 70.0 FEET EAST OF THE EAST BOUNDARY OF THE PROPERTY DESCRIBED IN SAID OFFICIAL RECORDS BOOK 293, PAGE 257, A DISTANCE OF 537.64 FEET TO A POINT ON A NON-TANGENT CURVE AND THE SOUTH RIGHT-OF-WAY LINE OF SOUTHWEST 2ND STREET, THROUGH WHICH A RADIAL LINE BEARS NORTH 33°24'04" WEST, SAID CURVE BEING CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 414.09 FEET; THENCE NORTHEASTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 47°12'31", ALONG THE SOUTH RIGHT-OF-WAY LINE OF SOUTHWEST 2ND STREET TO THE INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF SOUTH PARK STREET, AN ARC DISTANCE OF 341.19 FEET; THENCE NORTH 89°49'33" EAST, ALONG THE SOUTH RIGHT-OF-WAY LINE OF SOUTH PARK STREET, A DISTANCE OF 23.95 FEET TO THE INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD RIGHT-OF-WAY; THENCE SOUTH 00°09'05" EAST, DEPARTING SAID SOUTH LINE, ALONG THE WEST RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD RIGHT-OF-WAY, A DISTANCE OF 1,040.16 FEET; THENCE NORTH 89°50'55" EAST, DEPARTING SAID WEST LINE, ALONG THE SOUTH RIGHT-OF-WAY LINE OF THE

Aerial Viewer Pictometry Google Maps

☒ 2019
 ☐ 2018
 ☐ 2017
 ☐ 2015
 ☐ 2014
 ☐ Sales


▼ **Extra Features & Out Buildings** (Codes)

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
AFA N4	MTL FLR MT	2015	\$289.00	70.000	10 x 7 x 0	PD (025.00)

▼ **Land Breakdown**

Land Code	Desc	Units	Adjustments	Eff Rate	Land Value
150AV1	FIRST AC (MKT)	1.000 AC	1.00/1.00 1.00/1.00	\$28,000	\$28,000
950AV1	REMAIN AC (MKT)	9.182 AC	1.00/1.00 1.00/0.93	\$11,160	\$102,471

Search Result: 1 of 1

© Okeechobee County Property Appraiser | Mickey L. Bandi | Okeechobee, Florida | 863-763-4422

by: GrizzlyLogic.com



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Detail By Document Number](#) /

Detail by Entity Name

Florida Not For Profit Corporation

HAVEN OF REST INC.

Filing Information

Document Number N11000001761

FEI/EIN Number 56-2447456

Date Filed 02/11/2011

State FL

Status ACTIVE

Principal Address

32801 N. 441, LOT 244
OKEECHOBEE, FL 34972

Mailing Address

32801 N. 441, LOT 244
OKEECHOBEE, FL 34972

Registered Agent Name & Address

VELIE, TOM
32801 N. 441, LOT 244
OKEECHOBEE, FL 34972

Officer/Director Detail

Name & Address

Title PP

VELIE, TOM
32801 N. 441, LOT 244
OKEECHOBEE, FL 34972

Title VP

VELIE, RACHEL
32801 N. 441, LOT 244
OKEECHOBEE, FL 34972

Title AT

VELIE, JOSHUA
32801 N. 441, LOT 244
OKEECHOBEE, FL 34972

Title T

GIBSON, TAMMY
715 NW 106 ST
OKEECHOBEE, FL 34972

Title S

HATFIELD, PAM
966 NE 361 CT.
OKEECHOBEE, FL 34972

Title AS

VELIE, GABRIELLE
32801 N. 441, LOT 244
OKEECHOBEE, FL 34972

Annual Reports

Report Year	Filed Date
2017	04/03/2017
2018	04/09/2018
2019	03/18/2019

Document Images

03/18/2019 -- ANNUAL REPORT	View image in PDF format
04/09/2018 -- ANNUAL REPORT	View image in PDF format
04/03/2017 -- ANNUAL REPORT	View image in PDF format
04/18/2016 -- ANNUAL REPORT	View image in PDF format
04/01/2015 -- ANNUAL REPORT	View image in PDF format
04/28/2014 -- ANNUAL REPORT	View image in PDF format
04/06/2013 -- ANNUAL REPORT	View image in PDF format
01/25/2012 -- ANNUAL REPORT	View image in PDF format
02/11/2011 -- Domestic Non-Profit	View image in PDF format

#21



FILE NUM 2019000974
OR BK 819 PG 346
SHARON ROBERTSON, CLERK & COMPTROLLER
OKEECHOBEE COUNTY, FLORIDA
RECORDED 01/30/2019 03:05:37 PM
AMT \$350,000.00
RECORDING FEES \$27.00
DEED DOC \$2,450.00
RECORDED BY A Harmon
Pgs 346 - 348; (3 pgs)

Parcel ID Number: 2-21-37-35-0A00-00006-C000

Sylvia E. Burk
Prepared by and Return to:
Okeechobee Title Company, Inc.
105 N. W. 6th Street
Okeechobee, Florida 34972

FILE NO. 36361

Warranty Deed

This Indenture, Executed this January 25, 2019 A.D. Between

OKEBOCO LLC, A FLORIDA LIMITED LIABILITY COMPANY,

whose address is 301 S NEW YORK AVENUE, STE 200, Winter Park, Florida 32789, hereinafter called the grantor, to

HAVEN OF REST INC. A FLORIDA NON-PROFIT CORPORATION,

whose post office address is: 32801 HWY 441 N, LOT 244, Okeechobee, Florida 34972, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Okeechobee County, Florida, viz:

LAND DESCRIBED ON ATTACHED EXHIBIT "A" ATTACHED

Parcel ID Number: 2-21-37-35-0A00-00006-C000

Subject to covenants, restrictions, easements of record and taxes for the current year.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2018.

DEED Okeechobee
Closers' Choice

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Jennifer Atwal
Witness Printed Name Jennifer Atwal

Shelley R Simpson
Witness Printed Name Shelley R Simpson

OKEBOCO LLC, A FLORIDA LIMITED LIABILITY COMPANY

BY: Robert P. Hold
ROBERT P. HOLD, MANAGING MEMBER
Address: 301 S NEW YORK AVENUE, STE 200, Winter Park,
Florida 32789

State of Florida
County of

The foregoing instrument was acknowledged before me this January 25, 2019, by ROBERT P. HOLD, MANAGING MEMBER OF OKEBOCO LLC, A FLORIDA LIMITED LIABILITY COMPANY, who is/are personally known to me or who has produced a drivers license as identification.

(SEAL)

Jennifer Allison Atwal
Notary Public
Print Name: Jennifer Allison Atwal
My Commission Expires 1/3/20



Jennifer Allison Atwal
NOTARY PUBLIC
STATE OF FLORIDA
Comm# FP830752
Expires 1/3/2020

DEED Okeechobee
Closers' Choice

Exhibit "A"

THE EAST 10.24 ACRES OF THAT PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 500, PAGE 754, PUBLIC RECORDS OF OKEECHOBEE COUNTY, FLORIDA LYING NORTH OF SOUTHWEST 6TH STREET AND SOUTH OF SOUTH PARK STREET IN SECTION 21, TOWNSHIP 37 SOUTH, RANGE 35 EAST, OKEECHOBEE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTH RIGHT-OF-WAY LINE OF SOUTHWEST 6TH STREET, SAID POINT BEING THE SOUTHWEST CORNER OF THAT PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 452, PAGE 1439; THENCE SOUTH 89°48'47" WEST, ALONG THE NORTH RIGHT-OF-WAY LINE OF SOUTHWEST 6TH STREET, A DISTANCE OF 285.13 FEET; THENCE NORTH 00°09'05" WEST, DEPARTING SAID NORTH LINE, ALONG A LINE PARALLEL TO THE WESTERLY RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD AS LOCATED ALONG THE EAST BOUNDARY OF THE PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 500, PAGE 754, TO THE INTERSECTION WITH A LINE AND THE EXTENSION THEREOF, 100.00 FEET SOUTH OF AND PARALLEL TO THE SOUTH BOUNDARY OF THE LAND DESCRIBED IN OFFICIAL RECORDS BOOK 293, PAGE 257, A DISTANCE OF 994.54 FEET; THENCE NORTH 89°49'33" EAST, ALONG A LINE PARALLEL TO THE SOUTH BOUNDARY LINE OF SAID PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 293, PAGE 257, TO THE INTERSECTION WITH A LINE LYING 70.0 FEET EAST OF AND PARALLEL TO THE EAST BOUNDARY LINE OF SAID PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 293, PAGE 257, A DISTANCE OF 49.69 FEET; THENCE NORTH 00°07'58" WEST, ALONG SAID LINE AND THE EXTENSION THEREOF LYING 70.0 FEET EAST OF THE EAST BOUNDARY OF THE PROPERTY DESCRIBED IN SAID OFFICIAL RECORDS BOOK 293, PAGE 257, A DISTANCE OF 537.64 FEET TO A POINT ON A NON-TANGENT CURVE AND THE SOUTH RIGHT-OF-WAY LINE OF SOUTHWEST 2ND STREET, THROUGH WHICH A RADIAL LINE BEARS NORTH 33°24'04" WEST, SAID CURVE BEING CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 414.09 FEET; THENCE NORTHEASTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 47°12'31", ALONG THE SOUTH RIGHT-OF-WAY LINE OF SOUTHWEST 2ND STREET TO THE INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF SOUTH PARK STREET, AN ARC DISTANCE OF 341.19 FEET; THENCE NORTH 89°49'33" EAST, ALONG THE SOUTH RIGHT-OF-WAY LINE OF SOUTH PARK STREET, A DISTANCE OF 23.95 FEET TO THE INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD RIGHT-OF-WAY; THENCE SOUTH 00°09'05" EAST, DEPARTING SAID SOUTH LINE, ALONG THE WEST RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD RIGHT-OF-WAY, A DISTANCE OF 1,040.16 FEET; THENCE NORTH 89°50'55" EAST, DEPARTING SAID WEST LINE, ALONG THE SOUTH RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RIGHT-OF-WAY AND THE SOUTH LINE OF THE PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 463, PAGE 1488, A DISTANCE OF 80.00 FEET TO THE NORTHWEST CORNER OF THE PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 316, PAGE 1436; THENCE SOUTH 00°09'05" EAST, DEPARTING SAID SOUTH LINE, ALONG THE WEST LINE OF THE THE PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 316, PAGE 1436, A DISTANCE OF 693.33 FEET TO THE NORTH LINE OF THAT PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 452, PAGE 1439; THENCE SOUTH 89°48'47" WEST, DEPARTING SAID WEST LINE, ALONG SAID NORTH LINE, A DISTANCE OF 50.00 FEET TO THE NORTHWEST CORNER OF THE PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 452, PAGE 1439; THENCE SOUTH 00°09'05" EAST, ALONG THE WEST LINE OF SAID PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 452, PAGE 1439, A DISTANCE OF 76.17 FEET TO A POINT ON SAID NORTH RIGHT-OF-WAY LINE OF SOUTHWEST 6TH STREET AND THE POINT OF BEGINNING (CS&HM01'2019)

File Number: 36361

Legal Description with Non Homestead
Closer's Choice

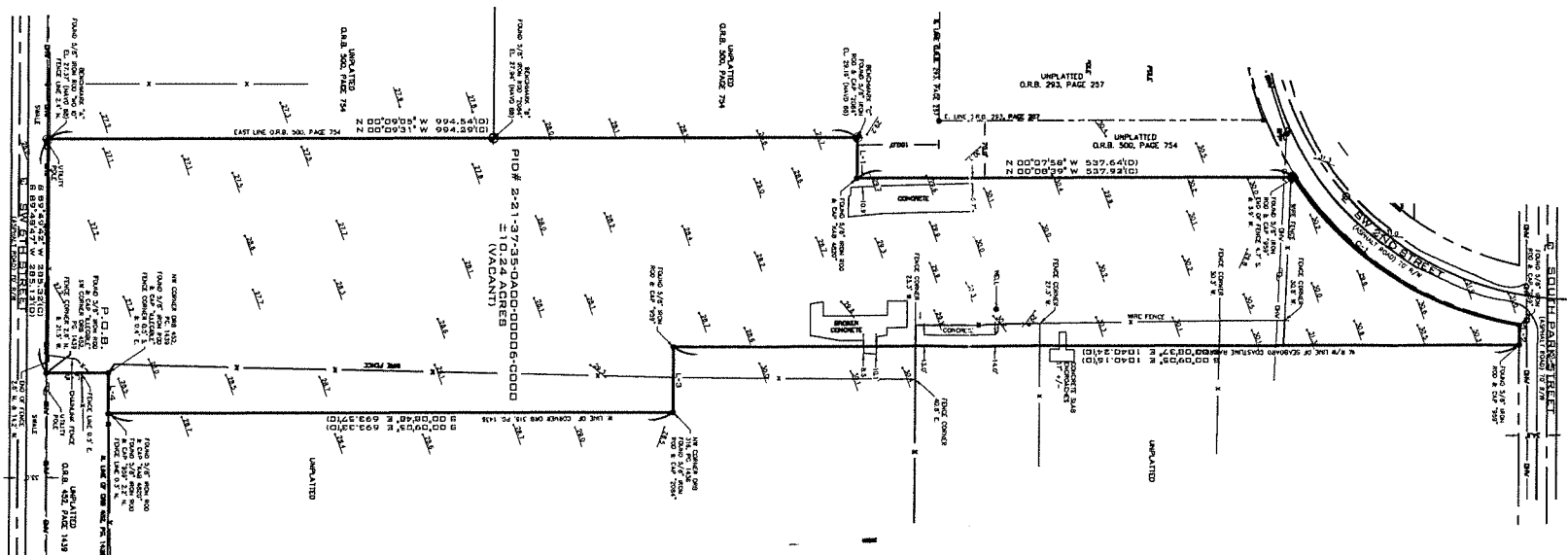
BEGINNING AT A CORNER OF THE NORTH RIGHT-OF-WAY LINE OF SOUTHWEST 6TH STREET, EAST POINT BEING THE SOUTHWEST CORNER OF THAT PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 452, PAGE 139, THENCE SOUTH 89°49.4' WEST, ALONG THE NORTH RIGHT-OF-WAY LINE OF SOUTHWEST 6TH STREET, A DISTANCE OF 285.13 FEET; THENCE NORTH 07°09.5' WEST, DEPARTING SAID NORTH LINE, ALONG A LINE PARALLEL TO THE WESTERLY RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD AS LOCATED ALONG THE EAST BOUNDARY OF THE PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK PAGE 754, TO THE INTERSECTION WITH A LINE AND THE EXTENSION OF SAID PARCEL OF LAND, AND PARALLEL TO THE SOUTH BOUNDARY OF THE LAND DESCRIBED IN OFFICIAL RECORDS BOOK 32, PAGE 25, A DISTANCE OF 693.53 FEET; THENCE NORTH 89°49.3' EAST, ALONG A LINE PARALLEL TO THE SOUTH BOUNDARY OF SAID PARCEL OF LAND, A DISTANCE OF 251.76 FEET; THENCE SOUTH 89°50.3' WEST, DEPARTING SAID SOUTH LINE, ALONG THE WESTERLY RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD, A DISTANCE OF 49.69 FEET; THENCE NORTH 10°28.8' EAST, ALONG SAID LINE AND THE EXTENSION THEREOF, LIVING TO 0.00 FEET EAST OF THE EAST BOUNDARY OF THE PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 283, PAGE 251, A DISTANCE OF 49.69 FEET; THENCE NORTH 10°28.8' EAST, ALONG SAID LINE AND THE EXTENSION THEREOF, LIVING TO 0.00 FEET EAST OF THE EAST BOUNDARY OF THE PROPERTY DESCRIBED IN SAID OFFICIAL RECORDS BOOK 293, PAGE 251, A DISTANCE OF 537.64 FEET TO A POINT ON A NON-ANGULAR CURVE AND THE SOUTH CURVE BEING CONVEX TO THE SOUTHWEST AND STREET, THROUGH WHICH A RAILROAD LINE BEARS NORTH 33°24.9' WEST, SAID CURVE BEING CONVEX TO THE NORTHEAST, HAVING A RADIUS OF 414.09 FEET; THENCE NORTH-EASTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 47°12.3', ALONG THE SOUTH RIGHT-OF-WAY LINE OF SOUTHWEST 2ND STREET TO THE INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF SOUTH PARK STREET, AN ARC DISTANCE OF 341.19 FEET; THENCE NORTH 89°49.3' EAST, ALONG THE SOUTH RIGHT-OF-WAY LINE OF SOUTH PARK STREET, A DISTANCE OF 23.55 FEET TO THE INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD RIGHT-OF-WAY LINE OF SOUTHWEST 6TH STREET, A DISTANCE OF 23.55 FEET; THENCE SOUTH 07°09.5' EAST, ALONG THE WEST RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD, A DISTANCE OF 693.53 FEET; DEPARTING SAID WEST LINE, ALONG THE SOUTH RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD, A DISTANCE OF 49.69 FEET; THENCE NORTH 10°28.8' EAST, ALONG THE WEST RIGHT-OF-WAY AND THE SOUTH LINE OF THE PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 316, PAGE 1436, A DISTANCE OF 60.00 FEET TO THE NORTHEAST CORNER OF THE PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 316, PAGE 1436, THENCE SOUTH 07°09.5' EAST, DEPARTING SAID SOUTH LINE, ALONG THE WEST LINE OF THE PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 316, PAGE 1436, A DISTANCE OF 60.00 FEET TO THE NORTHEAST CORNER OF THE PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 316, PAGE 1436, THENCE SOUTH 07°09.5' EAST, DEPARTING SAID SOUTH LINE, ALONG THE WEST LINE OF THE PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 452, PAGE 1439, THENCE SOUTH 07°09.5' EAST, ALONG THE WEST LINE OF SAID PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 452, PAGE 1439, A DISTANCE OF 76.17 FEET TO A POINT ON SAID NORTH RIGHT-OF-WAY LINE OF SOUTHWEST 6TH STREET AND THE POINT OF BEGINNING.

PROJECT SPECIFIC NOTES:


- 1) UNLESS SHOWN OTHERWISE, ALL DIMENSIONS ARE DEED(7) AND MEASURED(M).
- 2) SITE ADDRESS: SW 2ND STREET.
- 3) PARCEL ID: 2-21-37-35-0400-00008-C004.
- 4) F.I.R.M. ZONE: "X" MAP NO. 12093C04008, DATED 7-16-15.
- 5) THIS SURVEY IS NOT INTENDED TO DEDUCT JURISDICTIONAL AREAS OR OTHER AREAS OF LOCAL CONCERN.
- 6) SURVEYOR WAS NOT PROVIDED WITH ANY TITLE INFORMATION FOR THIS PARCEL. SURVEYOR ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THE ACCURACY OF EASEMENT DIMENSIONS SHOWN HEREIN. THERE MAY BE OTHER EASEMENTS NOT SHOWN ON THIS SURVEY.
- 7) THE SURVEY DEPICTED HERE IS NOT COVERED BY A PROFESSIONAL LIABILITY INSURANCE. ADDITIONS OR DELETIONS TO THIS SURVEY OR RECORDS BY OTHER THAN THE SIGNED PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNED PARTY OR PARTIES.
- 8) THE ELEVATIONS SHOWN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
- 9) BEARING BASE: THE NORTH RIGHT-OF-WAY OF SW 6TH STREET IS TAKEN TO BEAR S 89°46'42" W.
- 10) DATE OF LAST FIELD SURVEY: 04/25/19.

