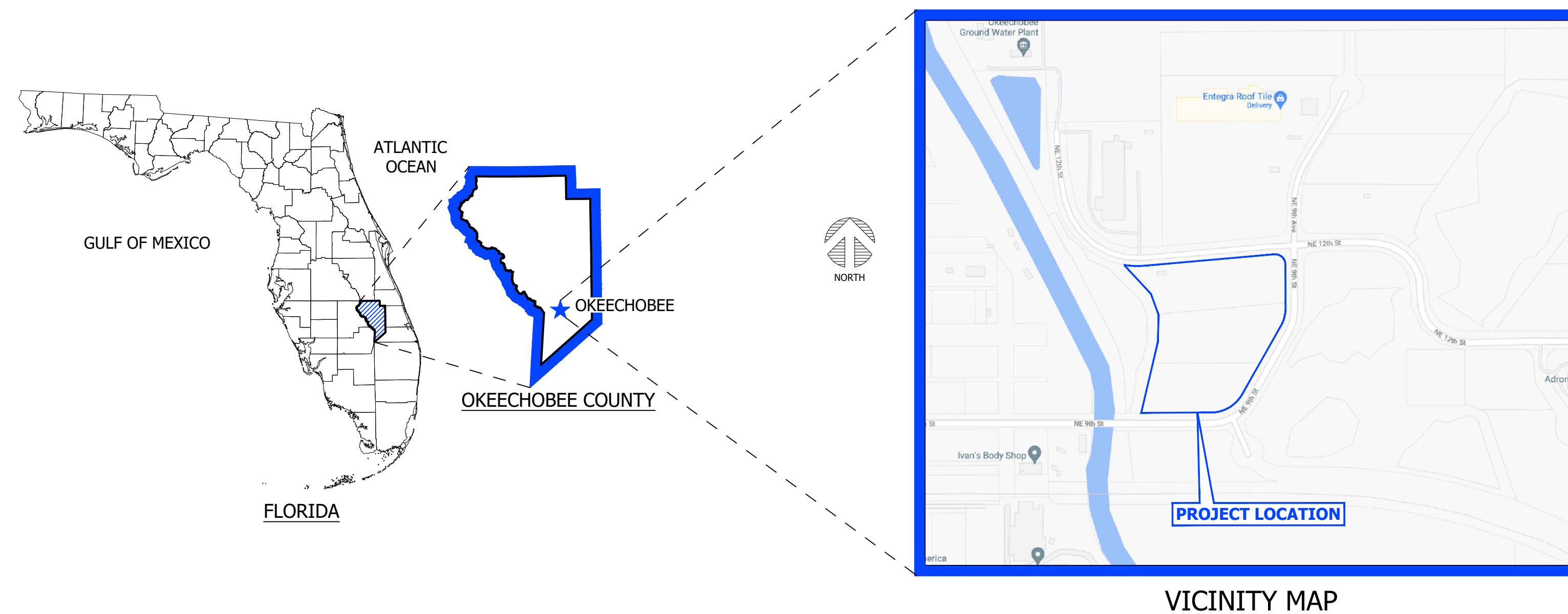


# CITY OF OKEECHOBEE COMMERCE CENTER LOT 1, 2, & 3 IMPROVEMENTS

LOCATION

Section 15, Township 37S, Range 35E  
OKEECHOBEE COUNTY, FLORIDA



## SHEET INDEX

#	SHEET TITLE	ISSUE DATE	REV #	REV DATE
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C200	SWPP & DEMOLITION PLAN	10/27/2023	--	--
C301	SITE PLAN (PH. 1 ONLY)	10/27/2023	--	--
C302	SITE PLAN (PH. 1 & 2)	10/27/2023	--	--
C401	GRADING & DRAINAGE PLAN (PH. 1 ONLY)	10/27/2023	--	--
C402	GRADING & DRAINAGE PLAN (PH. 1 & 2)	10/27/2023	--	--
C501	UTILITY PLAN (PH. 1 ONLY)	10/27/2023	--	--
C502	UTILITY PLAN (PH. 1 & 2)	10/27/2023	--	--
C601	CROSS SECTIONS (1 OF 3)	10/27/2023	--	--
C602	CROSS SECTIONS (2 OF 3)	10/27/2023	--	--
C603	CROSS SECTIONS (3 OF 3)	10/27/2023	--	--
C701	SITE & DRAINAGE DETAILS	10/27/2023	--	--
C702	UTILITY DETAILS	10/27/2023	--	--

## SUBMITTAL HISTORY

[illegible]

## REVISION HISTORY

[illegible]

UTILITY SERVICE PROVIDERS:

CENTURYLINK BILL MCCLOUD (850)599-1444	COMCAST-PBG TONY SPRINGSTEEL (772)321-3425	FLA PUBLIC UTILITIES BRAD COLLINS (561)252-3308	CITY OF OKEECHOBEE UTILITIES DEPT ERIC PHILLIPS 863-298-4174 JOHN HAYFORD (863)763-9460	FLORIDA POWER & LIGHT--OKEECHOBEE JOEL BROWN (386)586-6403
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CONSTRUCTION MATERIALS QUALITY AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH CITY OF OKEECHOBEE SPECIFICATIONS AND STANDARDS, AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.



PREPARED FOR

WESTLAKE ROYAL ROOFING, LLC  
2801 POST OAK BLVD, STE 600  
HOUSTON, TX 77056

PREPARED BY



150 SOUTH WOODLAWN AVENUE, BARTOW, FL 33830 PHONE: (863) 800-3046 FAX: (863) 800-1159  
FLORIDA CERTIFICATE OF AUTHORIZATION (FLCA) #26247

[illegible]

REVISION BLOCK

SANTOS MEDINA, III, P.E.  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER  
LICENSE NO. 74539