LINE TABLE		CLIQUE TABLE	
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REDUCED
SCALE NOT VALID



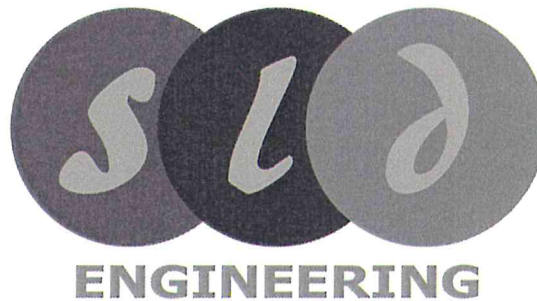
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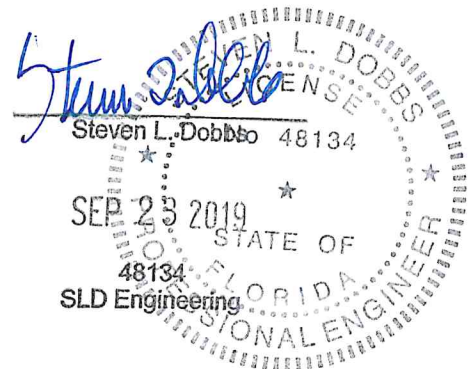
TRADEWINDS SURVEYING SERVICES, LLC
 200 S.W. 3rd Avenue
 Okeechobee, FL 34974
 Tel: (888) 763-2887
 Fax: (888) 783-4342
 Email: kab.twp@yahoo.com

Engineer's Report
Haven of Rest Church
City of Okeechobee, Florida

Prepared September 2019



By: Steven L. Dobbs, P.E. # 48134
Steven L. Dobbs Engineering, LLC
Florida Certificate of Authorization No. 29206
1062 Jakes Way
Okeechobee, FL 34974



Purpose: The purpose of this report is to provide the City of Okeechobee County and the SFWMD with the calculations and documentation to demonstrate that the revised surface water management system for the proposed project complies with applicable state and local water resource requirements.

Project Description: This parcel is 10.18 acres in size and is located in Section 21, Township 37 South, Range 35 East. It is located in the City of Okeechobee, on the north side of SW 6th Street, 0.5 miles west of 441S, on the following parcels (Parcel ID 2-21-37-35-0A00-00006-C000). The site is currently undeveloped and is used as an agricultural property. The site is mostly flat with a minor slope to the south where the water sheet flows into the City ditch on the north side of SW 6th Street. SW 6th Street flows east to SW 7th Avenue ditch that flow to the south to S-133 and into Lake Okeechobee.

Proposed Use: This construction authorization request is to construct a 10,500 sf sanctuary facility with seating for 450 people and class rooms with associated parking and stormwater treatment. Other buildings are shown on the site plan for construction later. The storm water system will be sized to supply water quality and water attenuation for the project.

Potable water will be provided by Okeechobee Utility Authority (OUA). Sanitary sewer will be served by a septic tank permit from the health department.

Drainage Considerations: To attenuate the runoff generated by the proposed improvements and to meet water quality requirements, all drainage will be routed through a wet detention area. The wet detention area will be controlled at elevation 26.5 NAVD '88 which is above the bottom of the existing ditches to the south. This is the same control elevation for the proposed project to the west. This project will discharge as discussed above. Additionally, a perimeter berm will be constructed at an elevation to contain the 25-year, 3-day storm event on the site, around the perimeter of the project.

The Soils Map for Okeechobee County indicates that this parcel's soils are made up of Immokalee Fine Sand and Myakka Fine Sand, which are both very poorly drained "D soil" in the natural state and high infiltration rate "A soil" to moderate infiltration rate "B soil" in the developed state.

The site is located in the S-133 Basin. The proposed outfall for the project will be on the southwest side of the wet detention area into the north side of SW 6th Street ditch. This ditch flows east through the City ditch system that discharges into S-133 canal, which discharges directly into Lake Okeechobee.

The allowable discharge for the S-133 Basin is 15.6 csm (cfs /sq. mile) for the 25 year 3 day event:

$$\begin{aligned} Q &= 15.6 \text{ csm} / 640 \text{ acres/sq. mile} \times \text{Project Area} \\ Q &= 15.6 \text{ csm} / 640 \text{ acres/sq. mile} \times 10.1 \text{ acres} = 0.24 \text{ cfs} \end{aligned}$$

A. Water Quality

Water quality treatment is provided in the form of wet detention for the project.

Since the proposed water quality system is wet detention, the volume required is 100% of the calculated volume, however since this project discharge into an impaired water basin and with a presumption of compliance with nutrient control by adding an additional 50% to the water quality volume for a total water quality volume is **0.89 acre-feet**.

Based on the attached stage storage spreadsheet, the water quality volume (0.89 acre-feet) is met at elevation 28.39 NAVD '88 for the project. The total water quality volume provided by the project is 10.3 acre-feet at 30.7 NAVD '88.

B. Water Quantity

This project is located in the S-133 Basin which discharges ultimately into Lake Okeechobee. The allowable peak discharge rate in this basin is 15.6 csm. The allowable peak discharge rate for this project, based on the

25-year, 72-hour storm event was calculated to be 0.24 cfs. The actual maximum discharge rate for the 25-year, 72-hour storm event was calculated to be 0.437 cfs, however the system is discharging through a minimum 3" diameter bleeder. To demonstrate conformance to this criterion, the proposed project was flood-routed using AdICPR.

The 10-year, 24 hour storm (5.0") w/ discharge, 25 year, 72 hour storm (9.0") w/ discharge, and the 100 year, 72 hour storm (10.0") w/o discharge, were evaluated based on the proposed plan. Please refer to the attached AdICPR flood routing input/output parameters.

A summary of the flood routings is provided as follows:

	<u>10 Year, 24 Hr. Storm</u> <u>(5.0")</u>		<u>25 Year, 72 hr. Storm</u> <u>(7.0")</u>		<u>100 Year, 72 Hr. Storm</u> <u>(10.0")</u>
	Peak Stage (ft-NAVD '88)	Peak Rate (cfs)	Peak Stage (ft-NAVD '88)	Peak Rate (cfs)	Peak Stage (ft-NAVD '88))
Onsite	29.13	0.374	30.23	0.437	30.56

Off-Site Drainage: There is no apparent offsite drainage that flows into this site.

Nutrient Analysis: As previously stated, the project proposes to provide 150% of the required water quality treatment volume in the Wet Detention system in order to meet the nutrient removal requirements. In addition, a nutrient analysis was completed using BMP Trains Model version 8.6, the results for the project indicate the treatment objectives are met.

Flood Plain Analysis: According to FEMA Map 12093C0480C, this project is in Flood Zone X, which indicates a 0.2% Annual Chance of Flood Hazard.

Construction Recommendations: Runoff and/or any water generated by short-term dewatering during construction will be contained on-site. However, there is some potential for transport of sediment to off-site areas should heavy rainfall occur. In order to reduce the potential of any off-site transport of sediment or turbidity we recommend installation and maintenance of temporary silt fence around the proposed construction and upstream of the existing control structure until site work has been completed and the site has been stabilized.

Conclusions: In my professional opinion, the proposed construction should have no impact to existing drainage patterns off-site and should have no impact on off-site areas. The recommendations above should be followed during and after the site work until such time as the ground surface has been adequately stabilized to prevent the off-site transport of any soil or suspended solids. The proposed design and construction will comply with applicable state and local requirements.

Soil Map—Okeechobee County, Florida



Soil Map may not be valid at this scale.

Map Scale: 1:3,320 if printed on A portrait (8.5" x 11") sheet.

0 45 90 180 270 Meters

0 150 300 600 900 Feet

Map projection: Web Mercator Corner coordinates: WGS84 Edge ticks: UTM Zone 17N WGS84



**Natural Resources
Conservation Service**

Web Soil Survey
National Cooperative Soil Survey

8/13/2019
Page 1 of 3

MAP LEGEND

Area of Interest (AOI)	Soils	Water Features	Transportation	Background
Area of Interest (AOI)	Soil Map Unit Polygons	Blowout	Rails	Aerial Photography
	Soil Map Unit Lines	Borrow Pit	Interstate Highways	
	Soil Map Unit Points	Clay Spot	US Routes	
		Closed Depression	Major Roads	
		Gravel Pit	Local Roads	
		Gravelly Spot		
		Landfill		
		Lava Flow		
		Marsh or swamp		
		Mine or Quarry		
		Miscellaneous Water		
		Perennial Water		
		Rock Outcrop		
		Saline Spot		
		Sandy Spot		
		Severely Eroded Spot		
		Sinkhole		
		Slide or Slip		
		Sodic Spot		

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL:
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Okeechobee County, Florida
Survey Area Data: Version 15, Sep 17, 2018

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Mar 20, 2015—Mar 21, 2015

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
11	Immokalee fine sand, 0 to 2 percent slopes	6.9	57.3%
14	Myakka fine sand, 0 to 2 percent slopes	5.1	42.7%
Totals for Area of Interest		12.0	100.0%

Hydrologic Soil Group—Okeechobee County, Florida



Soil Map may not be valid at this scale.

Map Scale: 1:3,320 if printed on A portrait (8.5" x 11") sheet.

0 45 90 180 270 Meters

0 150 300 600 900 Feet

Map projection: Web Mercator Corner coordinates: WGS84 Edge ticks: UTM Zone 17N WGS84

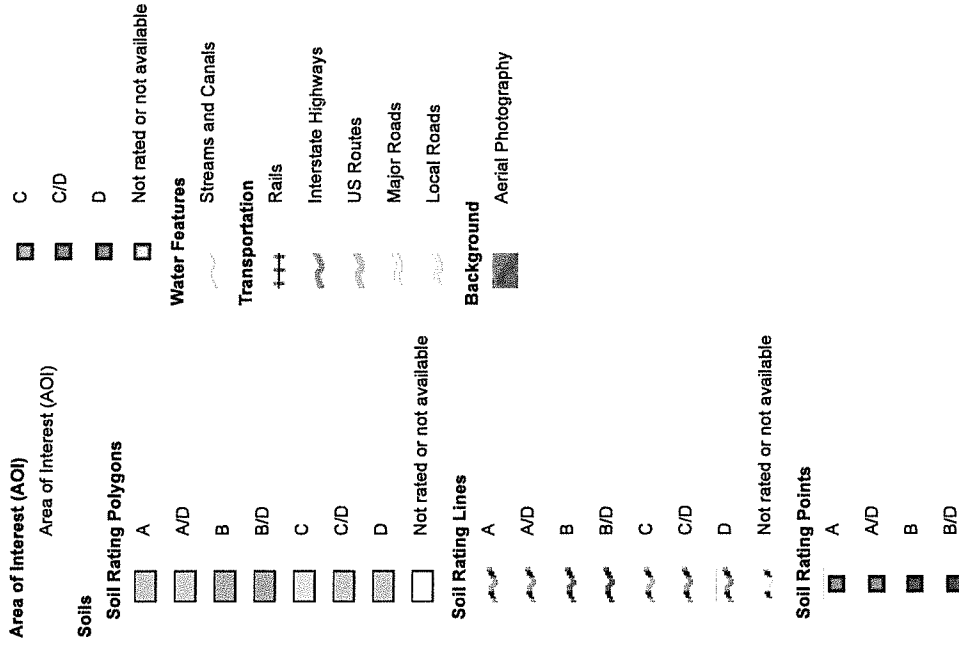


**Natural Resources
Conservation Service**

Web Soil Survey
National Cooperative Soil Survey

8/13/2019
Page 1 of 4

MAP LEGEND



MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Okeechobee County, Florida

Survey Area Data: Version 15, Sep 17, 2018

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Mar 20, 2015—Mar 21, 2015

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
11	Immokalee fine sand, 0 to 2 percent slopes	B/D	6.9	57.3%
14	Myakka fine sand, 0 to 2 percent slopes	A/D	5.1	42.7%
Totals for Area of Interest			12.0	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

Rating Options

Aggregation Method: Dominant Condition

Component Percent Cutoff: None Specified

Tie-break Rule: Higher



August 13, 2019

Wetlands

- | | | | | | |
|---|--------------------------------|---|-----------------------------------|---|----------|
|  | Estuarine and Marine Deepwater |  | Freshwater Emergent Wetland |  | Lake |
|  | Estuarine and Marine Wetland |  | Freshwater Forested/Shrub Wetland |  | Other |
| | |  | Freshwater Pond |  | Riverine |

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

National Flood Hazard Layer FIRMette



27°14'37.15"N



USGS The National Map, Orthoimagery, Data refreshed April, 2019

27°14'5.14"N

Feet 1:6,000

0 250 500 1,000 1,500 2,000

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS	Without Base Flood Elevation (BFE) Zone AE, V, A99	With BFE or Depth Zone AE, AO, AH, VE, AR	Regulatory Floodway

0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X

Future Conditions 1% Annual Chance Flood Hazard Zone X

Area with Reduced Flood Risk due to Levee. See Notes, Zone X

Area with Flood Risk due to Levee Zone D

Area of Minimal Flood Hazard Zone X
Effective LOMRS

Area of Undetermined Flood Hazard Zone D

Channel, Culvert, or Storm Sewer
Levee, Dike, or Floodwall

Cross Sections with 1% Annual Chance

Water Surface Elevation

Coastal Transect

Base Flood Elevation Line (BFE)

Limit of Study

Jurisdiction Boundary

Coastal Transect Baseline

Profile Baseline

Hydrographic Feature

Digital Data Available

No Digital Data Available

Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 8/13/2019 at 3:41:48 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

Basin Information For:

Haven of Rest Church

Total Basin Area	=	9.50 ac
Wetland	=	0.00 ac
Floodplain Compensation	=	0.00 ac
Total Basin Area (water quality)	=	9.50 ac
Impervious Area	=	
Roofline/Bldg.	=	0.96 ac
Wetland Buffer	=	0.00 ac
Roads	=	0.00 ac
Lot Pavement/Sidewalk	=	1.00 ac
Total Impervious Area	=	1.96 ac
Pervious Area	=	
Wet Detention	=	1.30 ac
Green	=	6.24 ac
Total Pervious Area	=	7.54 ac
Percent Impervious	=	20.7%
Adjusted Soil Storage	=	1.90 in
Calculated SCS Curve Number	=	7%
Time of Concentration	=	10.00 min

Water Quality Calculation

1" x Total Area	=	0.79 ac-ft
Runoff from 2.5"x % net Impervious - SFWMD criteria	=	0.23 ac-ft
Required Water Quality Volume	=	0.79 ac-ft
Dry Detention Multiplier	=	1.13
Adjusted Required Water Quality Volume	=	1.5*0.75 ac-ft
0.5 Water quality stage (0.4453125 ac-ft)	=	27.96 R-NAVD
Water Quality Stage	=	28.39 R-NAVD

Stage Storage Calculations for Basin Haven of Rest Church

Land use Category	Storage Type	Area (ac.)	From Elev.	To Elev.	26.50	27.00	27.50	28.00	28.50	29.00	29.50	30.00	30.50	31.00	31.50
Wet Detention	Vertical	0.95	27.50		0.00	0.00	0.00	0.00	0.47	0.95	1.42	1.90	2.37	2.85	3.32
Wet Detention Banks	Linear	0.26	27.50	30.00	0.00	0.00	0.00	0.01	0.05	0.12	0.21	0.33	0.46	0.59	0.72
Building	Vertical	0.96	34.00		0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Pavement	Linear	1.00	30.50	31.50	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.13	0.50
Green	Linear	6.24	30.00	30.50	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	1.56	4.68	7.79
Total:	Total:	9.41		Totals:	0.00	0.00	0.00	0.49	1.00	1.54	2.11	2.70	4.86	8.71	12.81

Haven of Rest, Church Facility, City of Okeechobee, FL
Input Report for AdICPR Model

Basins

Name: Onsite Node: Onsite Status: Onsite
Group: BASE Type: SCS Unit Hydrograph CN

Unit Hydrograph: Uh256 Peaking Factor: 256.0
Rainfall File: Storm Duration(hrs): 0.00
Rainfall Amount(in): 0.000 Time of Conc(min): 10.00
Area(ac): 9.500 Time Shift(hrs): 0.00
Curve Number: 76.00 Max Allowable Q(cfs): 999999.000
DCIA(%): 0.00

Nodes

Name: Offsite Base Flow(cfs): 0.000 Init Stage(ft): 25.500
Group: BASE Warn Stage(ft): 27.500
Type: Time/Stage

Time(hrs)	Stage(ft)
0.00	25.500
72.00	27.000
125.00	25.500
500.00	25.500

Name: Onsite Base Flow(cfs): 0.000 Init Stage(ft): 26.500
Group: BASE Warn Stage(ft): 30.000
Type: Stage/Volume

Stage(ft)	Volume(af)
26.500	0.0000
28.000	0.4900
28.500	1.0000
29.000	1.5400
29.500	2.1100
30.000	2.7000
30.500	4.8600
31.000	8.7100
31.500	12.8100

Drop Structures

Name: CS-1 From Node: Onsite Length(ft): 100.00
Group: BASE To Node: Offsite Count: 1

UPSTREAM	DOWNSTREAM	Friction Equation: Average Conveyance
Geometry: Circular	Circular	Solution Algorithm: Automatic
Span(in): 18.00	18.00	Flow: None
Rise(in): 18.00	18.00	Entrance Loss Coef: 0.500
Invert(ft): 25.500	25.500	Exit Loss Coef: 0.900
Manning's N: 0.025000	0.025000	Outlet Ctrl Spec: Use dc or tw
Top Clip(in): 0.000	0.000	Inlet Ctrl Spec: Use dn
Bot Clip(in): 0.000	0.000	Solution Incs: 10

Upstream FHWA Inlet Edge Description:
Circular Concrete: Square edge w/ headwall

Downstream FHWA Inlet Edge Description:
Circular Concrete: Square edge w/ headwall

*** Weir 1 of 2 for Drop Structure CS-1 ***

Count: 1	Bottom Clip(in): 0.000
Type: Horizontal	Top Clip(in): 0.000
Flow: Both	Weir Disc Coef: 3.200
Geometry: Rectangular	Orifice Disc Coef: 0.600
Span(in): 36.00	Invert(ft): 30.250
Rise(in): 54.00	Control Elev(ft): 30.250

TABLE

*** Weir 2 of 2 for Drop Structure CS-1 ***

TABLE

Count: 1
Type: Vertical: Mavis
Flow: Both
Geometry: Circular
Span(in): 3.00
Rise(in): 3.00
Bottom Clip(in): 0.000
Top Clip(in): 0.000
Weir Disc Coef: 3.200
Orifice Disc Coef: 0.600
Invert(ft): 26.500
Control Elev(ft): 26.500

===== Weirs =====

Name:
Group: BASE
Flow: Both
Type: Horizontal
From Node:
To Node:
Count: 1
Geometry: Circular

Span(in): 0.00
Rise(in): 0.00
Invert(ft): 0.000
Control Elevation(ft): 0.000

TABLE

Bottom Clip(in): 0.000
Top Clip(in): 0.000
Weir Discharge Coef: 3.200
Orifice Discharge Coef: 0.600

===== Hydrology Simulations =====

Name: 100YR3D
Filename: F:\2018-022 Haven of Rest Church\04-Calcs\2018-022 ICPR\sims\100YR3D.R32

Override Defaults: Yes
Storm Duration(hrs): 72.00
Rainfall File: Sfwmd72
Rainfall Amount(in): 10.00

Time(hrs)	Print Inc(min)
50.000	10.00
100.000	5.00

Name: 10YR1D
Filename: F:\2018-022 Haven of Rest Church\04-Calcs\2018-022 ICPR\sims\10YR1D.R32

Override Defaults: Yes
Storm Duration(hrs): 24.00
Rainfall File: Flmod
Rainfall Amount(in): 5.00

Time(hrs)	Print Inc(min)
10.000	10.00
24.000	5.00
100.000	10.00

Name: 10YR3D
Filename: F:\2018-022 Haven of Rest Church\04-Calcs\2018-022 ICPR\sims\10YR3D.R32

Override Defaults: Yes
Storm Duration(hrs): 72.00
Rainfall File: Sfwmd72
Rainfall Amount(in): 7.00

Time(hrs)	Print Inc(min)
50.000	10.00
100.000	5.00
400.000	10.00

Name: 25YR3D
Filename: F:\2018-022 Haven of Rest Church\04-Calcs\2018-022 ICPR\sims\25YR3D.R32

Override Defaults: Yes
Storm Duration(hrs): 72.00
Rainfall File: Sfwmd72
Rainfall Amount(in): 9.00

Time(hrs)	Print Inc(min)
-----------	----------------

50.000 10.00
100.000 5.00
400.000 10.00

=====
===== Routing Simulations =====
=====

Name: 100YR3D Hydrology Sim: 100YR3D
Filename: F:\2018-022 Haven of Rest Church\04-Calcs\2018-022 ICPR\sims\100YR3D.I32

Execute: Yes Restart: No Patch: No
Alternative: No

Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 100.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Inc(min)

50.000 15.000
100.000 5.000

Group Run

BASE Yes

Name: 10YR1D Hydrology Sim: 10YR1D
Filename: F:\2018-022 Haven of Rest Church\04-Calcs\2018-022 ICPR\sims\10YR1D.I32

Execute: No Restart: No Patch: No
Alternative: No

Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 100.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Inc(min)

10.000 15.000
24.000 5.000
100.000 15.000

Group Run

BASE Yes

Name: 10YR3D Hydrology Sim: 10YR3D
Filename: F:\2018-022 Haven of Rest Church\04-Calcs\2018-022 ICPR\sims\10YR3D.I32

Execute: No Restart: No Patch: No
Alternative: No

Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 400.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Inc(min)

50.000 15.000
100.000 5.000
400.000 10.000

Group Run

BASE Yes

Name: 25YR3D Hydrology Sim: 25YR3D
Filename: F:\2018-022 Haven of Rest Church\04-Calcs\2018-022 ICPR\sims\25YR3D.I32

Haven of Rest, Church Facility, City of Okeechobee, FL
Input Report for AdICPR Model

Execute: No	Restart: No	Patch: No
Alternative: No		
Max Delta Z(ft): 1.00		Delta Z Factor: 0.00500
Time Step Optimizer: 10.000		
Start Time(hrs): 0.000		End Time(hrs): 400.00
Min Calc Time(sec): 0.5000		Max Calc Time(sec): 60.0000
Boundary Stages:		Boundary Flows:

Time(hrs)	Print Inc(min)
50.000	15.000
100.000	5.000
400.000	10.000

Group	Run
-----	-----
BASE	Yes

Name: WQ Hydrology Sim:
Filename: F:\2018-022 Haven of Rest Church\04-Calcs\2018-022 ICPR\sims\WQ.I32

Execute: No	Restart: No	Patch: No
Alternative: No		
Max Delta Z(ft): 1.00		Delta Z Factor: 0.00500
Time Step Optimizer: 10.000		
Start Time(hrs): 0.000		End Time(hrs): 24.00
Min Calc Time(sec): 0.5000		Max Calc Time(sec): 60.0000
Boundary Stages:		Boundary Flows:

Time(hrs)	Print Inc(min)
999.000	15.000

Group	Run
-----	-----
BASE	Yes

Haven of Rest, Church Facility, City of Okeechobee, FL
Basin Summary Report for AdICPR Model

Basin Name: Onsite
Group Name: BASE
Simulation: 100YR3D
Node Name: Onsite
Basin Type: SCS Unit Hydrograph

Unit Hydrograph: Uh256
Peaking Fator: 256.0
Spec Time Inc (min): 1.33
Comp Time Inc (min): 1.33
Rainfall File: Sfwmd72
Rainfall Amount (in): 10.000
Storm Duration (hrs): 72.00
Status: Onsite
Time of Conc (min): 10.00
Time Shift (hrs): 0.00
Area (ac): 9.500
Vol of Unit Hyd (in): 1.000
Curve Number: 76.000
DCIA (%): 0.000

Time Max (hrs): 60.02
Flow Max (cfs): 36.959
Runoff Volume (in): 7.004
Runoff Volume (ft3): 241538.767

Basin Name: Onsite
Group Name: BASE
Simulation: 10YR1D
Node Name: Onsite
Basin Type: SCS Unit Hydrograph

Unit Hydrograph: Uh256
Peaking Fator: 256.0
Spec Time Inc (min): 1.33
Comp Time Inc (min): 1.33
Rainfall File: Flmod
Rainfall Amount (in): 5.000
Storm Duration (hrs): 24.00
Status: Onsite
Time of Conc (min): 10.00
Time Shift (hrs): 0.00
Area (ac): 9.500
Vol of Unit Hyd (in): 1.000
Curve Number: 76.000
DCIA (%): 0.000

Time Max (hrs): 12.04
Flow Max (cfs): 16.940
Runoff Volume (in): 2.535
Runoff Volume (ft3): 87407.550

Basin Name: Onsite
Group Name: BASE
Simulation: 10YR3D
Node Name: Onsite
Basin Type: SCS Unit Hydrograph

Unit Hydrograph: Uh256
Peaking Fator: 256.0
Spec Time Inc (min): 1.33
Comp Time Inc (min): 1.33
Rainfall File: Sfwmd72
Rainfall Amount (in): 7.000
Storm Duration (hrs): 72.00
Status: Onsite
Time of Conc (min): 10.00
Time Shift (hrs): 0.00
Area (ac): 9.500
Vol of Unit Hyd (in): 1.000
Curve Number: 76.000
DCIA (%): 0.000

Time Max (hrs): 60.02
Flow Max (cfs): 23.594
Runoff Volume (in): 4.256
Runoff Volume (ft3): 146762.495

Basin Name: Onsite

Raven of Rest, Church Facility, City of Okeechobee, FL
Basin Summary Report for AdICPR Model

Group Name: BASE
Simulation: 25YR3D
Node Name: Onsite
Basin Type: SCS Unit Hydrograph

Unit Hydrograph: Uh256
Peaking Fator: 256.0
Spec Time Inc (min): 1.33
Comp Time Inc (min): 1.33
Rainfall File: Sfwmd72
Rainfall Amount (in): 9.000
Storm Duration (hrs): 72.00
Status: Onsite
Time of Conc (min): 10.00
Time Shift (hrs): 0.00
Area (ac): 9.500
Vol of Unit Hyd (in): 1.000
Curve Number: 76.000
DCIA (%): 0.000

Time Max (hrs): 60.02
Flow Max (cfs): 32.509
Runoff Volume (in): 6.074
Runoff Volume (ft3): 209446.785

Name	Group	Simulation	Max Time Stage hrs	Max Stage ft	Warning Stage ft	Max Delta Stage ft	Max Surf Area ft2	Max Time Inflow hrs	Max Inflow cfs	Max Time Outflow hrs	Max Outflow cfs
Offsite	BASE	100YR3D	72.00	27.000	27.500	-0.0005	0	0.00	0.000	0.00	0.000
Onsite	BASE	100YR3D	73.00	30.558	30.000	0.0050	271529	60.00	36.771	0.00	0.000
Offsite	BASE	10YR1D	71.99	27.000	27.500	-0.0005	0	24.02	0.374	0.00	0.000
Onsite	BASE	10YR1D	24.02	29.131	30.000	0.0050	48923	12.08	16.553	24.02	0.374
Offsite	BASE	10YR3D	72.00	27.000	27.500	-0.0005	0	85.25	0.401	0.00	0.000
Onsite	BASE	10YR3D	72.12	29.821	30.000	0.0050	95037	60.00	23.458	85.25	0.401
Offsite	BASE	25YR3D	71.99	27.000	27.500	-0.0005	0	90.94	0.437	0.00	0.000
Onsite	BASE	25YR3D	72.16	30.230	30.000	0.0050	185224	60.00	32.345	90.94	0.437

Haven of Rest, Church Facility, City of Okesechobee, FL
Link Maximum Report for AdICPR Model

Name	Group	Simulation	Max Time Flow hrs	Max Flow cfs	Delta Q cfs	Max Time US Stage hrs	Max Stage ft	Max Time DS Stage hrs	Max Stage ft	Max ft
CS-1	BASE	100YR3D	0.00	0.000	0.000	0.00	0.000	0.00	0.000	0.000
CS-1	BASE	10YR1D	24.02	0.374	0.001	24.02	29.131	71.99	27.000	27.000
CS-1	BASE	10YR3D	85.25	0.401	-0.001	72.12	29.821	72.00	27.000	27.000
CS-1	BASE	25YR3D	90.94	0.437	-0.001	72.16	30.230	71.99	27.000	27.000

GENERAL SITE INFORMATION:		V 8.6	GO TO INTRODUCTIO
Select the appropriate Meteorological Zone, input the appropriate Mean Annual Rainfall amount and select the type of analysis			N Ha
Meteorological Zone (Please use zone map):		CLICK ON CELL BELOW T Zone 2	
Mean Annual Rainfall (Please use rainfall map):		51.00	Inches
Type of analysis: Treatment efficiency (N, P) (ex 80 70 (no decimal points) use only for specified removal efficiency):		CLICK ON CELL BELOW T Net improvement	
Select the STORMWATER TREATMENT ANALYSIS Button below to begin analyzing the effectiveness of Best Management Practices.			
<div style="border: 2px solid black; padding: 5px; text-align: center; margin-bottom: 10px;"> STORMWATER TREATMENT ANALYSIS </div> <div style="display: flex; justify-content: space-between;"> <div style="width: 60%;"> <p>Systems available for analysis:</p> <ul style="list-style-type: none"> Retention Basin with option for calculating effluent concentration Wet Detention Exfiltration Trench Pervious Pavement Stormwater Harvesting Biofiltration Greenroof Rainwater Harvesting Managed Aquatic Plants Detention Vegetated Natural Buffer Vegetated Filter Strip Swale Rain Garden Tree Well Lined reuse pond User Defined BMP </div> <div style="width: 35%; text-align: center;"> <div style="border: 2px solid black; padding: 10px; margin: 10px auto; width: 80%;"> RESET INPUT FOR STORMWATER TREATMENT ANALYSIS </div> </div> </div>			

WATERSHED CHARACTERISTICS V 8.6		GO TO STORMWATER TR
SELECT CATCHMENT CONFIGURATION	9/10/2019	CLICK ON CELL BELOW TO SELECT A - Single C
<p>For comingling, the off-site catchment must be upstream. The delay is only for retention BMPs and must be used in hours as measured by the time of concentration at a one inch/hour rain</p>		
Delay [hrs] <input style="width: 50px;" type="text"/>	CATCHMENT NO.1 NAME:	<input style="width: 150px;" type="text" value="Dry Detention"/>
<div style="display: flex; justify-content: space-between;"> <div> <p>max delay = 15 hrs.</p> <p>Pre-development land use:</p> <p>with default EMCs</p> <p>Post-development land use:</p> <p>with default EMCs</p> <p>Total pre-development catchment area:</p> <p>Total post-development catchment or for BMP analysis:</p> <p>Pre-development Non DCIA CN:</p> <p>Pre-development DCIA percentage:</p> <p>Post-development Non DCIA CN:</p> <p>Post-development DCIA percentage:</p> <p>Estimated BMP Area (No loading from this area)</p> </div> <div style="border: 1px solid black; padding: 2px;"> <div style="background-color: #cccccc; text-align: center; padding: 2px;">CLICK ON CELL BELOW TO SELECT</div> <div style="background-color: #cccccc; text-align: center; padding: 2px;">Agricultural - General: TN=2.800 TP=0.487</div> <div style="background-color: #cccccc; text-align: center; padding: 2px;">CLICK ON CELL BELOW TO SELECT</div> <div style="background-color: #cccccc; text-align: center; padding: 2px;">Low-Intensity Commercial: TN=1.13 TP=0.188</div> </div> <div style="text-align: right; padding-right: 10px;"> <div style="background-color: #cccccc; padding: 2px;">9.500</div> AC <div style="background-color: #cccccc; padding: 2px;">9.500</div> AC <div style="background-color: #cccccc; padding: 2px;">85.00</div> <div style="background-color: #cccccc; padding: 2px;">0.00</div> % <div style="background-color: #cccccc; padding: 2px;">75.00</div> <div style="background-color: #cccccc; padding: 2px;">0.00</div> % <div style="background-color: #cccccc; padding: 2px;">0.000</div> AC </div> </div>		
CATCHMENT NO.2 NAME:		
<div style="display: flex; justify-content: space-between;"> <div> <p>Pre-development land use:</p> <p>with default EMCs</p> <p>Post-development land use:</p> <p>with default EMCs</p> <p>Total pre-development catchment area:</p> <p>Total post-development catchment or BMP analysis area:</p> <p>Pre-development Non DCIA CN:</p> <p>Pre-development DCIA percentage:</p> <p>Post-development Non DCIA CN:</p> <p>Post-development DCIA percentage:</p> <p>Estimated BMP Area (No loading from this area)</p> </div> <div style="border: 1px solid black; padding: 2px;"> <div style="background-color: #cccccc; text-align: center; padding: 2px;">CLICK ON CELL BELOW TO SELECT</div> <div style="background-color: #cccccc; text-align: center; padding: 2px;">PLEASE SELECT LAND USE:</div> <div style="background-color: #cccccc; text-align: center; padding: 2px;">CLICK ON CELL BELOW TO SELECT</div> <div style="background-color: #cccccc; text-align: center; padding: 2px;">PLEASE SELECT LAND USE:</div> </div> <div style="text-align: right; padding-right: 10px;"> <div style="background-color: #cccccc; padding: 2px;"></div> AC <div style="background-color: #cccccc; padding: 2px;"></div> AC <div style="background-color: #cccccc; padding: 2px;"></div> <div style="background-color: #cccccc; padding: 2px;"></div> % <div style="background-color: #cccccc; padding: 2px;"></div> <div style="background-color: #cccccc; padding: 2px;"></div> % <div style="background-color: #cccccc; padding: 2px;"></div> AC </div> </div>		

COMINGLING

VIEW /
RUN

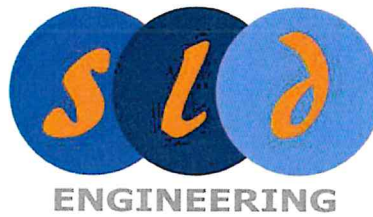
VIEW

GO TO C

STORMWATER TREATMENT ANALYSIS:		V 8.6	GO TO GENER
If not done, specify pre- and post-development watershed characteristics.			
GO TO WATERSHED CHARACTERISTICS			
<p><u>Total Required Treatment Efficiency:</u></p> <p>Required Treatment Eff (Nitrogen): <input type="text"/> 0 %</p> <p>Required Treatment Eff (Phosphorus): <input type="text"/> 0 %</p>			
Select one of the BMPs below to analyze ef			
RETENTION BASIN	WET DETENTION / MAP	EXFILTRATION TRENCH	
PERVIOUS PAVEMENT	STORMWATER HARVESTING	FILTRATION	
GREENROOF	RAINWATER HARVESTING	LINED REUSE POND & UNDERDRAIN INPUT	GO
VEGETATED NATURAL BUFFER	VEGETATED FILTER STRIP	TREE WELL	

CATCHMENTS AND TREATMENT SURFACE DISCHARGE SUMMARY				V 8.6	
CALCULATION METHODS: 1. The effectiveness of each BMP in a single catchment is converted to an equivalent capture volume. 2. Certain BMP treatment train combinations have not been evaluated and in practice they are at this time not used, an example is a greenroof following a tree well. 3. Wet detention is last when used in a single catchment with other BMPs, except when followed by filtration					
PROJECT TITLE	Haven of Rest Church	Optional Identification			
		Dry Detention	Catchment 2	Catchment 3	Catchment 4
BMP Name					
BMP Name					
BMP Name					
REVIEW, ONE OR MORE CATCHMENT HAS BEEN SPECIFIED WITHOUT A BMP					
Surface Water Discharge Summary Performance of Entire Watershed					
Catchment Configuration	A - Single Catchment		Treatment Objectives or Target for TN MET TP MET		
Nitrogen Pre Load (kg/yr)	22.31		9/10/2019		
Phosphorus Pre Load (kg/yr)	3.88		BMP TRAINS MODEL		
Nitrogen Post Load (kg/yr)	4.45				
Phosphorus Post Load (kg/yr)	0.74				
Target Load Reduction (N) %	0				
Target Load Reduction (P) %	0				
Target Discharge Load, N (kg/yr)	4.45				
Target Discharge Load, P (kg/yr)	0.74				
Provided Overall Efficiency, N (%)	0				
Provided Overall Efficiency, P (%)	0				
Discharged Load, N (kg/yr & lb/yr):	4.45		9.79		
Discharged Load, P (kg/yr & lb/yr):	0.74		1.63		
Load Removed, N (kg/yr & lb/yr):	0.00		0.00		

Load Removed, P (kg/yr & lb/yr):	0.00	0.00	
----------------------------------	------	------	--



August 31, 2020

City of Okeechobee
55 SE 3rd Avenue
Okeechobee, FL 34974

Subject: Haven of Rest Traffic Statement

Dear Reviewer:

Steven L. Dobbs Engineering, LLC, has completed an analysis of the traffic generation statement for the above referenced facility. The project is to construct a church facility on vacant agricultural land.