10/27/2023

NOT VALID UNLESS PHYSICALLY,  
DIGITALLY, OR ELECTRONICALLY  
SIGNED AND SEALED

DESIGNED BY:	
SM	
DRAWN BY:	
DH	
CHECKED BY:	
SM	



CLIENT: WESTLAKE ROYAL ROOFING, LLC  
PROJECT: CITY OF OKEECHOBEE COMMERCE CENTER

COVER SHEET

NE 9TH AVENUE, OKEECHOBEE, FL 34972

PROJECT NO.	SHEET
2721	C100



ASBUILT/RECORD DRAWING NOTES FOR CONTRACTOR

ALL ASBUILT/RECORD DRAWING INFORMATION SHALL BE PROVIDED FROM A LICENSED PROFESSIONAL LAND SURVEYOR IN BOTH HARD COPY SIGNED & SEALED PRINTS AND DIGITAL FORMAT. ALL DATA SHALL BE ON THE SAME BENCHMARK AS THE DESIGN PLANS AND IN THE STATE PLANE COORDINATE SYSTEM. DIGITAL COPIES OF THE CONSTRUCTION PLANS WILL BE PROVIDED FOR A BASIS OF THE ASBUILT/RECORD DRAWINGS. THE FOLLOWING IS A LIST OF ITEMS TO BE PROVIDED TO THE ENGINEER FOR REVIEW BEFORE FINAL CERTIFICATIONS CAN BE ISSUED. THIS LIST, WHILE EXHAUSTIVE, IS NOT MEANT TO BE ALL-INCLUSIVE. PLEASE USE IT AS A GUIDELINE FOR MINIMUM STANDARDS. ALL DATA PROVIDED SHALL ALSO MEET MINIMUM STANDARDS OF THE UTILITY COMPANY, WATER MANAGEMENT DISTRICT, AND LOCAL GOVERNMENT AS APPLICABLE.

GENERAL:

1. AUTOCAD POINTS WITH DESCRIPTIONS TO BE PROVIDED ON A LOGICAL LAYERING SYSTEM.
2. ALL ITEMS IDENTIFIED ON THE SITE PLAN SHOULD BE SHOWN ON THE ASBUILT/RECORD DRAWING UNLESS OTHERWISE DIRECTED BY THE ENGINEER. THIS INCLUDES LIGHT POLES, BONE RACKS, CURBING, SIDEWALKS, FENCING, UTILITY PADS, ETC.
3. VERTICAL AND HORIZONTAL SEPARATION BETWEEN MAINS SHALL BE DIMENSIONED ON THE ASBUILT/RECORD DRAWING. AT A MINIMUM, SEPARATION DIMENSIONS SHALL BE ADDED IN LOCATIONS WHERE IDENTIFIED ON THE CONSTRUCTION PLANS TO SHOW THE ITEMS WERE CONSTRUCTED PER APPLICABLE STANDARDS.
4. ANY CONFLICT SEPARATIONS LESS THAN THOSE ALLOWABLE ARE TO BE SPECIFICALLY NOTED AND DIMENSIONED.

DRAINAGE & GRADING:

1. CONTROL STRUCTURE DATA INCLUDING ELEVATIONS, DIMENSIONS, AND PIPE SIZE/INVERT SHOWN ON THE CONTROL STRUCTURE DETAIL.
2. POND AND SWALE TOP AND TOE OF SLOPE ELEVATIONS AT INTERVALS NOT TO EXCEED 100 FEET OR CHANGE IN DIRECTION. VISIBLY LOW OR HIGH AREAS SHOULD ALSO BE DETAILED. SUFFICIENT SPOT GRADES SHOULD BE PROVIDED SO THAT THE POND OR SWALE CAN BE RECREATED DIGITALLY AS IT IS CONSTRUCTED FOR THE ENGINEER TO DETERMINE COMPLETION WITH THE DESIGN.
3. DRAINAGE STRUCTURE AND PIPE ASBUILT DATA SHOULD BE PROVIDED ADJACENT TO DESIGN DATA AND IN THE SAME FORMAT AS THE DESIGN.
4. SUFFICIENT LOT GRADES TO DEMONSTRATE LOTS DRAIN IN ACCORDANCE WITH THE DESIGN. MINIMUM SPOT GRADE AT EACH LOT CORNER FOR TYPE A OR TYPE C LOTS AND AN ADDITIONAL MID-LOT LINE GRADE FOR TYPE B LOTS. ASBUILT PAD GRADING IS NOT REQUIRED FOR RESIDENTIAL DEVELOPMENTS UNLESS DIRECTED BY THE OWNER.
5. SUFFICIENT PAVEMENT GRADES, TYPICALLY AT INTERVALS NOT TO EXCEED 100 FEET OR CHANGE IN DIRECTION OR SLOPE.

DATUM

THE ELEVATIONS SHOWN HEREON ARE REFERENCE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD'88) AND ARE BASED ON THE FLORIDA DEPARTMENT OF TRANSPORTATION PUBLISHED CONTROL MARK "8N 22" WITH AN ELEVATION OF 26.65 FEET.

NAVD'88 + 1.217 = NGVD'29

DRAINAGE STRUCTURES

1. ALL DRAINAGE STRUCTURE SHALL CONFORM TO THE LATEST FOOT STANDARD PLANS UNLESS OTHERWISE NOTED.
2. GRATE ELEVATIONS FOR ALL TYPE 5 AND TYPE 6 INLETS REFER TO EDGE OF PAVEMENT.
3. GRATE ELEVATIONS FOR ALL DITCH BOTTOM INLETS REFER TO THE FLOW LINE OF PAVEMENT.

SEQUENCE OF ACTIVITIES

1. INSTALL SILT BARRIERS & TREE BARRICADES AS SHOWN ON PLANS AS APPLICABLE.
2. ROUGH GRADE THE STORMWATER POND AS WELL AS TEMPORARY SWALES TO FORCE DELIVERY OF RUNOFF TO THE POND. THE POND WILL ACT AS A SEDIMENTATION BASIN.
3. STABILIZE CLEARED AREAS WITHIN 7 DAYS OF LAST DISTURBANCE IF RUNOFF IS NOT CAPTURED BY THE STORMWATER POND.
4. INSTALL STORM SEWER CONVEYANCE SYSTEMS.
5. CONSTRUCT ENTRANCES/EXITS AND PAVEMENT.
6. COMPLETE GRADING AND INSTALL PERMANENT SODDING OR OTHER PERMANENT STABILIZATION FEATURES.
7. WHEN ALL CONSTRUCTION IS COMPLETE, STABILIZE ANY REMAINING DISTURBED AREAS.
8. REMOVE INSTALLED SILT BARRIERS AFTER ALL DISTURBED AREAS ARE STABILIZED.