This analysis was based on a spreadsheet distributed by the Florida Department of Transportation, which is based on the Institute of Transportation Engineers (ITE) Trip Generation Manual (8th Edition). The results indicate the proposed 42,000 sf church (ITE code 560) generates 383 total trips with 23 peak hour weekday trips PM with 11 being in and 12 being out. These numbers are based on weekday traffic. The main traffic will be on Sunday during off peak hours and will not overburden local streets.

Should you have any questions or comments, please do not hesitate to call.

Sincerely,

Steven L. Dobbs Engineering

Steven L. Dobbs, P. E.
President

CC: Tom Velie
File

Instructions:

Enter Numbers into the "Expected Units"
in the Corresponding Yellow Column

Trip Generation Rates from the 8th Edition ITE Trip Generation Report

NA: Not Available

KSF²: Units of 1,000 square feet






DU: Dwelling Unit

Fuel Position: # of vehicles that could be fueled simultaneously

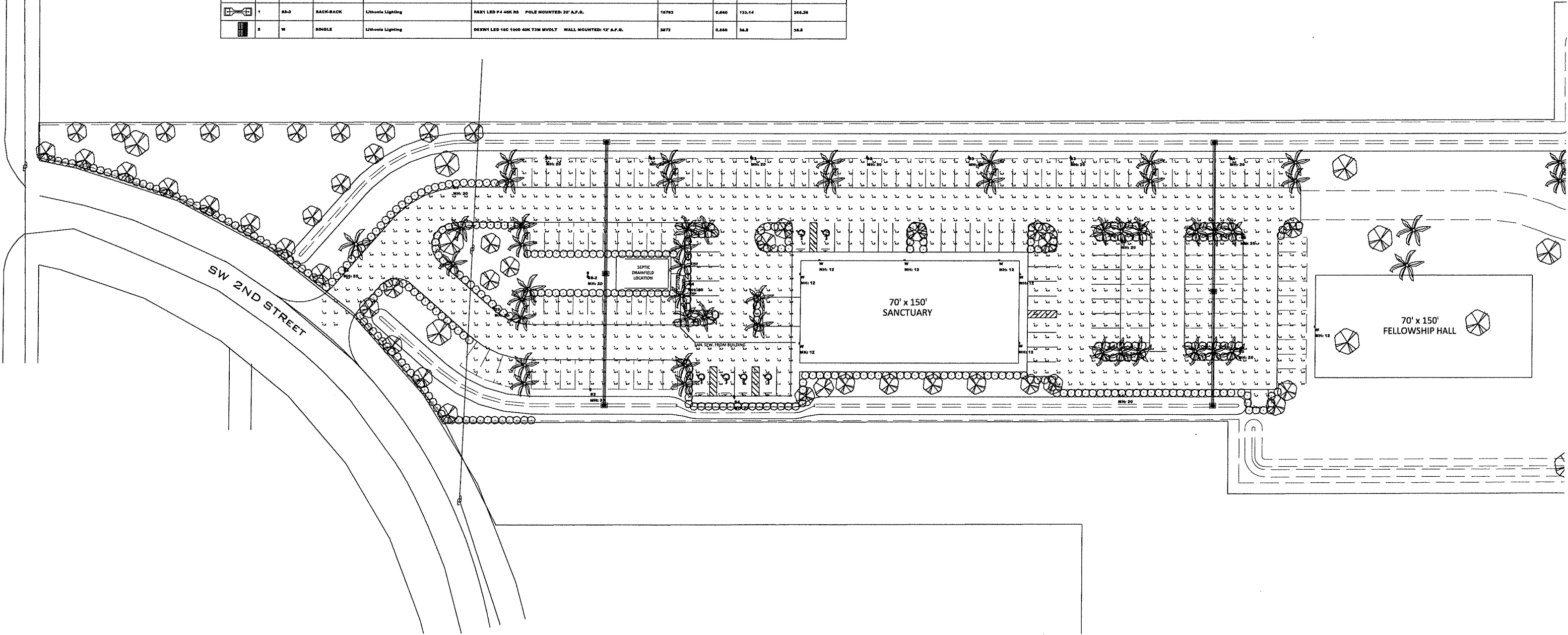
Occ.Room: Occupied Room

Description / ITE Code	Units	Rate Weekday Daily Traffic	PM Peak Period Rate	% PM In	% PM Out	Expected Units (independent variable)	Calculated Daily Trips	PM Peak Trips - Total	PM In	PM Out	Notes
Resort Hotel 330	Occ. Room	13.43	0.49	43%	57%		0	0	NA	NA	Daily Rate for Saturday.
Resort Hotel 330	Rooms	NA	0.42	43%	57%		0	0	NA	NA	
City Park 411	Picnic Sites	5.87	NA	NA	NA		0	NA	NA	NA	
County Park 412	Acres	2.28	0.06	41%	59%		0	0	NA	NA	
State Park 413	Picnic Sites	9.95	0.65	43%	57%		0	0	NA	NA	
State Park 413	Employees	NA	4.67	43%	57%		0	0	NA	NA	
Water Slide Park 414	Parking Space	2.27	NA	NA	NA		0	NA	NA	NA	Caution- Only 1 Study.
Beach Park 415	Acres	29.81	1.30	29%	71%		0	0	NA	NA	
Campground/RV Park 416	Acres	74.38	0.39	NA	NA		0	0	NA	NA	Caution-Only 1 Study.
Regional Park 417	Picnic Sites	61.82	9.60	41%	59%		0	0	NA	NA	Peak Hour is PM Peak Hour.
Regional Park 417	Employees	79.77	10.26	45%	55%		0	0	NA	NA	
National Monument 418	Employees	31.05	5.58	NA	NA		0	0	NA	NA	Peak Hour is PM Peak Hour.
Marina 420	Berths	2.96	0.19	60%	40%		0	0	NA	NA	Caution- Only 2 Studies
Golf Course 430	Employees	20.52	1.48	48%	52%		0	0	NA	NA	
Golf Course 430	Holes	35.74	2.78	45%	55%		0	0	NA	NA	
Miniature Golf Course 431	Holes	NA	0.33	33%	67%		0	0	NA	NA	
Golf Driving Range 432	Tees	NA	1.25	45%	55%		0	0	NA	NA	Caution- Only 2 Studies.
Multipurpose Rec. Facility 435	Acres	90.38	5.77	NA	NA		0	0	NA	NA	Caution- Only 1 Study.
Live Theater 441	Seats	NA	0.02	50%	50%		0	0	NA	NA	
Movie Theater w/o matinee 443	KSF ²	78.06	6.16	94%	6%		0	0	NA	NA	Caution- Only 1 Study.
Movie Theater w/o matinee 443	Movie Screens	220.00	24.00	41%	59%		0	0	NA	NA	
Movie Theater w/o matinee 443	Seats	1.76	0.07	75%	25%		0	0	NA	NA	Peak Hour is PM Peak Hour.
Movie Theater w/o matinee 443	Employees	53.12	4.20	NA	NA		0	0	NA	NA	
Movie Theater w/ matinee 444	KSF ²	NA	3.80	64%	36%		0	0	NA	NA	Caution- Only 1 Study.
Movie Theater w/ matinee 444	Movie Screens	153.33	20.22	40%	60%		0	0	NA	NA	
Movie Theater w/ matinee 444	Seats	NA	0.14	53%	47%		0	0	NA	NA	
Horse Track 452	Employees	2.60	NA	50%	50%		0	NA	NA	NA	
Dog Track 454	Attendees	1.09	0.13	66%	34%		0	0	NA	NA	
Arena 460	Employees	10.00	NA	50%	50%		0	NA	NA	NA	
Ice Rink 465	Seats	1.26	0.12	NA	NA		0	0	NA	NA	Caution- Only 1 Study.
Casino/Video Lottery Establishment 473	KSF ²	NA	13.43	56%	44%		0	0	NA	NA	
Amusement Park 480	Employees	8.33	0.50	61%	39%		0	0	NA	NA	
Zoo 481	Acres	114.88	NA	50%	50%		0	NA	NA	NA	
Zoo 481	Employees	23.93	NA	50%	50%		0	NA	NA	NA	
Tennis Courts 490	Courts	31.04	3.88	NA	NA		0	0	NA	NA	
Tennis Courts 490	Employees	66.67	5.67	NA	NA		0	0	NA	NA	
Racquet Club 491	Courts	38.70	3.35	NA	NA		0	0	NA	NA	
Racquet Club 491	KSF ²	14.03	1.06	NA	NA		0	0	NA	NA	
Racquet Club 491	Employees	45.71	4.95	NA	NA		0	0	NA	NA	
Health Club 492	KSF ²	32.93	3.53	57%	43%		0	0	NA	NA	Caution- Only 1 Study
Bowling Alley 494	KSF ²	33.33	3.54	35%	65%		0	0	NA	NA	Caution- Only 1 Study.
Recreational Com. Center 495	KSF ²	22.88	1.45	37%	63%		0	0	NA	NA	Caution- 1 study.
Recreational Com. Center 495	Employees	27.25	3.16	44%	56%		0	0	NA	NA	
Military Base 501	Employees	1.78	0.39	NA	NA		0	0	NA	NA	
Elementary School 520	Students	1.29	0.15	49%	51%		0	0	NA	NA	Peak Hour is PM Peak Hour.
Elementary School 520	KSF ²	15.43	1.21	45%	55%		0	0	NA	NA	
Elementary School 520	Employees	15.71	1.81	49%	51%		0	0	NA	NA	
Private School (K-12) 536	Students	2.48	0.17	43%	57%		0	0	NA	NA	Caution- Only 2 studies.
Middle/ JR. High School 522	Students	1.62	0.16	49%	51%		0	0	NA	NA	
Middle/ JR. High School 522	KSF ²	13.78	1.19	52%	48%		0	0	NA	NA	
High School 530	Students	1.71	0.13	47%	53%		0	0	NA	NA	
High School 530	KSF ²	12.89	0.97	54%	46%		0	0	NA	NA	
High School 530	Employees	19.74	1.55	54%	46%		0	0	NA	NA	
Junior/ Comm. College 540	Students	1.20	0.12	64%	36%		0	0	NA	NA	
Junior/ Comm. College 540	KSF ²	27.49	2.54	58%	42%		0	0	NA	NA	
Junior/ Comm. College 540	Employees	15.55	1.39	58%	42%		0	0	NA	NA	
University/College 550	Students	2.38	0.21	30%	70%		0	0	NA	NA	
University/College 550	Employees	9.13	0.88	29%	71%		0	0	NA	NA	
Church 560	KSF ²	9.11	0.55	48%	52%	42.0	383	23	11	12	For Weekday
Synagogue 561	KSF ²	10.64	1.69	47%	53%		0	0	NA	NA	Caution- Only 1 Study.

SOUTH PARK STREET

Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Manufacturer	Description	Luminaire Lumens	LLF	Luminaire Watts	Assembly Watts
	11	B3	SINGLE	Lithonia Lighting	RBX1 LED P4 40K R3 H6 POLE MOUNTED: 30' A.F.D.	13479	0.860	133.14	133.14
	3	B4	SINGLE	Lithonia Lighting	RBX1 LED P4 40K R4 H6 POLE MOUNTED: 30' A.F.D.	13040	0.860	133.14	133.14
	4	B5	SINGLE	Lithonia Lighting	RBX1 LED P4 40K R5 POLE MOUNTED: 30' A.F.D.	16793	0.860	133.14	133.14
	1	B3-3	RACK-RACK	Lithonia Lighting	RBX1 LED P4 40K R5 POLE MOUNTED: 30' A.F.D.	16793	0.860	133.14	344.38
	8	W	SINGLE	Lithonia Lighting	DEXWT LED 16C 1000 40K T3M MVOLT WALL MOUNTED: 12' A.F.D.	3872	0.860	34.8	34.8

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	Illuminance	Fc	5.76	7.6	1.0	5.76	7.60



Revised Plans 4-4-20

Project Name: Haven of Rest Church
Owner Name: 32801 Highway 441N, Lot 244, Okeechobee, FL 34972
Owner Phone: 863-697-1824
Engineer Name: Steven L. Dobbs Engineering, LLC
Engineer Address: 1062 Jakes Way, Okeechobee, FL 34974
Engineer Phone: 863-824-7644
Architect Name: N/A
Architect Address: N/A
Architect Phone: N/A
Planner Name: N/A
Planner Address: N/A
Planner Phone: N/A

Future Land Use: Multifamily
Zoning: Multifamily

Min Lot Width: 100.0 ft
Proposed lot Width: 190.0 ft

Min Lot Size: 4,356.0 sf
Proposed lot size: 413,820.0 sf

Project Size: 413,820 SF

Total Dwelling Units: 0 - 42,000 sf church facilities

Setbacks:	Front	Req	40
		Provided	250
	W. Side	Req	50
		Provided	50
	E. Side	Req	25
		Provided	65
	Rear	Req	50
		Provided	185

Parking:	1 space per	3 Seats
Auditorium	Seating Capacity	450 gross sf
	Required Parking:	150 spaces

Handicapped Parking	1 space per every 25 spaces minimum 1
	Required Handicapped Parking
	Handicapped Parking Provided

	Total Parking Required	150
	Parking Provided	150

Maximum parking required for auditorium seating as there will never be more than one event taking place a one time.

Coverage	Residential Allowed	30%
	Proposed	10%

Impervious Area	Allowable Impervious Area:	25%
	Proposed ISR	21%

DESCRIPTION

THE EAST 10.24 ACRES OF THAT PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 500, PAGE 754, PUBLIC RECORDS OF OKEECHOBEE COUNTY, FLORIDA LYING NORTH OF SOUTHWEST 6TH STREET AND SOUTH OF SOUTH PARK STREET IN SECTION 21, TOWNSHIP 37 SOUTH, RANGE 35 EAST, OKEECHOBEE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTH RIGHT-OF-WAY LINE OF SOUTHWEST 6TH STREET, SAID POINT BEING THE SOUTHWEST CORNER OF THAT PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 452, PAGE 1439; THENCE SOUTH 89°48'47" WEST, ALONG THE NORTH RIGHT-OF-WAY LINE OF SOUTHWEST 6TH STREET, A DISTANCE OF 285.13 FEET; THENCE NORTH 00°09'05" WEST, DEPARTING SAID NORTH LINE, ALONG A LINE PARALLEL TO THE WESTERLY RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD AS LOCATED ALONG THE EAST BOUNDARY OF THE PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 754, TO THE INTERSECTION WITH A LINE AND THE EXTENSION THEREOF, 100.00 FEET SOUTH OF AND PARALLEL TO THE SOUTH BOUNDARY OF THE LAND DESCRIBED IN OFFICIAL RECORDS BOOK 293, PAGE 257, A DISTANCE OF 994.54 FEET; THENCE NORTH 89°49'33" EAST, ALONG A LINE PARALLEL TO THE SOUTH BOUNDARY LINE OF SAID PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 293, PAGE 257, TO THE INTERSECTION WITH A LINE LYING 70.0 FEET EAST OF AND PARALLEL TO THE EAST BOUNDARY LINE OF SAID PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 293, PAGE 257, A DISTANCE OF 49.69 FEET; THENCE NORTH 00°07'58" WEST, ALONG SAID LINE AND THE EXTENSION THEREOF LYING 70.0 FEET EAST OF THE EAST BOUNDARY OF THE PROPERTY DESCRIBED IN SAID OFFICIAL RECORDS BOOK 293, PAGE 257, A DISTANCE OF 537.64 FEET TO A POINT ON A NON-TANGENT CURVE OF THE SOUTH RIGHT-OF-WAY LINE OF SOUTHWEST 2ND STREET, THROUGH WHICH A RADIAL LINE BEARS NORTH 33°24'04" WEST, SAID CURVE BEING CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 414.09 FEET; THENCE NORTHEASTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 47°12'31", ALONG THE SOUTH RIGHT-OF-WAY LINE OF SOUTHWEST 2ND STREET TO THE INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF SOUTH PARK STREET, AN ARC DISTANCE OF 341.19 FEET; THENCE NORTH 89°49'33" EAST, ALONG THE SOUTH RIGHT-OF-WAY LINE OF SOUTH PARK STREET, A DISTANCE OF 23.55 FEET TO THE INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD RIGHT-OF-WAY, THENCE SOUTH 00°09'05" EAST, DEPARTING SAID SOUTH LINE, ALONG THE WEST RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD RIGHT-OF-WAY, A DISTANCE OF 1040.16 FEET; THENCE NORTH 89°50'55" EAST, DEPARTING SAID WEST LINE, ALONG THE SOUTH RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD RIGHT-OF-WAY, A DISTANCE OF 60.00 FEET TO THE NORTHWEST CORNER OF THE PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 316, PAGE 1436; THENCE SOUTH 00°09'05" EAST, DEPARTING SAID SOUTH LINE, ALONG THE WEST LINE OF THE PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 316, PAGE 1436, A DISTANCE OF 693.33 FEET TO THE NORTH LINE OF THAT PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 452, PAGE 1439; THENCE SOUTH 89°48'47" WEST, DEPARTING SAID WEST LINE, ALONG SAID NORTH LINE, A DISTANCE OF 50.00 FEET TO THE NORTHWEST CORNER OF THE PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 452, PAGE 1439; THENCE SOUTH 00°09'05" EAST, ALONG THE WEST LINE OF SAID PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 452, PAGE 1439, A DISTANCE OF 76.17 FEET TO A POINT ON SAID NORTH RIGHT-OF-WAY LINE OF SOUTHWEST 6TH STREET AND THE POINT OF BEGINNING.

PROJECT SPECIFIC NOTES:

- 1) UNLESS SHOWN OTHERWISE, ALL DIMENSIONS ARE DEED(D) AND MEASURED(M).
- 2) SITE ADDRESS: SW 2ND STREET.
- 3) PARCEL ID: 2-21-37-35-0A00-00006-0000.
- 4) F.L.R.M. ZONE: "M" MAP NO. 1200300480C, DATED 7-16-15.
- 5) THIS SURVEY IS NOT INTENDED TO DEPICT JURISDICTIONAL AREAS OR OTHER AREAS OF LOCAL CONCERN.
- 6) SURVEYOR WAS NOT PROVIDED WITH ANY TITLE INFORMATION FOR THIS PARCEL. SURVEYOR ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THE ACCURACY OF EASEMENT DIMENSIONS SHOWN HEREON, THERE MAY BE OTHER EASEMENTS OR RESTRICTIONS THAT EFFECT THIS PARCEL.
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- 8) THE ELEVATIONS SHOWN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
- 9) BEARING BASE: THE NORTH RIGHT-OF-WAY OF SW 6TH STREET IS TAKEN TO BEAR S 89°48'47" W
- 10) DATE OF LAST FIELD SURVEY: 04/25/19.