GENERAL SITE NOTES

1. SEE BOUNDARY & TOPOGRAPHY SURVEY FOR LEGAL DESCRIPTION & BENCHMARK INFO.
2. ALL PAVEMENT MARKINGS SHALL BE PAINTED, UNLESS OTHERWISE NOTED, AND SHALL BE ACCOMPLISHED WITH USE OF PAINTING MACHINES AND/OR STENCILS. ALL PAINT FOR PAVEMENT MARKINGS SHALL MEET THE REQUIREMENTS OF SOLVENTBORNE APPLICATION RECOMMENDATIONS.
3. CONTRACTOR TO SAW CUT EXISTING PAVEMENT AT PROPOSED DRIVEWAY TIE INS TO PROVIDE A CLEAN EDGE FOR NEW PAVEMENT AND BASE CONNECTION.
4. CONTRACTOR TO BECOME FAMILIAR WITH AND ADHERE TO ALL ADA STANDARDS.
5. CONTRACTOR TO PROVIDE SMOOTH TRANSITION AT LOCATIONS WHERE EXISTING FEATURES MEET PROPOSED FEATURES (CONCRETE, ASPHALT, ETC.).
6. ALL "MEQ" (MATCH EXISTING GRADE) ELEVATIONS ON ROADWAY SURFACES OR EDGES AND UNDERGROUND STORM/UTILITY PIPES SHOWN ARE APPROXIMATE.
7. AT A MINIMUM, ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED WITH EITHER SOO OR SEED. SOO OR SEED AREAS SHOULD BE WATERED BY EITHER TRUCKS UNTIL ESTABLISHED. SOO SHALL BE STAKED AS REQUIRED IN SLOPED AREAS AND MONITORED FOR WASHOUTS. ONCE THE SOO IS ESTABLISHED, GC MAY REMOVE STAKES. SEEDS AREAS MUST BE WATERED AS NECESSARY TO ALLOW GRASS TO BEGIN GROWING.
8. CONTRACTOR SHALL OBTAIN THE LATEST EDITION OF THE SOIL REPORT FOR THIS PROJECT. GC SHALL ADHERE TO ALL RECOMMENDATIONS AND INSTRUCTIONS INCLUDED IN SOIL REPORT.
9. A COPY OF THE APPROVED PERMIT AND DRAWINGS MUST BE ON THE JOBSITE AT ALL TIMES.
10. ANY SIDEWALKS DISTURBED DURING CONSTRUCTION ARE TO BE REPLACED.
11. IF CONSTRUCTION, RECONSTRUCTION, REPAIR OR MAINTENANCE ACTIVITY NECESSITATES THE CLOSING OF ONE OR MORE TRAVEL LANES OF ANY ROAD ON THE STATE PRIMARY, COUNTY ROAD OR CITY STREET SYSTEM FOR A PERIOD OF TIME EXCEEDING TWO HOURS, THE PARTY PERFORMING SUCH WORK WILL BE RESPONSIBLE TO GIVE NOTICE TO THE APPROPRIATE LAW ENFORCEMENT AGENCY WHICH HAS JURISDICTION WHERE SUCH ROAD IS LOCATED PRIOR TO COMMENCING WORK ON THIS PROJECT.
12. TRAFFIC SHALL BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF FOOT INDEX 102-600 THROUGH 102-670.
13. TRAFFIC SHALL BE MAINTAINED THROUGH THE WORK ZONE AT THE ESTABLISHED SPEED LIMIT.
14. DURING NON-WORKING HOURS, THE DROP-OFF BETWEEN THE TRAVEL LANES AND THE WORK AREA SHALL BE MAINTAINED IN ACCORDANCE WITH INDEX 102-600.
15. ALL EXISTING MARKINGS THAT ARE IN CONFLICT WITH PROPOSED MARKINGS SHALL BE REMOVED.
16. THE PERMANENT REMOVAL OF SIGNS WITHIN THE CONSTRUCTION LIMITS ARE NOT REQUIRED UNLESS SHOWN IN THE PLANS. ALL ADJUSTMENTS SHALL BE IN ACCORDANCE WITH FOOT SPECIFICATIONS.
17. DO NOT PLACE THERMOPLASTIC STRIPES AND MARKINGS ON NEWLY CONSTRUCTED FINAL SURFACES COURSES PRIOR TO 30 CALENDAR DAYS AFTER PLACEMENT OF THE FINAL SURFACE COURSE. THE ENGINEER MAY REQUIRE LONGER CURE PERIODS. PROVIDE TEMPORARY MARKINGS IF THE ROAD IS OPEN TO TRAFFIC.
18. THE LOCATIONS OF EXISTING UTILITIES SUCH AS WATER MAINS, SEWER, GAS LINES, ETC., AS SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION, AND ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. HOWEVER, THE ENGINEER AND OWNER DO NOT ASSUME RESPONSIBILITY FOR THE SIZES AND LOCATIONS SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF THE SIZE AND LOCATION OF ALL EXISTING UTILITIES SHOWN AND NOT SHOWN ON THESE PLANS AND RELATED CONSTRUCTION PRIOR TO COMMENCEMENT OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL UTILITY COMPANIES 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND HAVE THEIR FACILITIES LOCATED IN THE FIELD PRIOR TO ANY WORK.
19. BENCHMARKS AND OTHER REFERENCE POINTS SHALL BE CAREFULLY MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. IF DISTURBED OR DESTROYED, THESE POINTS SHALL BE REPLACED BY A FLORIDA P.L.S. AT CONTRACTOR'S EXPENSE.
20. THE CONTRACTOR IS DIRECTED TO NOTIFY SLOAN ENGINEERING GROUP, INC., PHONE (863) 800-3046, FOR PROBLEMS REQUIRING DEVIATION FROM THESE PLANS AND SPECIFICATIONS.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL EXISTING STRUCTURES, ETC., UNLESS OTHERWISE NOTED. ALL SOIL STRIPPINGS AND ANY UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR UNLESS OTHERWISE DIRECTED BY THE OWNER.
22. THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES AND UTILITIES NOTED TO REMAIN, FROM DAMAGE OR DISPLACEMENT DURING CONSTRUCTION. IN THE EVENT OBSTRUCTIONS ARE ENCOUNTERED, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER AND THE UTILITY COMPANY. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL COSTS INCURRED TO REPAIR DAMAGE OR CORRECT DISPLACEMENT.
23. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT ALL TREES AND OTHER VEGETATION OUTSIDE THE LIMITS OF CONSTRUCTION.
24. WHEN DETAILS ARE PROVIDED, CONTRACTOR SHALL CONSTRUCT JOB PER SPECIFIC DETAILS, AND NOT BY SCALING FROM THESE PLANS.
25. THE CONTRACTOR SHALL RESTORE OFF SITE CONSTRUCTION AREAS TO EQUAL OR BETTER CONDITION THAN EXISTED PRIOR TO COMMENCEMENT OF CONSTRUCTION. IT IS RECOMMENDED TO PROVIDE A VIDEO OF EXISTING CONDITIONS TO THE ENGINEER.
26. THE CONTRACTOR SHALL TAKE SPECIAL NOTICE THAT ALL SPECIFICATIONS AND DETAILS SHOWN HEREON ARE BELIEVED TO BE THE LATEST AND MOST ACCURATE AT THE TIME OF DESIGN AND SUBMITTAL. HOWEVER, THE ENGINEER DOES NOT WARRANT ANY OF THE PROVIDED SPECIFICATIONS AND DETAILS. THESE SPECIFICATIONS AND DETAILS ARE SUBJECT TO REVISION BY THE ISSUING MUNICIPALITIES AND AGENCIES. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL CONSTRUCTION, TESTING AND MATERIALS CONFORM TO THE LATEST EDITIONS OF THE DESIGN REFERENCES INCLUDING, BUT NOT LIMITED TO THE MUNICIPAL LAND DEVELOPMENT REGULATIONS, FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, FOOT MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS (GREEN BOOK) AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
27. THE STORMWATER MANAGEMENT SYSTEM IS TO BE MAINTAINED BY THE PROPERTY OWNER.
28. WITHIN CITY OF OKEECHOBEE RIGHT OF WAY, ALL STREET SIGNS SHALL BE SECURED TO 2" MIN ROUND POLES AND ALL OTHER TRAFFIC SIGNS SHALL BE SECURED TO 2.5" MIN ROUND POLES. ALL SIGNAGE WITHIN PRIVATE RIGHT OF WAY MAY BE DECORATIVE.