TRADEWINDS SURVEYORS
200 S.W. 3rd Avenue
Okeechobee, FL 34974
Tel: (863) 763-2887
Fax: (863) 763-4342
Email: kab.lwp@yahoo.com

Kenneth A. Breaux, Jr. (PSM 4820)



Steven L. Dobbs Engineering, LLC
Consulting Engineers

1062 Jakes Way - Okeechobee, FL 34974

Phone: (863) 824-7644

FLORIDA CERTIFICATE OF AUTHORIZATION No. 00029206

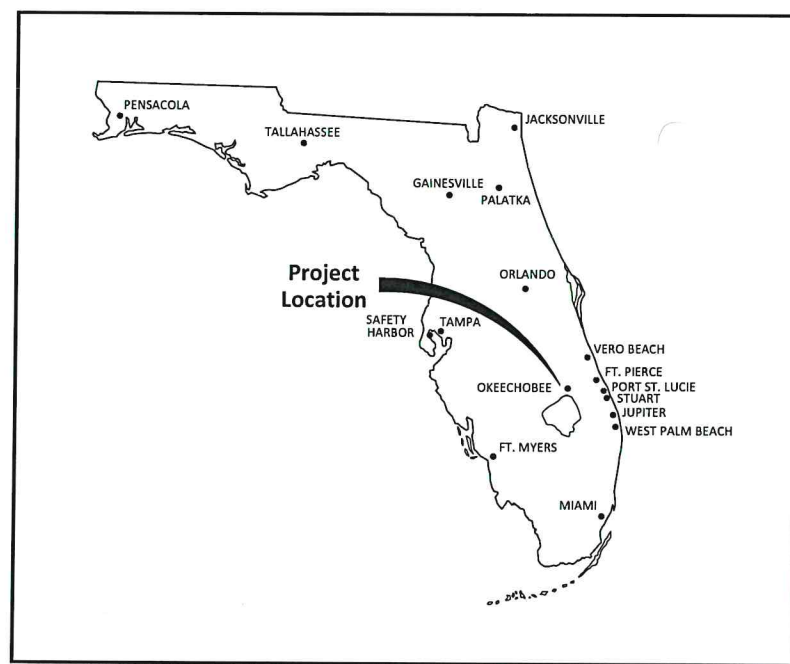
Construction Plans FOR Haven of Rest Church Proposed Site Development

Lying In Sec. 21, Township 37 South, Range 35 East
City of Okeechobee, Florida



LOCATION MAP

SCALE: N.T.S.



VICINITY MAP

SCALE: N.T.S.

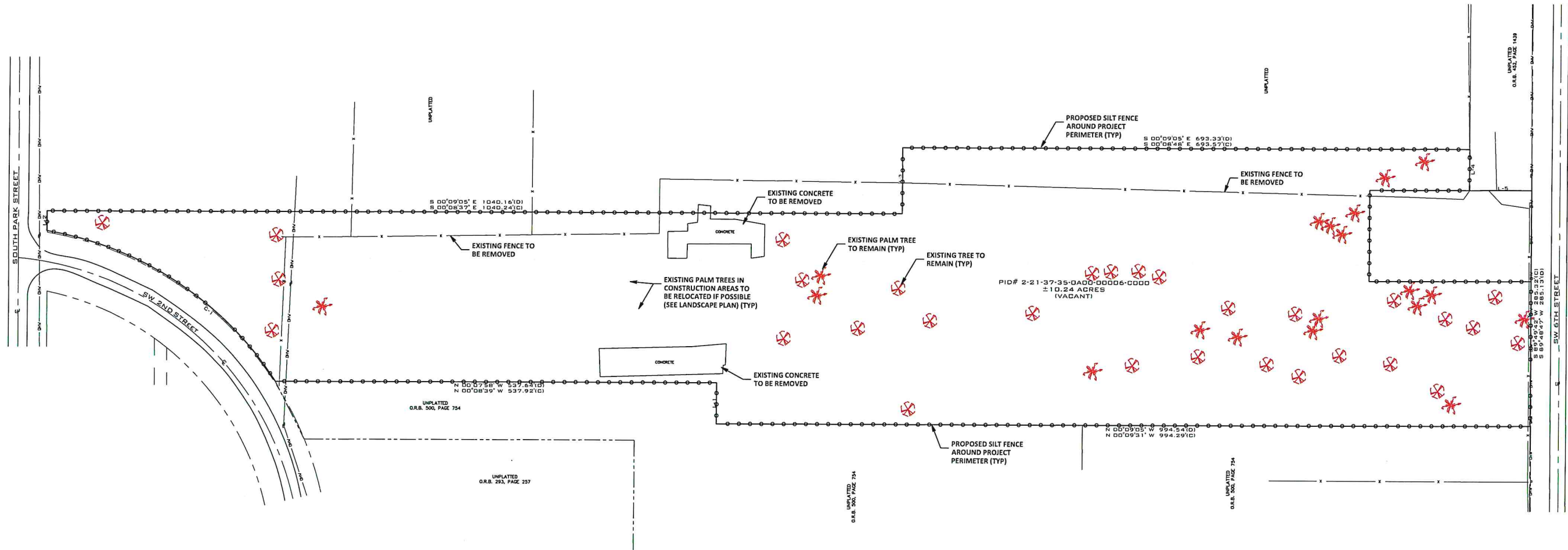
INDEX OF SHEETS

01 OF 09	TITLE SHEET
02 OF 09	EXISTING CONDITIONS / DEMOLITION PLAN
03 OF 09	OVERALL PLAN
04 OF 09	HORIZONTAL CONTROL, STRIPING & SIGNAGE PLAN, NORTH VIEW
05 OF 09	HORIZONTAL CONTROL, STRIPING & SIGNAGE PLAN, SOUTH VIEW
06 OF 09	PAVING, GRADING & DRAINAGE PLAN, NORTH VIEW
07 OF 09	PAVING, GRADING & DRAINAGE PLAN, SOUTH VIEW
08 OF 09	DETAILS
09 OF 09	GENERAL NOTES AND SPECIFICATIONS



Haven of Rest Church
ENGINEERS PROJECT No. 2018-022

SW 7TH AVE



DESCRIPTION

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PROJECT SPECIFIC NOTES:

- 1) UNLESS SHOWN OTHERWISE, ALL DIMENSIONS ARE DEED(D) AND MEASURED(M).
- 2) SITE ADDRESS: SW 2ND STREET.
- 3) PARCEL ID: 2-21-37-35-0A00-00006-C000.
- 4) F.I.R.M. ZONE: "K" MAP NO. 1209300480C, DATED 7-16-15.
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- 6) SURVEYOR WAS NOT PROVIDED WITH ANY TITLE INFORMATION FOR THIS PARCEL. SURVEYOR ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THE ACCURACY OF EASEMENT DIMENSIONS SHOWN HEREON. THERE MAY BE OTHER EASEMENTS OR RESTRICTIONS THAT EFFECT THIS PARCEL.
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- 9) BEARING BASE: THE NORTH RIGHT-OF-WAY OF SW 6TH STREET IS TAKEN TO BEAR S 89°48'47" W
- 10) DATE OF LAST FIELD SURVEY: 04/25/19.

LINE TABLE

L1
N 89°49'33" E 49.69(D)
N 89°51'29" E 49.73(D)

L2
N 89°49'33" E 23.95(D)
N 89°49'33" E 23.95(D)

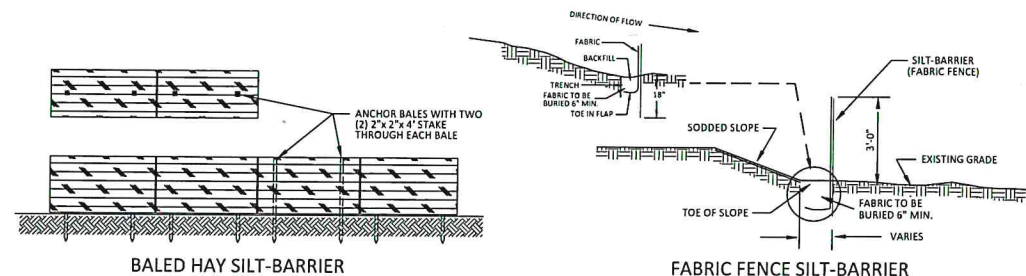
L3
N 89°50'55" E 60.00(D)
N 89°49'33" E 60.00(D)

L4
N 89°48'47" W 50.00(D)
N 89°48'47" W 49.79(D)

L5
S 89°09'05" E 76.17(D)
S 89°09'05" E 76.17(D)

CURVE TABLE

C1
RADIUS 414.09(D) RADIUS 414.09(D)
DELTA 47°12'31" DELTA 47°12'31"
LENGTH 341.19(D) LENGTH 341.19(D)



BALED HAY SILT-BARRIER

FABRIC FENCE SILT-BARRIER

PERIMETER EROSION AND SEDIMENT CONTROL

1. CONTRACTOR IS REQUIRED TO PREVENT ANY SEDIMENT TRANSPORT FROM THE PROJECT SITE ON TO ADJACENT PROPERTY. INSTALLATION OF EITHER BALED HAY OR FABRIC FENCE TYPE SILT BARRIER IS ACCEPTABLE. THE BARRIER MUST REMAIN IN PLACE UNTIL UPLAND VEGETATION IS ESTABLISHED.
2. BEFORE REMOVING SILT BARRIER, CONTRACTOR SHALL COLLECT AND DISPOSE OF ANY ACCUMULATED SILT.

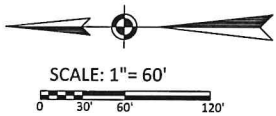
SILT FENCE DETAIL

N.T.S.

TRADEWINDS SURVEYORS

200 S.W. 3rd
Okeechobee, FL 34974
Tel: (863) 763-2887
Fax: (863) 763-4342
Email: ksb.tps@yahoo.com

Kenneth A. Breau, Jr. (PSM 4820)



**Steven L. Dobbs
Engineering, LLC**
1062 JAKES WAY
Okeechobee, FL 34974
Phone: (863) 824-7644

FLORIDA CERTIFICATE OF AUTHORIZATION No. 00029206

No. DATE BY REVISIONS

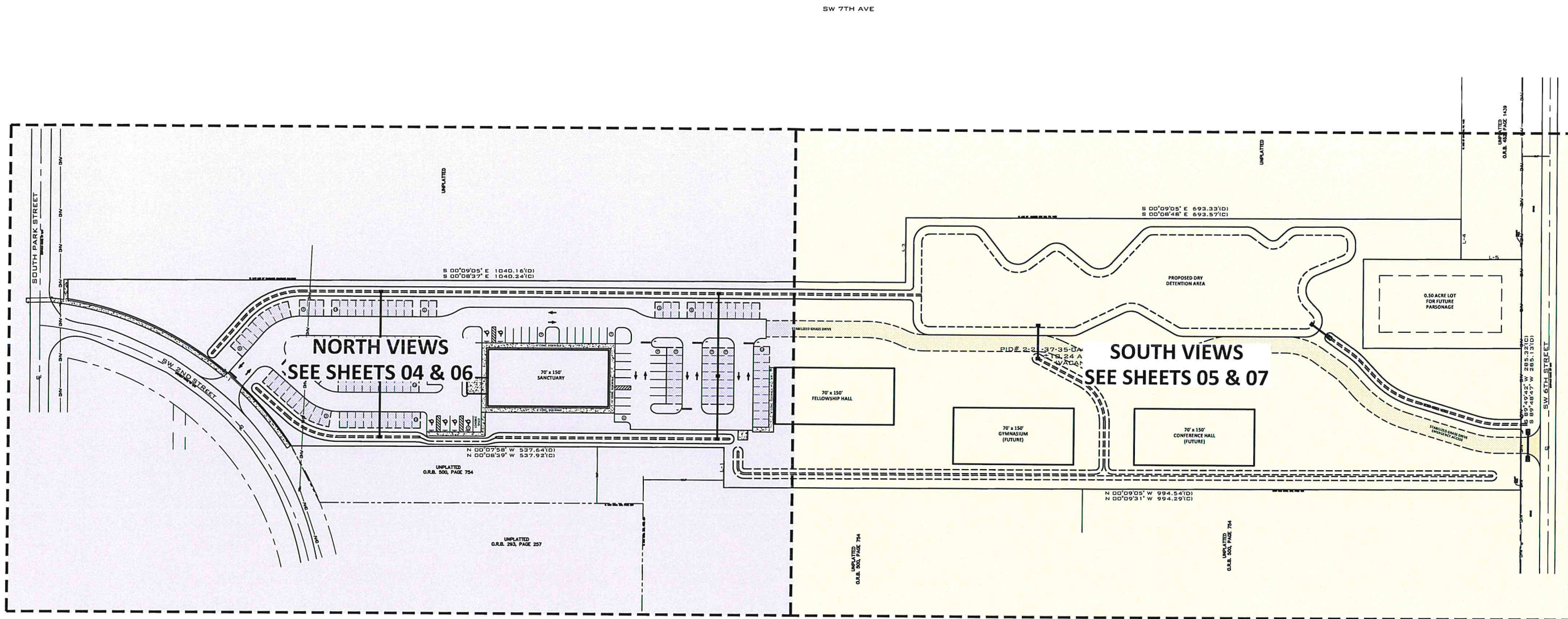
HAVEN OF REST CHURCH

LOCATED IN CITY OF OKEECHOBEE

Existing Conditions & Demolition Plan



JOB No.: 2018-022
SHEET
02 OF 09



Project Name: Haven of Rest Church
Owner Name: 32801 Highway 441N, Lot 244, Okeechobee, FL 34972
Owner Phone: 863-697-1624
Engineer Name: Steven L. Dobbs Engineering, LLC
Engineer Address: 1062 Jakes Way, Okeechobee, FL 34974
Engineer Phone: 863-824-7644
Architect Name: N/A
Architect Address: N/A
Architect Phone: N/A
Planner Name: N/A
Planner Address: N/A
Planner Phone: N/A

Future Land Use: Multifamily
Zoning: Multifamily

Min Lot Width: 100.0 ft
Proposed lot Width: 190.0 ft

Min Lot Size: 4,356.0 sf
Proposed lot size: 413,820.0 sf

Project Size: 413,820 SF

Total Dwelling Units: 0 - 42,000 sf church facilities

Setbacks:

Front	Req	40
	Provided	250
W. Side	Req	50
	Provided	50
E. Side	Req	25
	Provided	65
Rear	Req	50
	Provided	185

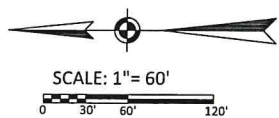
Parking:		
Auditorium	1 space per Seating Capacity	3 Seats
	Required Parking:	450 gross sf
		150 spaces

Handicapped Parking	1 space per every 25 spaces minimum	1
	Required Handicapped Parking	6
	Handicapped Parking Provided	6
	Total Parking Required	150
	Parking Provided	150

Maximum parking required for auditorium seating as there will never be more than one event taking place a one time.

Coverage		
Residential Allowed		30%
Proposed		10%

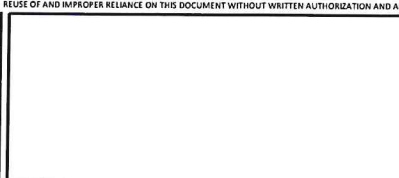
Impervious Area		
Allowable Impervious Area:		25%
Proposed ISR		21%



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No.	DATE	BY	



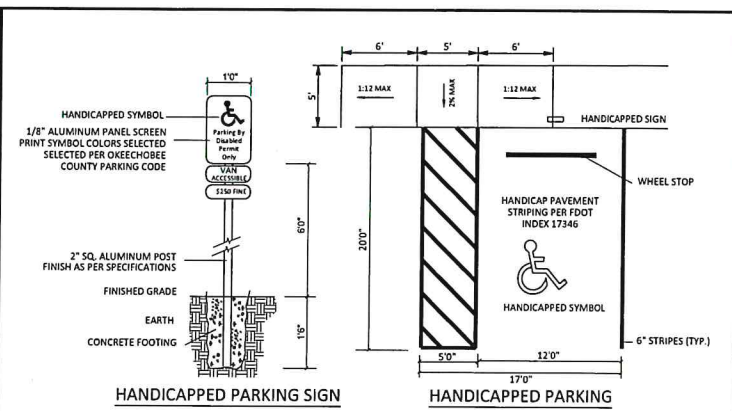
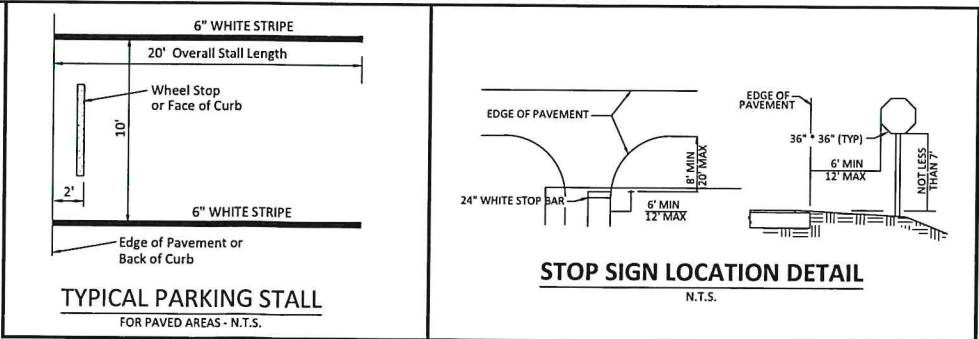
HAVEN OF REST CHURCH

LOCATED IN CITY OF OKEECHOBEE

Overall Plan

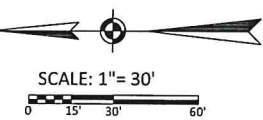
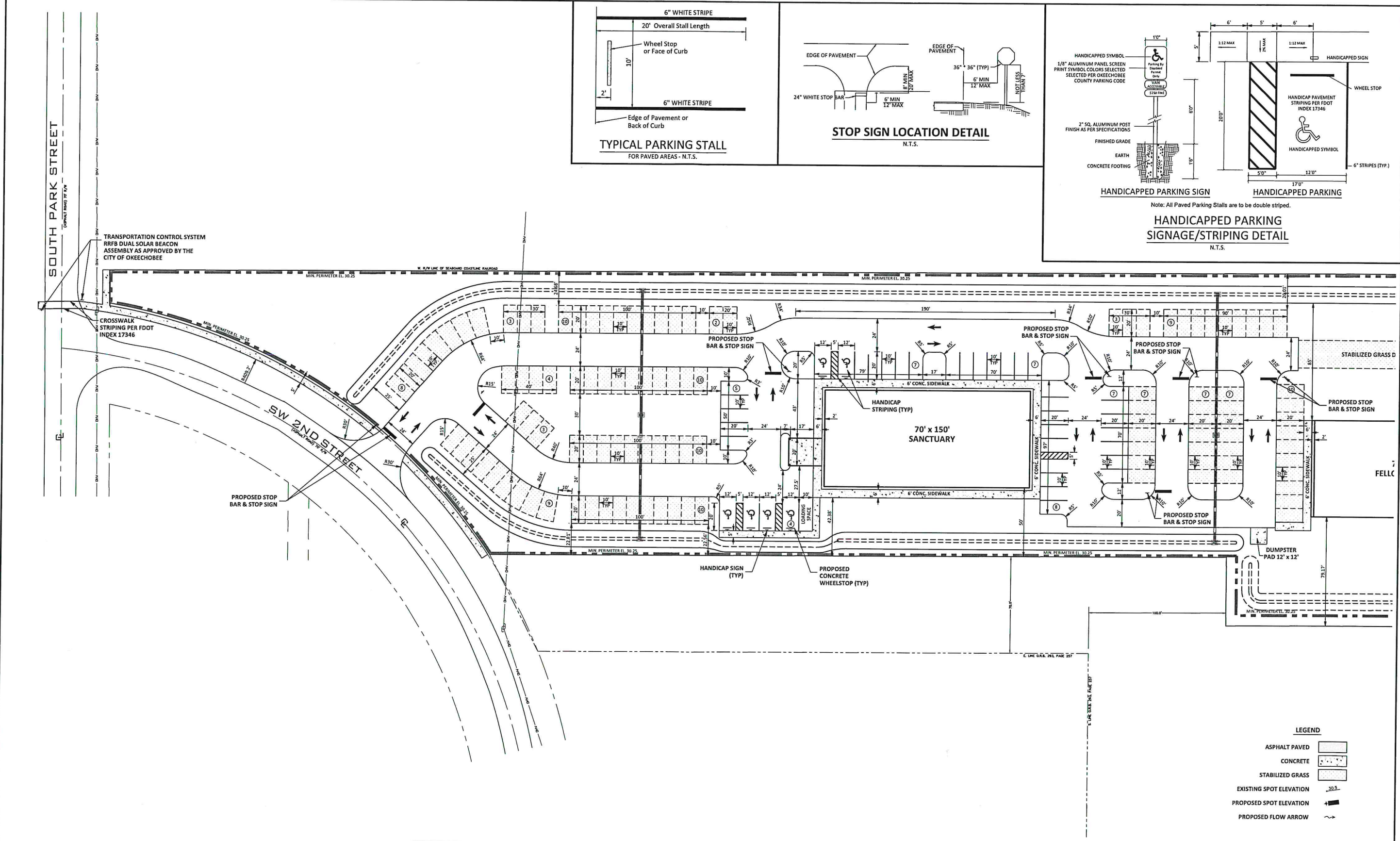


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Note: All Paved Parking Stalls are to be double striped.

HANDICAPPED PARKING SIGNAGE/STRIPING DETAIL
N.T.S.



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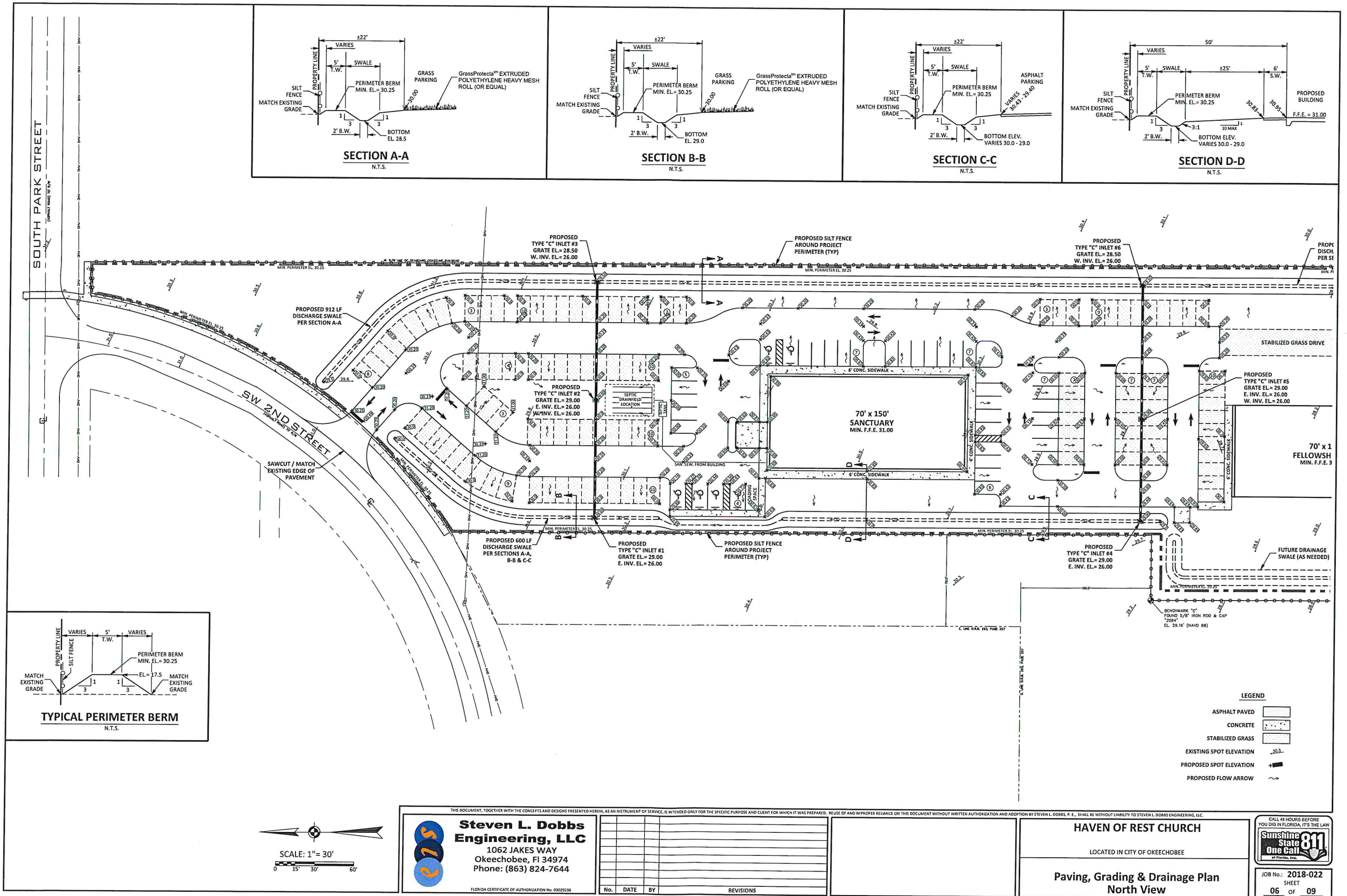
HAVEN OF REST CHURCH
LOCATED IN CITY OF OKEECHOBEE

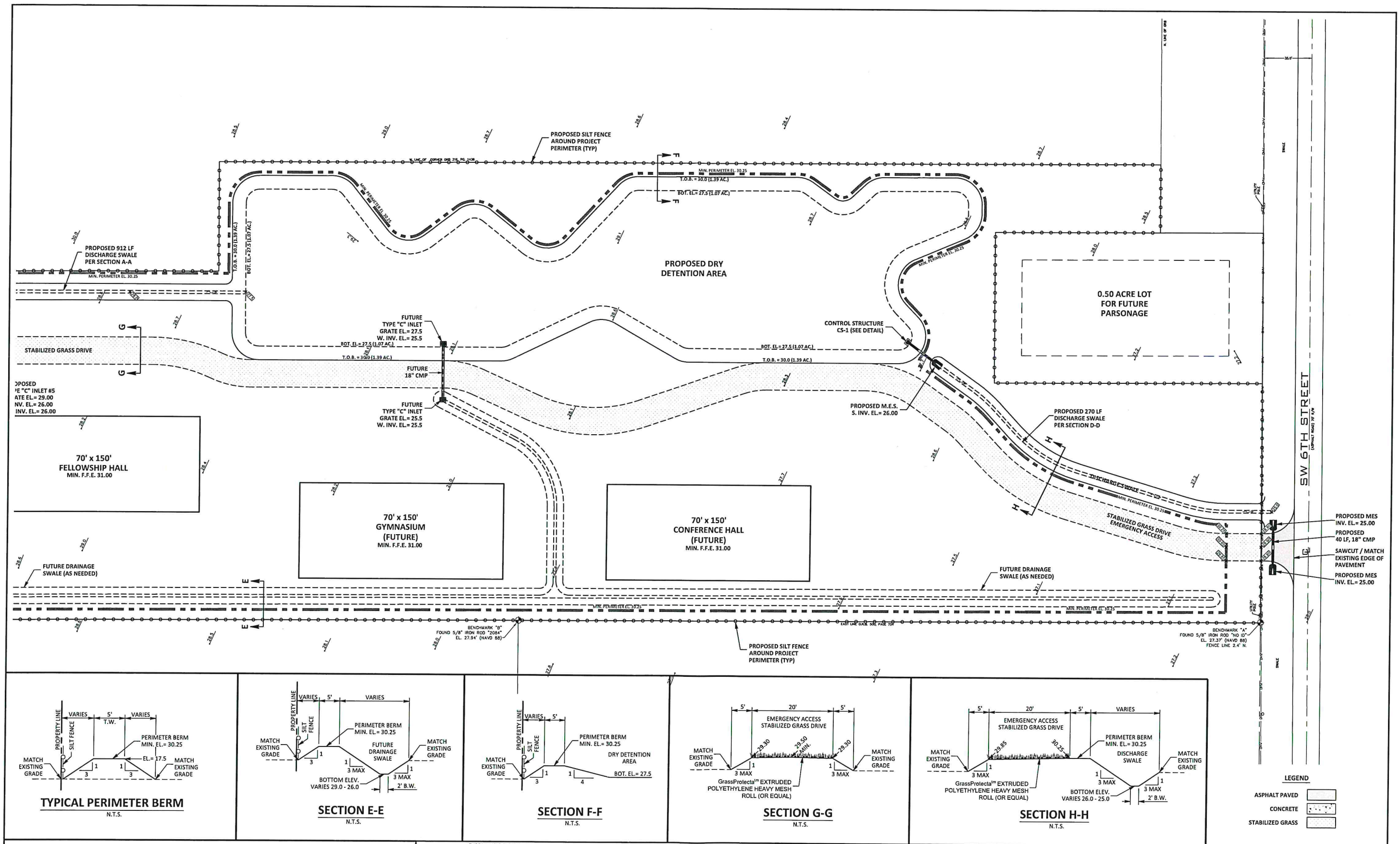
Horizontal Control, Striping & Signage Plan
North View

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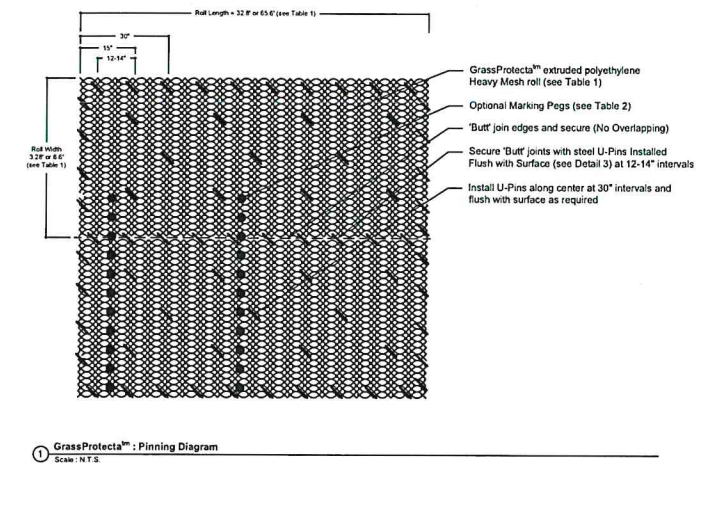
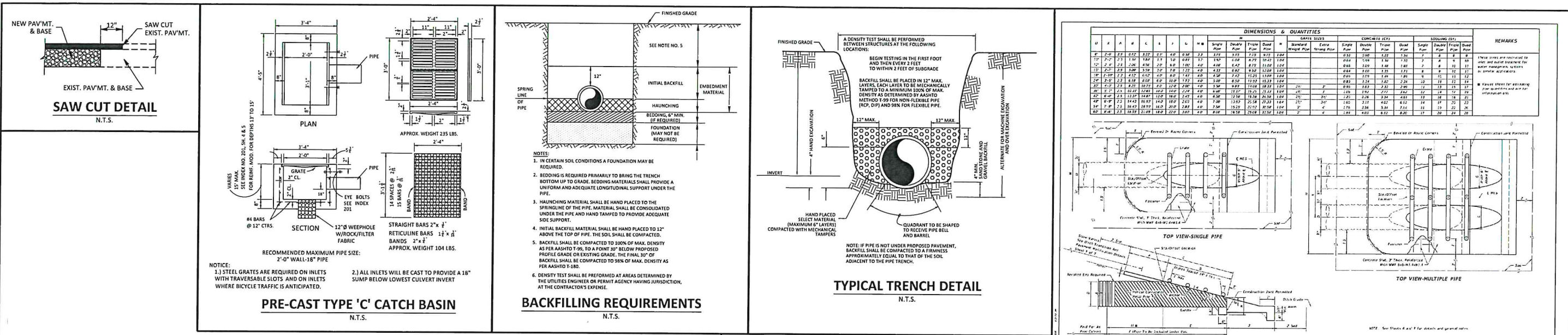
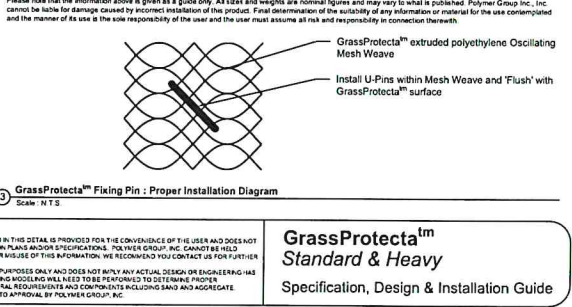
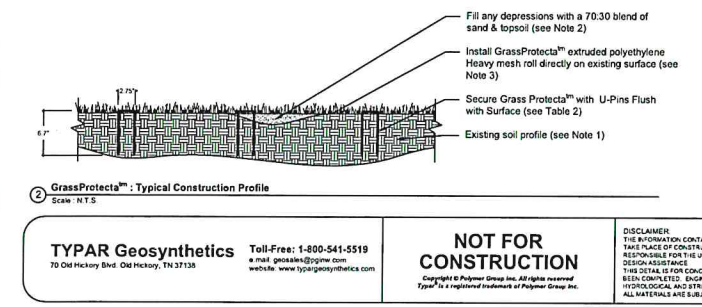


Table 1 : Product Specifications

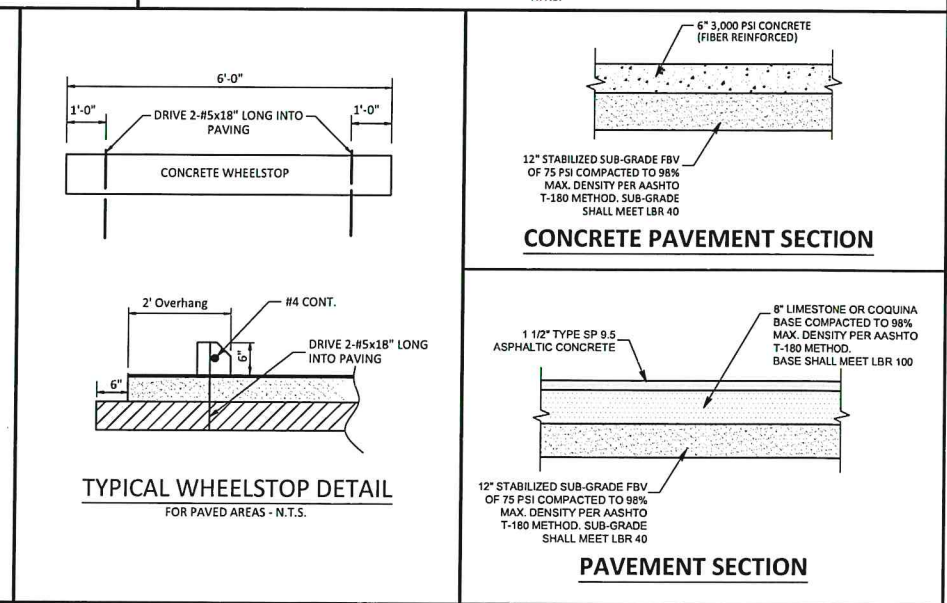
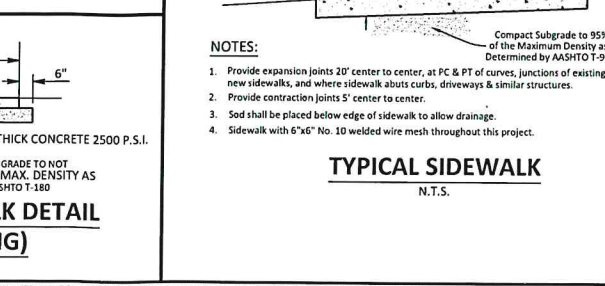
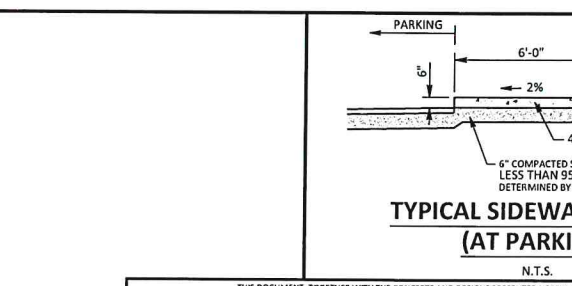
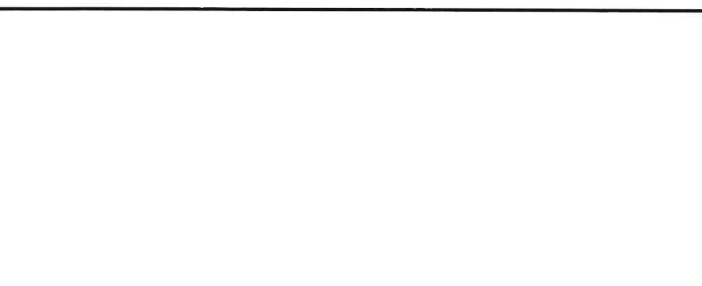
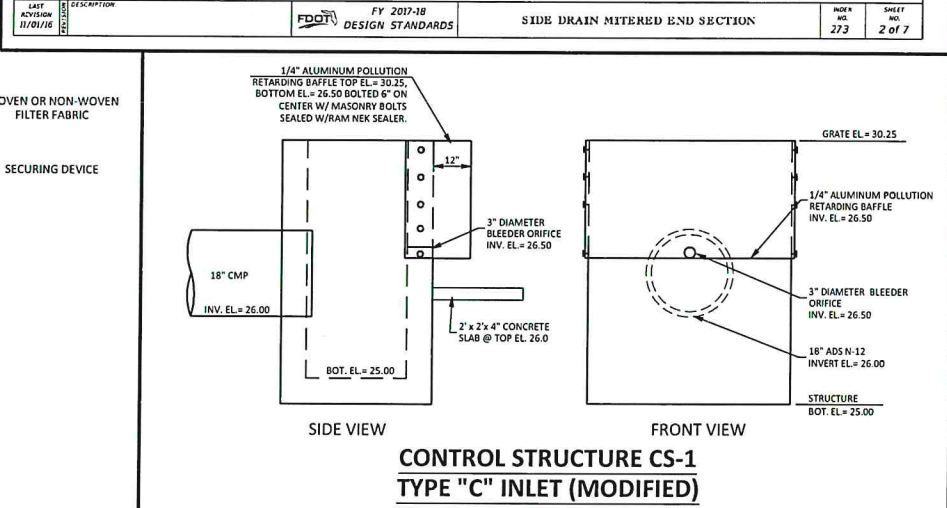
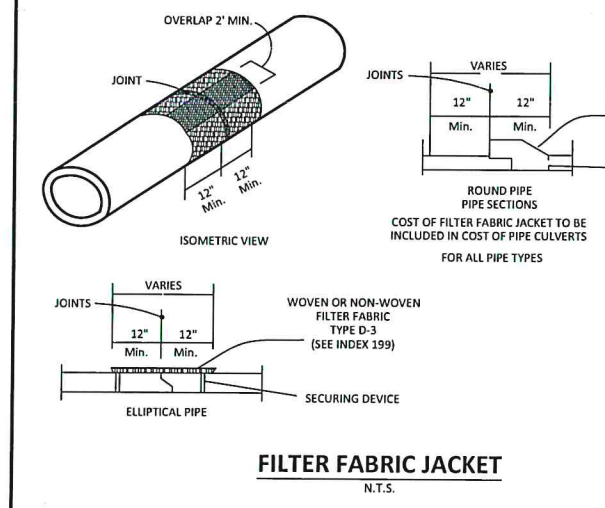
Physical Characteristics	Standard 0.24 Buft	Heavy 0.41 Buft
Structure	Occulted	Occulted
Polymer	HDPE (80% Virgin, 20% Recycled)	HDPE (80% Virgin, 20% Recycled)
Color	Green	Green
UV Stabilized	Yes	Yes
Nominal Dimensions		
Roll Width	6' 0"	6' 0"
Roll Length	32' 8"	32' 8"
Weight per Square Meter	0.24 Buft	0.41 Buft
Thickness	0.43"	0.55"
Mesh Aperture (Diamond Oval)	3:1 Ratio	3:1 Ratio
Technical Characteristics		
Measurement	Results	Results
Tensile Strength (MD)	12 kN/m	16 kN/m
Yield Point Elongation (MD)	30%	35%
Residual Thickness @ 500 kPa	43%	40%
Slip Risk PTV Value	SS7976: 1-3	+40 (low slip)
Applications	Vehicle access routes, Overflow parking lots, Pedestrian and handicap access, Golf cart paths, Footpaths, Without access, Light aircraft taxiway, Slope stabilization and occasional truck access (determined by ground conditions)	