STORMWATER POLLUTION PREVENTION NOTES

**A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT IS REQUIRED BEFORE ANY EARTHMOVING ACTIVITIES COMMENCE. THE CONTRACTOR OR THEIR ASSIGNS SHALL BE THE RESPONSIBLE AUTHORITY FOR IMPLEMENTING THE SWPP. EACH PERSON MUST SIGN A CERTIFICATION TO CERTIFY THAT THEY UNDERSTAND AND SHALL COMPLY WITH THE TERMS AND CONDITIONS OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION GENERAL PERMIT FOR STORM WATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORM WATER POLLUTION PREVENTION PLAN.**

GENERAL POLLUTION CONTROL NOTES

1. PRIOR TO ANY CLEARING OR CONSTRUCTION COMMENCEMENT, SILT FENCES SHALL BE INSTALLED IN THE AREAS DESIGNATED ON THIS PLAN. THOSE AREAS DESIGNATED TO BE REINFORCED SHALL HAVE INSTALLED A SECOND ROW OF SILT FENCE. THE SILT FENCE SHALL BE TRENCHED IN 4 INCHES DEEP AND BACKFILLED ON THE UPHILL SIDE.
2. AFTER SILT FENCES ARE INSTALLED, A ROCK CONSTRUCTION ENTRANCE 50 FEET LONG AND 10 FEET WIDE WITH 6 INCH DEEP FOOT #57 STONE LINED WITH FILTER FABRIC SHALL BE CONSTRUCTED AT EACH CONSTRUCTION ENTRANCE SHOWN ON THIS PLAN.
3. ALL CONSTRUCTION MATERIALS AND DEBRIS WILL BE PLACED IN A DUMPSTER AND HAULED OFF SITE TO A LANDFILL OR OTHER PROPER DISPOSAL SITE. THE DUMPSTER SHALL BE LOCATED IN DESIGNATED LOCATION SHOWN ON THIS PLAN.
4. DUST SHALL BE CONTROLLED WITH THE USE OF WATER IF NECESSARY.
5. ALL TOXIC MATERIALS USED IN CONSTRUCTION SHALL BE KEPT IN A COVERED SHED AS SHOWN IN DESIGNATED LOCATION SHOWN ON THIS PLAN.
6. A DOUBLE WALL FUEL TANK WILL BE PLACED ON A DRIP PAN TO CONTAIN AND PREVENT ANY FUEL LEAKS FROM BEING DISCHARGED IN STORM WATER RUNOFF.
7. PORT-O-LETS SHALL BE PLACED IN AREAS DESIGNATED ON THIS SITE PLAN.
8. NO VEHICLE MAINTENANCE WILL BE ALLOWED ON SITE.
9. A WASHDOWN SITE SHALL BE PLACED IN THE AREAS DESIGNATED. A SMALL VEGETATIVE BERM SHALL BE PLACED AROUND THE WASH DOWN AREA.
10. FILTER SOCKS SHALL BE PLACED AT THE ENTRANCE TO ALL EXISTING INLETS TO PREVENT THE STORM SEWER SYSTEM FROM DISCHARGING SEDIMENTS INTO THE RETENTION PONDS.
11. CONTRACTOR TO DEMO TREES AS REQUIRED TO ACCOMMODATE PROPOSED SITE DESIGN/REMOVE ROOT BASE OF ALL EXISTING TREES TO BE DEMOLISHED).
12. ALL CLEARED TREES AND VEGETATION SHALL BE BURNED ONSITE AFTER CONTRACTOR OBTAINS A BURN PERMIT. IF BURNING IS PROHIBITED, TREES TO BE HAULED AWAY.
13. SEDIMENTS MAY NOT BE ALLOWED TO ACCUMULATE MORE THAN HALF THE HEIGHT OF THE SILT FENCE. SEDIMENTS MUST BE PROPERLY DISPOSED OF. AFTER REMOVAL OF SILT FENCES, ALL DISTURBED AREAS SHALL BE GRASSED & MULCHED.
14. PONDS & BASIN CONTROL SHALL BE THE FIRST ITEMS CONSTRUCTED. SIDE SLOPES SHOULD BE IMMEDIATELY SODDED UPON COMPLETION.
15. OUTLETS OF ALL PIPES SHALL BE INSPECTED REGULARLY AND ANY BLOCKAGES REMOVED. ALL FLOW MUST BE MAINTAINED WITH ANY FENCING CONSTRUCTED TO ALLOW FLOW THROUGH OR UNDER THE FENCE.
16. DEWATERING, ALTHOUGH NOT ANTICIPATED, MAY BE REQUIRED FOR INSTALLATION OF UTILITIES, STORM SEWER, OR PAVEMENT. THE DURATION IS DEPENDANT ON THE SCHEDULE OF CONSTRUCTION. THE DEWATERING DISCHARGE WILL BE CONTAINED WITHIN A SETTLING AREA INSIDE THE NEARLY SETTLED STORMWATER POND. THE SETTLING AREAS WILL BE SURROUNDED WITH TURBIDITY BARRIERS IN ACCORDANCE WITH FOOT INDEX 102 & 103. AFTER DEWATERING WORK HAS BEEN COMPLETED, THE SETTLING AREAS WILL BE EXCAVATED AND/OR RESHAPED TO FINALIZE THE PONDS. DEWATERING STRUCTURES SHALL REMAIN IN PLACE UNTIL TRENCHING HAS BEEN COMPLETED. ALL DISCHARGE SHALL BE CONTAINED WITHIN THE PROJECT AREA AS DESCRIBED. NO GROUNDWATER SHALL BE PUMPED DIRECTLY OFFSITE.
17. DURING CLEARING AND GRUBBING AND SITE GRADING STAGES, AREAS THAT ARE DISTURBED AND INACTIVE FOR MORE THAN 7 DAYS SHALL BE STABILIZED WITH KYE GRASS APPLIED AT MANUFACTURERS RECOMMENDATIONS. AFTER SEEDING EACH AREA SHALL BE MULCHED WITH 4000 POUNDS OF STRAW PER ACRE.