Table 2 : GrassProtecta™ Pins & Pegs

Product	U-Pin	Pegs - Black	Pegs - Yellow	Washers - Yellow
Material	Steel	Plastic	Plastic	Plastic
Size	6" x 2.75" x 0.23"	6" x long	6" x long	2.75 diameter
Outer	50 pack	100 pack	100 pack	100 pack



GrassProtecta™ Standard & Heavy Specification, Design & Installation Guide



THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADOPTION BY STEVEN L. DOBBS, P.E., SHALL BE WITHOUT LIABILITY TO STEVEN L. DOBBS ENGINEERING, LLC.

Steven L. Dobbs Engineering, LLC
1062 JAKES WAY
Okeechobee, FL 34974
Phone: (863) 824-7644

FLORIDA CERTIFICATE OF AUTHORIZATION No. 00029206

HAVEN OF REST CHURCH
LOCATED IN CITY OF OKEECHOBEE

Details

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1. Contractor is responsible for checking actual site conditions before starting construction.
2. Any discrepancies on the drawings shall be brought to the attention of the engineer before commencing work.
3. Contractor shall obtain all required building permits before commencing work.
4. Contractor shall be responsible for location of all existing utilities. The contractor shall contact all concerned utilities at least 48 hours in advance for construction operations.
5. No field changes or deviations from design to be made without prior approval of the engineer.
6. All construction shall be completed in accordance with the applicable ordinances of City of Okeechobee, Florida.
7. Contractor shall supply density tests to engineer on all sub-grade and base. Tests shall be prepared per AASHTO T-180 method.
8. Slope grades from elevations shown to existing grade at property line.
9. Engineer shall be notified at least 48 hours in advance for any inspection.
10. All traffic control devices shall be in accordance with M.U.T.C.D. Standards.

Construction activities can result in the generation of significant amounts of pollutants which may reach surface or ground waters. One of the primary pollutants of surface waters is sediment due to erosion. Excessive quantities of sediment which reach water bodies of floodplains have been shown to adversely affect their physical, biological and chemical properties. Transported sediment can obstruct stream channels, reduce hydraulic capacity of water bodies of floodplains, reduce the design capacity of culverts and other works, and eliminate ethic invertebrates and fish spawning substrates by siltation. Excessive suspended sediments reduce light penetration and therefore, reduce primary productivity.

1. Sediment basin and traps, perimeter dikes, sediment barriers and other measures intended to trap sediment shall be constructed as a first step in any land-distributing activity and shall be made functional before upslope land disturbance takes place.
2. All sediment control measures are to be adjusted to meet field conditions at the time of construction and be constructed prior to any grading or disturbance of existing surface material on balance of site. Perimeter sediment barriers shall be constructed to prevent sediment or trash from flowing or floating on to adjacent properties.
3. Permanent or temporary soil stabilization shall be applied to denuded areas within seven days after final grade is reached on any portion of the site. Temporary soil stabilization shall be applied within seven days to denuded areas that may not be at final grade but will remain undisturbed for longer than 30 days. Permanent stabilization shall be applied to areas that are to be left undisturbed for more than one year.
4. During construction of the project, soil stockpiles shall be stabilized or protected with sediment trapping measures. The applicant is responsible for the temporary protection and permanent stabilization of all soil stockpiles on site as well as soil intentionally transported from the project site.
5. A permanent vegetative cover shall be established on denuded areas not otherwise permanently stabilized. Permanent vegetation shall not be considered established until a ground cover is achieved that, in the opinion of the Reviewer, is uniform, mature enough to survive and will inhibit erosion.
6. Stabilization measures shall be applied to earthen structures such as dams, dikes and diversions immediately after installation.

ENGINEER OF RECORD INSPECTION REQUIREMENTS							
	F.B.V.		DENSITY		L.B.R.		THICKNESS
	MAX SPACING LINEAR SQUARE FEET	MAX SPACING LINEAR SQUARE FEET	MAX SPACING LINEAR SQUARE FEET	MAX SPACING LINEAR SQUARE FEET	MAX SPACING LINEAR SQUARE FEET	MAX SPACING LINEAR SQUARE FEET	MAX SPACING LINEAR SQUARE FEET
COMPACTED OR STABILIZED GRADE	200	5,000	200	5,000	200	5,000	300 10,000
ROCK BASE	—	—	300	10,000	300	10,000	300 10,000
SHELL ROCK	—	—	300	10,000	—	—	300 10,000
ASPHALT	—	—	—	—	—	—	PER INSP PER INSP

ALL TESTING SHALL BE TAKEN IN A STAGGERED SAMPLING PATTERN FROM A POINT 12" INSIDE THE LEFT EDGE OF THE ITEM TESTED, TO THE CENTER, TO A POINT INSIDE OF THE

7. Surface runoff from disturbed areas that is comprised of flow from drainage areas greater than or equal to three acres shall be controlled by a sediment basin. The sediment basin shall be designed and constructed to accommodate the anticipated sediment loading from the land-disturbing activity. The outfall device or system design shall take into account the total drainage area flowing through the disturbed area to be served by the basin.
8. After any significant rainfall, sediment control structures will be inspected for integrity. Any damaged devices shall be corrected immediately.
9. Concentrated runoff shall not flow down cut or fill slopes unless contained within an adequate temporary or permanent channel, flume or slope drain structure.
10. Whenever water seeps from a slope face, adequate drainage or other protection shall be provided.
11. Sediment will be prevented from entering any storm drain system, ditch or channel. All storm sewer inlets that are made operable during construction shall be protected so that sediment-laden water cannot enter the conveyance system without first being filtered or otherwise treated to remove sediment.
12. Before temporary or newly constructed stormwater conveyance channels are made operational, adequate outlet protection and any required temporary or permanent channel lining shall be installed in both the conveyance channel and receiving channel.
13. When work in a live watercourse is performed, precautions shall be taken to minimize encroachment, control sediment transport and stabilize the work area to the greatest extent possible during construction. Nonerodible material shall be used for the construction of causeways and cofferdams. Earthen fill may be used for these structures if armored by nonerodible cover materials.
14. When a live watercourse must be crossed by construction vehicles, a temporary stream crossing constructed of nonerodible material shall be provided.

17. Underground utility lines shall be installed in accordance with the following standards in addition to other applicable criteria:

- A. No more than 500 linear feet of trench may be opened at one time.
- B. Excavated material shall be placed on the uphill side of trenches.
- C. Effluent from dewatering operations shall be filtered or passed through an approved sediment trapping device, or both, and discharged in a manner that does not adversely affect flowing streams or off-site property.
- D. Restabilization shall be accomplished in accordance with these regulations.


3. The Reviewer may approve modifications or alter plans to these erosion control criteria due to site specific conditions.

1. **Clearing and Grubbing:** Clearing and grubbing shall be performed within the limits of the project work in accordance with Section 110, Florida Department of Transportation (FDOT) Specifications. This item shall include, but is not limited to, the complete removal and legal disposal of all trees, brush, stumps, roots, grass weeds, rubbish and other undesirable material to a depth of 18 inches below natural ground or proposed finished grade, whichever is lower. The areas to be cleared generally consist of the entire site with the exception of areas specifically noted on the landscape plans as preserve areas or as areas to remain un-cleared. Care shall be taken to insure that no preserve areas or wetland areas are impacted by the clearing operation. Prior to initiating the clearing operation, all adjacent wetland and preserve areas shall be marked and flagged in accordance with the City of Okeechobee and South Florida Water Management District (SFWMD) requirements. All such areas immediately adjacent to the clearing operation shall also be protected by the installation of temporary silt barriers in accordance with the requirements of The City of Okeechobee and the SFWMD. Further erosion control shall be accomplished by seeding and mulching all disturbed areas as soon as they are at final grade, per the specifications for seeding and mulching found elsewhere on this sheet.

All material shall be removed from the site and shall be legally disposed of in accordance with all local, state and federal requirements.

H. Traffic Control: The installation of Traffic Control Devices shall be in conformance to the requirements of the Manual of Uniform Traffic Control Devices, The City of Okeechobee. Maintenance of traffic During Construction shall be as required by FDOT.

- A. Reinforced Concrete Pipe (RCP):** RCP shall conform to the requirements of ASTM Specifications C-76, Class III, Wall Thickness "B", latest revision. All joints shall be soil-tight. Pipe gasket shall conform to FDOT Specifications, Section 942.
- B. Corrugated Metal Pipe (CMP):** All CMP shall be Steel, round, helical-wound corrugated pipe conforming to AASHTO-M 36 and FDOT Section 943. Pipe ends at joints shall be reformed to a minimum of 2 annular corrugations for the complete band width. All joints shall be soil-tight. All connecting bands shall be corrugated annular coupling bands. A Neoprene gasket of at least 7 inches wide by 3/8 inch thick shall be used for all pipes of 36-inch diameter and smaller. Larger pipe sizes require gaskets of at least 10-1/2 inches in width. All CMP shall be installed at maximum lengths to reduce the number of joints.
- C. Corrugated Aluminum Pipe (CAP):** All CAP shall be aluminum alloy, round, helical-wound corrugated pipe conforming to AASHTO-M 196 and FDOT Section 945. Pipe ends at joints shall be reformed to a minimum of 2 annular corrugations for the complete band width. All joints shall be soil-tight. All connecting bands shall be corrugated annular coupling bands. A Neoprene gasket of at least 7 inches wide by 3/8 inch thick shall be used for all pipes of 36-inch diameter and smaller. Larger pipe sizes require gaskets of at least 10-1/2 inches in width. All CAP shall be installed at maximum lengths to reduce the number of joints.
- D. Corrugated High Density Polyethylene Pipe (HDPE):** All HDPE Pipe shall be resin conforming to ASTM D3350 minimum cell classification 435400C, round, only annular corrugations and conforming to FDOT Section 948-2.3. All joints shall be soil-tight. All connecting bands shall be corrugated annular coupling bands. A Neoprene gasket of at least 7 inches wide by 3/8 inch thick shall be used for all pipes of 36-inch diameter and smaller. Larger pipe sizes require gaskets of at least 10-1/2 inches in width. All HDPE shall be installed at maximum lengths to reduce the number of joints.
- E. Contech A-2000 PVC drainage pipe (A-2000):** All A-2000 corrugated pipe with a smooth interior shall conform to the requirements of ASTM Designation F949 & F794 Dual Wall Corrugated Profile (DWCP) Pipe. Pipe and fittings shall be homogeneous throughout and free from visible cracks, holes, foreign inclusions or other injurious defects. Pipe shall be manufactured to 46 psi stiffness when tested in accordance with ASTM Test Method D2412. There shall be no evidence of splitting, cracking or breaking when the pipe is tested per ASTM Test Method D2412 and F949 section 7.5. The pipe shall be made of PVC compound having a minimum cell classification of 12454B as defined in ASTM Specification D1784.
- F. PVC Drainage Pipe:** PVC Drainage Pipe shall be C-900 with push-on joints (no glued joints) and shall be as specified for sanitary sewer construction, except that it shall be white in color. Any portion of the PVC storm pipe that may be exposed to sunlight, such as its outlet to the detention pond, shall be painted to protect it from UV light.
- G. Inlets, Manholes, and Junction Boxes:** All drainage inlets, manholes, and junction boxes shall be precast concrete conforming to ASTM C-478 and 64T. All concrete shall have not less than 4000-psi compressive strength at 28 days. Structure sections shall be joined with a mastic sealing compound. The remaining space shall be filled with the cement mortar and finished so as to produce a smooth continuous surface inside and outside the wall sections. All openings in precast structures shall be cast at the time of manufacture. Holes for piping shall be six inches larger than the outside diameter of the proposed pipe. All spaces between the manhole and the pipe shall be completely filled with mortar and finished smooth. Mortar used for concrete structures shall conform to M C-270. Mortar material shall be mixed one part Type 2 Portland cement to two parts aggregate by volume. Portland cement shall conform to ASTM C-144 and aggregate shall conform to ASTM C-144. The CONTRACTOR shall furnish the ENGINEER with shop drawings of all precast structures for his approval prior to fabrication. Shop drawings shall show all dimension, reinforcing steel and specifications. Storm Manholes shall be constructed with a traffic bearing cast-iron slotted grate.
- H. Trench Backfill** shall be as shown in the Drainage Details. In addition, testing under paved areas shall be as follows: One test location midway between structures and one test location adjacent to each structure. Engineer may request additional locations. Testing in each location shall begin in the first foot above the culvert with tests every two feet to within two feet of the sub-grade. Density shall be to 100 percent of maximum as determined by AASHTO T-99.
- I. Control Structures:** Shall be constructed per the above specifications for Inlets, Manholes, and Junction Boxes except that the structures shall include the bleeders and weirs as shown on the detail.
- J. Rip-Rap Energy Dissipaters:** Shall be constructed per the details and as shown on the drawings at



**Steven L. Dobbs
Engineering, LLC**
1062 JAKES WAY
Okeechobee, FL 34974
Phone: (863) 824-7644

FLORIDA CERTIFICATE OF AUTHORIZATION No. 00029206

No.	DATE	BY	REVISIONS

HAVEN OF REST CHURCH


LOCATED IN CITY OF OKEECHOBEE

Details

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**Sunshine
State
One Call**

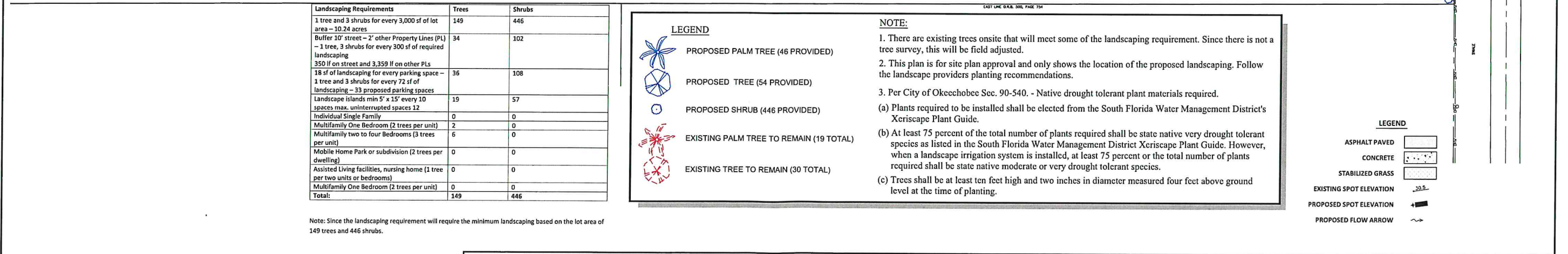
of Florida, Inc.