MAINTENANCE PLAN DURING CONSTRUCTION

1. SILT FENCE REPAIRS SHALL BE MADE IMMEDIATELY. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN THEY REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
2. MAINTENANCE SHALL BE PERFORMED ON THE CONSTRUCTION ENTRANCE WHEN ANY VOID SPACES ARE FULL OF SEDIMENT.
3. MULCH AND SOO THAT HAS WASHED OUT SHALL BE REPLACED IMMEDIATELY. ALL OTHER AREAS ARE TO BE SEEDDED UNTIL VEGETATION IS ESTABLISHED.
4. ANY WASH OUTS GOING INTO RETENTION PONDS SHALL BE CORRECTED BY INSTALLING A TEMPORARY BERM UPHILL AND ADJACENT TO THE RETENTION POND. ONE SECTION OF 12 INCH PVC PIPE SHALL BE INSTALLED AT THE UPHILL TOE OF BERM AND THROUGH THE BERM INTO THE RETENTION POND. PIPE AND BERM SHALL BE REMOVED WHEN SURROUNDING GRASS IS PERMANENTLY STABILIZED.
5. INSPECTIONS SHALL BE PERFORMED AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A RAIN EVENT THAT IS 0.5 INCHES OR GREATER.
6. THE INSPECTOR SHALL INSPECT ALL POINTS OF DISCHARGE. ALL DISTURBED AREAS OF CONSTRUCTION THAT HAVE NOT BEEN STABILIZED, AREAS WHERE VEHICLES ENTER AND EXIT THE SITE, AND SEDIMENT CONTROL STRUCTURES.
7. THE INSPECTOR SHALL FURNISH A STORM WATER POLLUTION PREVENTION PLAN INSPECTION REPORT FORM IN THE FORMAT DESCRIBED IN THE "SAMPLE COPY OF THE STORM WATER POLLUTION PREVENTION PLAN" AS OUTLINED ON THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION WEBSITE.

MAINTENANCE PLAN AFTER CONSTRUCTION

THE STORMWATER FACILITY MUST BE MAINTAINED CORRECTLY IF IT IS TO PERFORM IN THE MANNER IT WAS DESIGNED. THE STATEMENTS BELOW ARE INTENDED TO BE A GUIDE TO THE CORRECT WAYS TO MAINTAIN THIS FACILITY. THIS IS ONLY A GUIDE AND SHOULD BE REVISED AS FIELD CONDITIONS REQUIRE. THE MAINTENANCE ENTITY SHALL BE RESPONSIBLE FOR MAINTAINING THE SITE. FACILITIES SHALL BE INSPECTED BY A PROFESSIONAL ENGINEER AT INTERVALS OUTLINED IN THE ENVIRONMENTAL RESOURCE PERMIT.

1. ALL STORMWATER PIPES, INLETS, CATCH BASINS, MANHOLES, FLUMES, POND INFLOW AND OUTFALL STRUCTURES (INCLUDING OIL SKIMMERS), AND DISCHARGE PIPES SHOULD BE INSPECTED ON A REGULAR BASIS (MONTHLY OR QUARTERLY) AND AFTER MAJOR RAINFALLS. THEY SHOULD BE MAINTAINED BY REMOVING BUILT-UP DEBRIS AND VEGETATION AND REPAIRING DETERIORATING STRUCTURES.
2. MOW GRASS (WEEKLY DURING THE SUMMER MONTHS AND BI-WEEKLY DURING THE REMAINDER OF THE YEAR) WITHIN THE STORMWATER RETENTION AREAS. GRASS CLIPPINGS SHALL BE COLLECTED AND PROPERLY DISPOSED OF.
3. CHEMICALS, OILS, GREASES OR SIMILAR WASTES ARE NOT TO BE DISPOSED OF DIRECTLY TO THE STORMWATER FACILITY OR THROUGH STORM SEWERS. TREATMENT PONDS ARE DESIGNED TO TREAT NORMAL ROAD, PARKING LOT, ROOF AND HARD RUNOFF ONLY. SOME CHEMICALS MAY INTERFERE WITH A TREATMENT POND'S FUNCTIONS OR KILL VEGETATION AND WILDLIFE. DISPOSE OF THESE POTENTIALLY DANGEROUS MATERIALS PROPERLY BY TAKING THEM TO RECYCLING FACILITIES OR TO COLLECTION LOCATIONS SPONSORED BY THE LOCAL GOVERNMENT. ALWAYS BE AWARE OF GRASS CLIPPINGS IN A SWIM. GRASS CLIPPINGS POSE PROBLEMS BY SMOTHERING DESIRABLE VEGETATION, CLOGGING OUTFALL STRUCTURES AND, WHEN THEY DECOMPOSE, MAY CAUSE UNSIGHTLY ALGAL BLOOMS THAT CAN KILL FISH.
4. ACCUMULATED POND SEDIMENTS MAY CONTAIN HEAVY METALS SUCH AS LEAD, CADMIUM AND MERCURY, AS WELL AS OTHER POTENTIALLY HAZARDOUS MATERIALS. THEREFORE, SEDIMENTS REMOVED FROM STORM SEWERS, INLETS, PIPES AND PONDS SHOULD BE DISPOSED OF AT AN APPROVED FACILITY (CHECK WITH YOUR COUNTY SOLID WASTE DEPARTMENT OR THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION FOR DISPOSAL FACILITIES APPROVED TO ACCEPT TREATMENT POND SEDIMENTS).
5. DURING ANY REPAIR OR MAINTENANCE ACTIVITY, USE CARE TO AVOID CAUSING EROSION OR SILTATION TRANSFER TO ADJACENT OR OFF-SITE AREAS.
6. ALTERATIONS (FILLING, ENLARGING, ETC.) OF ANY PART OF THE STORMWATER FACILITY IS NOT PERMITTED WITHOUT PRIOR APPROVAL FROM ALL APPLICABLE GOVERNING AGENCIES.
7. THE APPROVED OPERATION AND MAINTENANCE PERMIT AND AS-BUILT DRAWINGS ARE AVAILABLE AT YOUR LOCAL WATER MANAGEMENT DISTRICT SERVICE OFFICE/FROM THE PERMITTING AGENCY/HAVING JURISDICTION. REFER TO THOSE PLANS AND PERMITS FOR ADDITIONAL RESTRICTIONS, INSTRUCTIONS AND CONDITIONS.
8. IT IS USUALLY MORE COST-EFFECTIVE TO MONITOR AND PERFORM ROUTINE MAINTENANCE ON A STORMWATER MANAGEMENT SYSTEM, RATHER THAN LET IT FAIL AND HAVE TO RECONSTRUCT THE ENTIRE SYSTEM.
9. MOSQUITO GROWTH CAN BE MINIMIZED IN A STORMWATER MANAGEMENT SYSTEM, BY THE FOLLOWING MEASURES:
  - DO NOT DUMP GRASS CLIPPINGS OR OTHER ORGANIC DEBRIS INTO A SVMS
  - DECAYING GRASS CLIPPINGS AND OTHER DECOMPOSING VEGETATION CREATE IDEAL CONDITIONS FOR BREEDING MOSQUITOES.
  - CLEAN OUT ANY OBSTRUCTIONS THAT GET INTO THE SYSTEM. DEBRIS CAN OBSTRUCT FLOW AND HARBOR MOSQUITO EGGS AND LARVAE.
  - REMOVE WATER LETTUCE AND WATER HYACINTH, WHICH NOURISH AND SHELTER MOSQUITO LARVAE.