JOB No.: 2018-022

SHEET

09 OF 09

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HAVEN OF REST CHURCH

LOCATED IN CITY OF OKEECHOBEE

**Landscaping Plan
South View**

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JOB No.: 2018-022
SHEET
02 OF 02



Staff Report

Site Plan Review:

Address: 807 SW 2nd Street

Description: Haven of Rest Church

Prepared for: The City of Okeechobee

Applicant: Tom Velie

Petition No.: 20-005-TRC



1375 Jackson Street # 206 Fort Myers, FL 33901

General Information

Owner Applicant	Haven of Rest Tom Velie
Applicant Phone Number	
Owner Address	32801 Highway 441 N, Lot 244 Okeechobee, FL 34972
Site Address	807 SW 2 nd Street
Contact Person	Steven L. Dobbs
Contact Phone Number	863-634-0194
Contact Email Address	sdobbs@stevedobbsengineering.com

	Existing	Proposed
Future Land Use Map Classification	Multi-Family Residential	Multi-Family Residential
Zoning District	Residential Multiple Family	Residential Multiple Family
Use of Property	Vacant	Church
Acreage	10.2 acres	10.2 acres

Legal Description of the Property

Parcel Identification number: 2-21-37-35-0A00-00006-C000

Legal Description:

THE EAST 10.24 ACRES OF THAT PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 500, PAGE 754, PUBLIC RECORDS OF OKEECHOBEE COUNTY, FLORIDA LYING NORTH OF SOUTHWEST 6TH STREET AND SOUTH OF SOUTH PARK STREET IN SECTION 21, TOWNSHIP 37 SOUTH, RANGE 35 EAST, OKEECHOBEE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTH RIGHT-OF-WAY LINE OF SOUTHWEST 6TH STREET, SAID POINT BEING THE SOUTHWEST CORNER OF THAT PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 452, PAGE 1439; THENCE SOUTH 89°48'47" WEST, ALONG THE NORTH RIGHT-OF-WAY LINE OF SOUTHWEST 6TH STREET, A DISTANCE OF 285.13 FEET; THENCE NORTH 00°09'05" WEST, DEPARTING SAID NORTH LINE, ALONG A LINE PARALLEL TO THE WESTERLY RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD AS LOCATED ALONG THE EAST BOUNDARY OF THE PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 500, PAGE 754, TO THE INTERSECTION WITH A LINE AND THE EXTENSION THEREOF, 100.00 FEET SOUTH OF AND PARALLEL TO THE SOUTH BOUNDARY OF THE LAND DESCRIBED IN OFFICIAL RECORDS BOOK 293, PAGE 257, A DISTANCE OF 994.54 FEET; THENCE NORTH 89°49'33" EAST, ALONG A LINE PARALLEL TO THE SOUTH BOUNDARY LINE OF SAID PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 293, PAGE 257, TO THE INTERSECTION WITH A LINE LYING 70.0 FEET EAST OF AND PARALLEL TO THE EAST BOUNDARY LINE OF SAID PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 293, PAGE 257, A DISTANCE OF 49.69 FEET; THENCE NORTH 00°07'58" WEST, ALONG SAID LINE AND THE EXTENSION THEREOF LYING 70.0 FEET EAST OF THE EAST BOUNDARY OF THE PROPERTY DESCRIBED IN SAID OFFICIAL RECORDS BOOK 293, PAGE 257, A DISTANCE OF 537.64 FEET TO A POINT ON A NON-TANGENT CURVE AND THE SOUTH RIGHT-OF-WAY LINE OF SOUTHWEST 2ND STREET, THROUGH WHICH A RADIAL LINE BEARS NORTH 33°24'04" WEST, SAID CURVE BEING CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 414.09 FEET; THENCE NORTHEASTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 47°12'31", ALONG THE SOUTH RIGHT-OF-WAY LINE OF SOUTHWEST 2ND STREET TO THE INTERSECTION

WITH THE SOUTH RIGHT-OF-WAY LINE OF SOUTH PARK STREET, AN ARC DISTANCE OF 341.19 FEET; THENCE NORTH 89°49'33" EAST, ALONG THE SOUTH RIGHT-OF-WAY LINE OF SOUTH PARK STREET, A DISTANCE OF 23.95 FEET TO THE INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD RIGHT-OF-WAY; THENCE SOUTH 00°09'05" EAST, DEPARTING SAID SOUTH LINE, ALONG THE WEST RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD RIGHT-OF-WAY, A DISTANCE OF 1,040.16 FEET; THENCE NORTH 89°50'55" EAST, DEPARTING SAID WEST LINE, ALONG THE SOUTH RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RIGHT-OF-WAY AND THE SOUTH LINE OF THE PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 463, PAGE 1488, A DISTANCE OF 80.00 FEET TO THE NORTHWEST CORNER OF THE PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 316, PAGE 1436; THENCE SOUTH 00°09'05" EAST, DEPARTING SAID SOUTH LINE, ALONG THE WEST LINE OF THE PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 316, PAGE 1436, A DISTANCE OF 693.33 FEET TO THE NORTH LINE OF THAT PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 452, PAGE 1439; THENCE SOUTH 89°48'47" WEST, DEPARTING SAID WEST LINE, ALONG SAID NORTH LINE, A DISTANCE OF 50.00 FEET TO THE NORTHWEST CORNER OF THE PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 452, PAGE 1439; THENCE SOUTH 00°09'05" EAST, ALONG THE WEST LINE OF SAID PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 452, PAGE 1439, A DISTANCE OF 76.17 FEET TO A POINT ON SAID NORTH RIGHT-OF-WAY LINE OF SOUTHWEST 6TH STREET AND THE POINT OF BEGINNING

General Description

The applicant has submitted plans and supporting documentation for construction of a church sanctuary and a fellowship hall on a 10.24 acre parcel with parking and drainage facilities. The site plan also depicts items planned for later development on the site including a gym, a conference hall, and the reservation of 0.5 acres in the southeast corner of the parcel for a parsonage. The sanctuary, fellowship hall, gym and conference hall are all proposed with building footprints of 70'x150' and 10,500 square feet each. A 20'x25' port cochere is also proposed for the main sanctuary building.

The site is located between SW 8th Ave to the north and SW 6th Street to the south and is currently vacant. Vacant land, which is the site of an approved (yet unbuilt) apartment complex, lies to the west. Retail and manufacturing uses lie to the east.

Adjacent FLUM Classification, Zoning District, and Existing Land Use

North	Future Land Use Map Classification	Industrial Commercial Multifamily Residential Single Family Residential
	Zoning District	Industrial Residential Multiple Family Heavy Commercial
	Existing Land Use	Office and Retail
East	Future Land Use Map Classification	Industrial Commercial Single Family Residential Multifamily Residential
	Zoning District	Industrial Central Business District

		Residential Multiple Family
	Existing Land Use	Retail, Business and Manufacturing
South	Future Land Use Map Classification	Commercial Single Family Residential
	Zoning District	Residential Multiple Family Residential Single Family-One
	Existing Land Use	Church and Childcare
West	Future Land Use Map Classification	Multi Family Residential
	Zoning District	Residential Multiple Family
	Existing Land Use	Currently vacant with approval for an apartment complex

Following is the Staff analysis of the project's consistency with the various City requirements and regulations. Instances where the Staff believes the submission may be deficient are highlighted.

Adequacy of Facilities

POTABLE WATER AND SANITARY SEWER: The Applicant is proposing the use of a well for potable water and a septic system for sewage disposal.

SOLID WASTE DISPOSAL: On several occasions the County has confirmed a considerable level of excess capacity available to serve the solid waste disposal needs of other developments in the City. It's reasonable that the volume of solid waste generated by the proposed establishment can also be accommodated within the capacity of the County's Solid Waste Facility.

DRAINAGE: A Drainage Report has been submitted, and a dry retention area is depicted on the site plan.

TRAFFIC GENERATION: The Institute of Traffic Engineers trip generation rate for churches is 9.11 weekday trips per 1,000 square feet. At 21,000 square feet, the ITE trip generation rates provide an estimate of 191 daily weekday trips for phase one of the project. Phase two of the project would add another 21,000 square feet, as well as a single family residence. Upon completion of all proposed structures, it is estimated that 393 daily weekday trips will be generated by this project. Combined with the additional vehicle trips that will be generated by the approved yet unbuilt apartment complex on the adjacent property to the west, the level of traffic in this neighborhood has the potential to increase substantially.

It may be appropriate to consider requiring that a more in-depth traffic study be conducted at such time as the phase 2 structures are proposed for construction, especially depending on the use of those structures, as gyms, daycares and study areas are often used throughout the week, not just on Sundays. If at that time it is determined that there will be capacity issues, it may be appropriate to require that the access from SW 6th Street be converted from an emergency entrance with stabilized grass to a paved secondary entrance.

ACCESS AND EGRESS: The main ingress/egress for this facility will be from SW 8th Ave. An additional emergency entrance is also proposed from SW 6th St. It should ultimately be the

decision of the fire chief as to whether the stabilized grass driveway is appropriate or if the emergency entrance should be paved.

INTERIOR CIRCULATION: The entrance on SW 8th Ave is 24 feet wide, as are all of the drive aisles with adjacent parking spaces. However, the drive aisle beneath the port cochere is only 17 feet wide and one of the drive aisles at the end of a parking row is only 20' wide. The dumpster pad is located at the end of a parking row and should be accessible for any truck. The loading zone is located adjacent to the sanctuary building and large trucks will likely need to pass beneath the port cochere to access it.

REQUEST FOR REDUCTION IN PAVED PARKING SPACES: Section 90-512(4) requires that places of worship be provided with 1 parking space per 3 persons in main auditorium. The plans state that the maximum seating of the auditorium is 450 persons, which requires 150 parking spaces.

Section 90-484 of the City's land development code allows for applicants to request approval for a reduction in the number of required paved parking spaces. The application submittal package did not mention any such request, though the applicant's engineer has indicated in emails that this request will be made.

Section 90-484 allows for the city council to approve such a request upon submittal of a parking study which demonstrates that the proposed use normally would have a demand for the total required parking spaces only on one or two days a week; and allows for up to 75% of the parking spaces to be reduced.

The site plan shows 150 total parking spaces, with 112 of those spaces surfaced with stabilized grass instead of paved. This represents a 74.7% reduction. Approval of the proposed site plan must be made contingent upon approval of the paved parking request by the city council.

Compatibility with Adjacent Uses

The subject property is located amongst a variety of residential, commercial and industrial uses. To the west lies a vacant property that has been approved for a 190 dwelling unit apartment project. To the east lie commercial uses as well as an active industrial manufacturing facility that is currently proposed for expansion. This church facility should serve as a transitional use between the manufacturing facility and the apartment complex.

Compliance with Land Development Codes

Regulation	Required	Provided
Min Lot Area §90-196(1)(d)	10,000 sq ft	446,054 sq ft
Min Lot Width §90-196(1)(d)	100'	200'

Regulation	Required	Provided
Min FY Setback (SW 8 th Ave) §90-196(2)(b)	25'	240'
Min SY Setback §90-196(2)(b)	20'	30' on west side 86' on east side
Min RY Setback (SW 6 th St) §90-196(2)(b)	20'	300'
Max Lot Coverage §90-196(3)(b)	30%	10%
Max Impervious Surface §90-196(3)(b)	60%	21%
Max Height §90-196(4)	45'	One story (less than 45')
Min Lot Area §90-696(2)	40,000 sq ft	446,054 sq ft
Min Lot Width §90-696(2)	150'	200'
Min FY Setback (SW 8 th Ave) §90-696(3)	40'	240'
Min SY Setback §90-696(3)	25'; 50' abutting residential zoning district or abutting an adjacent residential use in the same residential zoning district.	50'
Min RY Setback (SW 6 th St) §90-696(3)	25'; 50' abutting residential zoning district or abutting an adjacent residential use in the same residential zoning district.	300'
Max Lot Coverage §90-696(4)	25%	10%
Max Height §90-696(5)	45'	One story (less than 45')
Min parking space dimensions §90-511(b)	9' by 20'	10' x 20'
Min Loading space dimensions §90-511(c)	At least 10' wide by 30' long w/14' vertical clearance.	In compliance
Minimum Driveway Width §90-511(d)(2)	24' wide drive for spaces between 75° and 90°.	All parking aisles are 24' wide (one non-parking drive aisle is only 17' and another is only 20')

Regulation	Required	Provided
Paved Parking §90-511(e)(1)	Each parking and loading space shall be paved	Not in compliance. Some spaces are shown with stabilized grass surface.
Paved Space Access §90-511(e)(2)	Each parking or loading space shall open directly onto a driveway that is not a public street, and each parking space shall be designed to permit access without moving another vehicle.	In compliance
Paved Area Safety §90-511(e)(3)	Buildings, parking and loading areas, landscaping and open spaces shall be designed so that pedestrians moving between parking areas and buildings are not unreasonably exposed to vehicular traffic hazards.	In compliance
Paved Pedestrian Walks §90-511(e)(4)	Paved pedestrian walks shall be provided along the lines of the most intense use, particularly between building entrances to streets, parking areas, and adjacent buildings.	Not clear whether the walkway adjacent to the fellowship hall extends to the entrance.
Loading Spaces Identified §90-511(e)(5)	Loading facilities shall be identified as to purpose and location when not clearly evident	In compliance
Min Parking Space Setback §90-511(e)(6)	No parking space accessed via a driveway from a public road shall be located closer than 20' from the right-of-way line of said public road	In compliance
Min Number of Off-street Parking Spaces §90-512(4)	1 space per 3 persons in main auditorium worship <u>$450 \div 3 = 150 \text{ spaces required}$</u>	150 parking spaces provided
Min number of Off-street Loading spaces §90-513(4)	1 for 10,000 to 40,000 sf floor area, plus 1 for each additional 60,000 sf floor area <u><i>1 loading space required for the two currently proposed structures. An additional loading space must be added when future structures are built.</i></u>	1 loading space provided
Min number of ADA parking spaces FI Accessibility Code §208.2	For parking facilities with 151 to 200 parking spaces, at least 6 of those spaces must be ADA spaces	6 ADA parking spaces provided

Regulation	Required	Provided
Min ADA parking space dimensions FI Accessibility Code §502	12' by 20' with a 5' wide access aisle	In compliance
Min Landscaping §90-532	1 tree and 3 shrubs for every 3,000 square feet of lot area <u>446,054 sf of lot area = 149 trees and 446 shrubs required</u>	19 existing palm trees remaining 30 existing trees remaining 46 new palm trees provided 54 new trees provided = 149 total trees 446 proposed shrubs
Landscaping for parking and Vehicular use areas §90-533(1)	18 sf of landscaping required per required parking space. <u>150 x 18 = 2,700 sf of required landscaped area</u>	In compliance
Landscaping for parking and Vehicular use areas § 90-533(2)	One tree per 72 sf of required landscape area $2,700 \div 72 = 38$ required trees	In compliance
Landscaping for parking and Vehicular use areas §90-533(4)	Two feet of landscaping required between buildings and vehicular use areas.	While there is a 2 foot wide space reserved around the perimeter of the sanctuary building and along the north side of the fellowship hall, no landscaping is actually shown in those spaces.
Landscaping for parking and Vehicular use areas §90-533(5)	Min. dimension of landscaped areas must not be less than 4' except adjacent to on-site buildings.	In compliance
Landscaping for parking and Vehicular use areas §90-533(6)	One landscaped island at least 5' by 15' w/at least one tree must be provided for each 10 required parking spaces w/ a maximum of 12 uninterrupted parking spaces in a row.	In compliance
Landscape buffer areas §90-534(1)	10' minimum width of street frontage buffers	In compliance
Landscape buffer areas §90-534(1)	2' minimum width of property line buffers	In compliance

Regulation	Required	Provided
Landscape buffer areas §90-534(2)	<p>1 tree and 3 shrubs for each 300 square feet of required landscaped buffer</p> <p><i>341 linear ft of non-driveway frontage on SW 2nd St requires 10' wide buffer, 3,410 sf of landscaped area, 11 trees and 34 shrubs</i></p> <p><i>1,939 linear ft of east property line requires 2' wide buffer, 3,878 sf of landscaped area, 13 trees and 39 shrubs</i></p> <p><i>265 linear ft of non-driveway south property line requires 10' wide buffer, 2,650 sf of landscaped area, 9 trees and 27 shrubs</i></p> <p><i>1,583 linear ft of frontage on west property line requires 2' wide buffer, 3,166 sf of landscaped area, 11 trees and 32 shrubs</i></p>	<p>In compliance</p> <p>Only 22 shrubs provided</p> <p>In compliance</p> <p>In compliance</p>
Landscape buffer areas §90-534(3)	Trees may be planted in clusters, but shall not exceed 50 feet on centers abutting the street.	In compliance
Species diversification §90-538(c)	When more than ten trees are required to be planted, two or more species shall be used.	Palms and "trees" are proposed
Tree spacing from utility structures §90-538(d)	Trees and shrubs shall not be planted in a location where at their maturity they would interfere with utility services (in accordance with §90-543).	In compliance
Shade §90-538(e)	Trees should maximize the shading of pedestrian walks and parking spaces.	Many of the proposed trees in the parking areas are palms, which do not provide as much shade as other tree types.
Landscape area barriers §90-538(g)	Landscaping shall be protected from vehicular encroachment by means of curbs, wheel stops, walks or similar barriers.	In compliance

Regulation	Required	Provided
Drought tolerance §90-540(b)	At least 75 percent of the total number of plants required shall be state native very drought tolerant species as listed in the South Florida Water Management District Xeriscape Plant Guide. However, when a landscape irrigation system is installed, at least 75 percent of the total number of plants required shall be state native moderate or very drought tolerant species.	In compliance
Min tree size §90-540(c)	Trees shall be at least ten feet high and two inches in diameter measured four feet above ground level at the time of planting.	In compliance
Prohibited species §90-542	Species listed in §90-542 shall not be planted.	In compliance
Sidewalks §78-36(a)(1)	Sidewalks required adjacent to right-of-way	Plans depict a new sidewalk along SW 2 nd Street. There are no existing sidewalks along SW 6 th St in the vicinity of this property.
Photometric Plan §78-71(a)(5)	All off-street parking areas, service roads, walkways and other common use exterior areas open to the public shall have a minimum of one-half horizontal foot-candle power of artificial lighting. Lighting, when provided, shall be directed away from public streets and residential areas and shall not be a hazard or distraction to motorists traveling a street.	Photometric plan provided which demonstrates adequate illumination of the parking area

Recommendation

Based on the foregoing analyses, we recommend that the following conditions be met prior to issuance of building permits:

1. The applicant must receive approval from the city council for a 75% reduction in the number of required paved parking spaces.
2. If the Fire Chief agrees, the stabilized grass driveway that is proposed from SW 6th Street is acceptable as long as a security gate is maintained, and use is restricted to emergency situations only.
3. Plans should clearly demonstrate that a paved walkway extends to the entrance of the fellowship hall. The applicant should also consider rerouting that walkway away from the dumpster pad.
4. Two foot wide landscaped buffers should be provided between buildings and vehicular areas.
5. 17 Additional shrubs should be provided along the east property line.
6. The applicant should consider substituting shade trees for palms in the parking areas and around the walking paths.

Submitted by:



Ben Smith, AICP
Sr. Planner, LaRue Planning

Submitted: September 10, 2020

TRC Hearing date: September 17, 2020

Attachments: Future Land Use, Subject & Environs
Zoning, Subject & Environs
Existing Land Use, Subject & Environs

FUTURE LAND USE Subject Site and Environs



ZONING

- HOPKINS MEANDER LINE
- RAILROAD CENTERLINE
- CENTRAL BUSINESS DISTRICT
- HEAVY COMMERCIAL
- LIGHT COMMERCIAL
- COMMERCIAL PROFESSIONAL OFFICE
- HOLDING
- INDUSTRIAL
- PUBLIC FACILITIES
- PLANNED UNIT DEVELOPMENT-MIXED USE
- PLANNED UNIT DEVELOPMENT-RESIDENTIAL
- RESIDENTIAL MULTIPLE FAMILY
- RESIDENTIAL MOBILE HOME
- RESIDENTIAL SINGLE FAMILY-ONE
- RESIDENTIAL SINGLE FAMILY-TWO
- UNINCORPORATED

EXISTING LAND USE Subject Site and Environs