BACKFILL, COMPACTION, AND INSPECTION NOTES

1. IT IS RECOMMENDED THE CONTRACTOR SUBMIT A TESTING PLAN TO THE ENGINEER BEFORE COMMENCING CONSTRUCTION SO ANY DEFICIENCIES CAN BE DETERMINED BEFORE STARTING.
2. PROCTOR TESTS SHALL BE PERFORMED ON ALL MATERIAL TO BE USED AS BACKFILL. TESTING FREQUENCY SHALL BE PER FOOT SPECIFICATIONS SECTION 125-9, MINIMUM 1 TEST PER SOIL TYPE OR REPRESENTATIVE SAMPLE.
3. ALL PIPE SHALL BE CAREFULLY LAID, TRUE TO THE LINES AND GRADES AS SHOWN ON THE PLANS. ALL PIPE SHALL BE LAID IN DRY BEDDING CONDITIONS.
4. BACKFILLING SHALL PROGRESS AS RAPIDLY AS THE CONSTRUCTION AND TESTING OF THE WORK WILL PERMIT. ALL BACKFILL MATERIAL SHALL BE SUITABLE AND FREE OF DELETERIOUS MATERIAL.
5. MATERIAL NOT SUITABLE FOR BACKFILL INCLUDES MUCK, ROCK, CLAY, PHOSPHATE SLIMES, OR OTHER PLASTIC MATERIALS INCLUDING A-2-G, A-2-7, A-5, A-6, AND A-7. NOTE: A-7 MAY BE USED AS SPECIFIED IN FOOT SPECIFICATIONS SECTION 125-8. THESE SOILS, IF ENCOUNTERED DURING SITE PREPARATION, SHOULD BE REMOVED WITHIN A 6' MARGIN OF THE CONSTRUCTION AREA AND FOOT #57 AGGREGATE BEDDING MATERIAL SHALL BE PLACED UNDER THE PIPE IN ACCORDANCE WITH THE TYPE A BEDDING DETAIL.
6. THE INITIAL BACKFILL SHALL BE CAREFULLY DEPOSITED ON BOTH SIDES OF THE PIPE AT THE SAME TIME AND UNIFORMLY COMPACTED AROUND THE BARREL OF THE PIPE UNTIL ENOUGH HAS BEEN PLACED TO PROVIDE A COVER OF 12" ABOVE THE CROWN OF THE PIPE. IN NO CASE SHALL BACKFILL MATERIAL BE PLACED IN THE TRENCH IN A MANNER THAT WILL CAUSE SHOCK TO OR UNEQUAL PRESSURE ON THE PIPE.
7. INITIAL LIFTS OF 6" SHALL BE PLACED UP TO THE TOP OF PIPE. LIFT MAY CONTINUE AT 12" INTERVALS THEREAFTER IF COMPACTION REQUIREMENTS CAN BE ACHIEVED.
8. IN AREAS WITHIN 6' OF ANY PAVED SURFACE, BACKFILL SHALL BE COMPACTED TO 100% OF T-99. IN ALL OTHER AREAS, BACKFILL SHALL BE COMPACTED TO 95% OF T-180.
9. EXCAVATABLE FLOWABLE FILL IS ACCEPTABLE.
10. BACKFILL AROUND STRUCTURES SHALL BE COMPACTED TO 100% OF T-99.
11. COMPACTION TESTS SHALL BE IN ACCORDANCE WITH SECTION 125-8 OF THE FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. THE CITY/COUNTY ENGINEER MAY DETERMINE THAT MORE COMPACTION TESTS ARE REQUIRED TO CERTIFY THE INSTALLATION DEPENDING ON FIELD CONDITIONS. THE LOCATIONS OF COMPACTION TESTS WITHIN THE CONFORMANCE SHALL BE DETERMINED BY THE ENGINEER. THE FOLLOWING ARE THE MINIMUM REQUIREMENTS:
  - 11.1. CROSS DRAIN CULVERTS SHALL HAVE A MINIMUM OF TWO DENSITY TESTS PER LIFT.
  - 11.2. ONE TEST AT THE SPRING LINE OF THE PIPE.
  - 11.3. AT LEAST ONE TEST FOR EACH 12-INCH LAYER OF BACKFILL WITHIN THE PIPE BEDDING ZONE FOR PIPES 24 INCHES AND LARGER.
  - 11.4. ONE TEST AT AN ELEVATION OF ONE FOOT ABOVE THE TOP OF THE PIPE.
  - 11.5. ONE TEST FOR EACH TWO FEET OF BACKFILL PLACED FROM ONE FOOT ABOVE THE TOP OF THE PIPE TO FINISHED GRADE ELEVATION.
12. CONTRACTOR TO INSPECT ALL STORM PIPES AND GRAVITY SANITARY SEWER MAINS UTILIZING A CLOSED CIRCUIT TELEVISION SYSTEM PREPARING A DVD OF THE RESULTS. THE INSPECTION SHALL DETERMINE THE CONDITION OF THE PIPE FOR ACCEPTABILITY. VIDEO SHALL EXTEND TO THE END OF ALL PIPES.

LAND DEVELOPMENT STANDARD NOTES

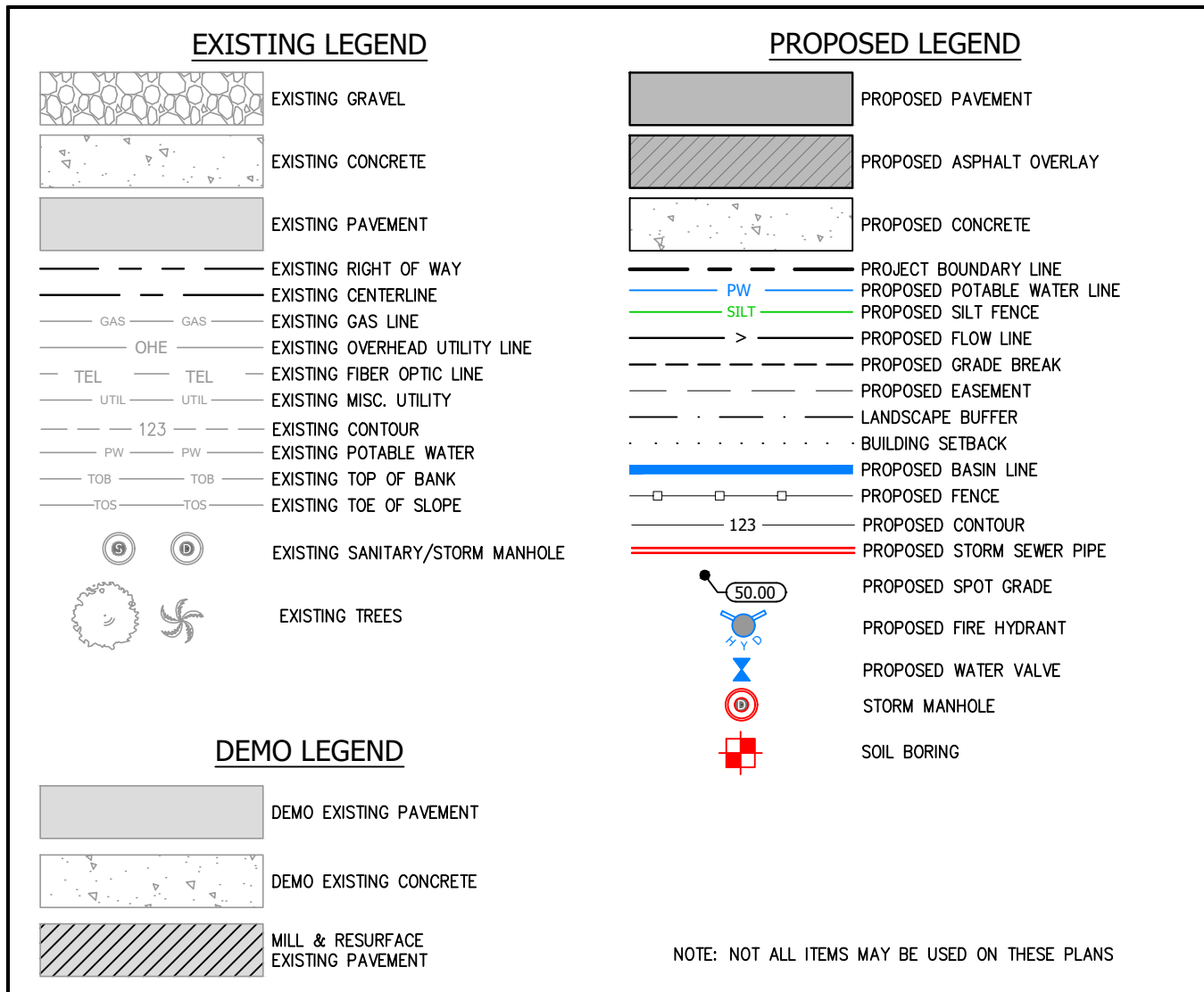
1. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF AHD LAND DEVELOPMENT CODE AND UTILITIES CODE, AS APPLICABLE.
2. CHANGES FROM PLANS OR SPECIFICATIONS SUBSTANTIALLY AFFECTING CONFORMANCE TO STANDARDS OR PERFORMANCE OF SYSTEMS MUST BE SUBMITTED IN A WRITTEN REQUEST BY THE ENGINEER OF RECORD AND RECEIVE WRITTEN APPROVAL BY THE A/E ENGINEER PRIOR TO THE IMPLEMENTATION OF SUCH CHANGES, UNLESS OTHERWISE PROVIDED FOR IN THE LAND DEVELOPMENT CODE OR UTILITIES CODE. MAJOR MODIFICATIONS MAY REQUIRE REVIEW AND APPROVAL BY THE DEVELOPMENT REVIEW COMMITTEE.
3. THE CONTRACTOR SHALL NOTIFY INSPECTIONS STAFF AT LEAST FIVE (5) WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND PRIOR TO ANY ACTIVITY REQUIRING INSPECTION, INCLUDING SITE PAVING.
4. TO SCHEDULE THE REQUIRED PRE-CONSTRUCTION MEETING, THE CONTRACTOR SHALL CONTACT LAND DEVELOPMENT DIVISION.
5. AT THE COMPLETION OF CONSTRUCTION, AND PRIOR TO BENEFICIAL USE OF ANY FACILITY OR SYSTEM, AS-BUILT RECORD DRAWINGS SHALL BE SUBMITTED AND APPROVED IN ACCORDANCE WITH THE APPLICABLE UTILITIES CODE AND LAND DEVELOPMENT CODE.
6. NOT FOR THE PROJECT WILL BE IN ACCORDANCE WITH THE CURRENT FOOT TRAFFIC CONTROL REQUIREMENTS THROUGH WORK ZONES, SECTION 600, OF THE FOOT DESIGN STANDARDS. CONTRACTOR TO PROVIDE ADDITIONAL NOT PLAN IF THE CONSTRUCTION WORK CANNOT ADHERE TO TYPICAL FOOT NOT STANDARDS.

PAVING OPERATION NOTES

1. BEFORE PAVING OPERATIONS BEGIN, THE ENGINEER SHALL BE PROVIDED WITH ALL DENSITY TESTING INCLUDING PIPE BACKFILL, SUBGRADE, AND ROAD BASE. TESTING SHALL BE PROVIDED BEFORE ANY PAVING MEETINGS ARE SCHEDULED.
2. ASPHALT MIX DESIGNS MUST BE PROVIDED TO THE ENGINEER FOR APPROVAL PRIOR TO PAVING. MIXES MUST BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER OR SUPPLIED BY AN APPROVED FOOT PLANT.
3. ANY DEVIATIONS IN ASPHALT TYPE, LIFT THICKNESS, OR COMPACTION MUST BE PRESENTED TO THE ENGINEER FOR APPROVAL PRIOR TO IMPLEMENTATION. DEVIATIONS MAY REQUIRE APPROVAL BY THE A/E.
4. IT IS RECOMMENDED THE CONTRACTOR SUBMIT A TESTING PLAN TO THE ENGINEER BEFORE COMMENCING PAVING OPERATIONS SO ANY DEFICIENCIES CAN BE DETERMINED BEFORE STARTING.
5. TESTS FOR IN-PLACE DENSITY AND LAYER THICKNESS, FOR EACH COURSE, SHALL BE CONDUCTED AT A FREQUENCY OF ONE TEST PER 300 LINEAR FEET OF ROADWAY (MINIMUM 3 TESTS PER ROAD).
6. PAVEMENT CORES ARE TO BE TAKEN AT A MINIMUM FREQUENCY OF 3 CORE PER 500 TONS OF ASPHALT. DENSITY, THICKNESS, AND GRADATION REPORT IS TO BE PROVIDED FOR ASPHALT, BASE, AND SUBGRADE. MINIMUM ASPHALT DENSITY SHALL BE 89% GMM, WITH A MINIMUM AVERAGE BETWEEN 3 CORES OF 92% GMM.
7. MINIMUM LIFT THICKNESS SHALL CONFORM TO FOOT SPECIFICATIONS 334-1.4.1.
8. WHEN THE DEFICIENCY IN THICKNESS IS IN EXCESS OF THE MINIMUM THICKNESS REQUIRED ON APPROVED PLANS, LESS THE ALLOWABLE CONSTRUCTION TOLERANCE, THE CONTRACTOR SHALL CORRECT THE DEFICIENCY EITHER BY REPLACING THE FULL THICKNESS FOR A LENGTH EXTENDING AT LEAST 50 FEET FROM EACH END OF THE DEFICIENT AREA, OR WHEN PERMITTED BY THE COUNTY ENGINEER BY OVERLAYING THE ENTIRE WIDTH OF THE AREA. NORMALLY AN OVERLAY WILL NOT BE PERMITTED IN A CONCRETE CURB SECTION.
9. ASPHALT SHALL BE UNIFORM IN TEXTURE AND SLOPE TO THE GREATEST EXTEND POSSIBLE. AREAS OF POOR GRADATION SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
10. TESTS FOR SUBGRADE STABILIZATION SHALL BE LOCATED NO MORE THAN 400 FEET APART (FOR ROADWAYS) OR EVERY 8,000 SF (FOR PARKING LOTS) AND SHALL BE STAGGERED TO THE LEFT, RIGHT, AND ON THE CENTERLINE OF THE ROAD.

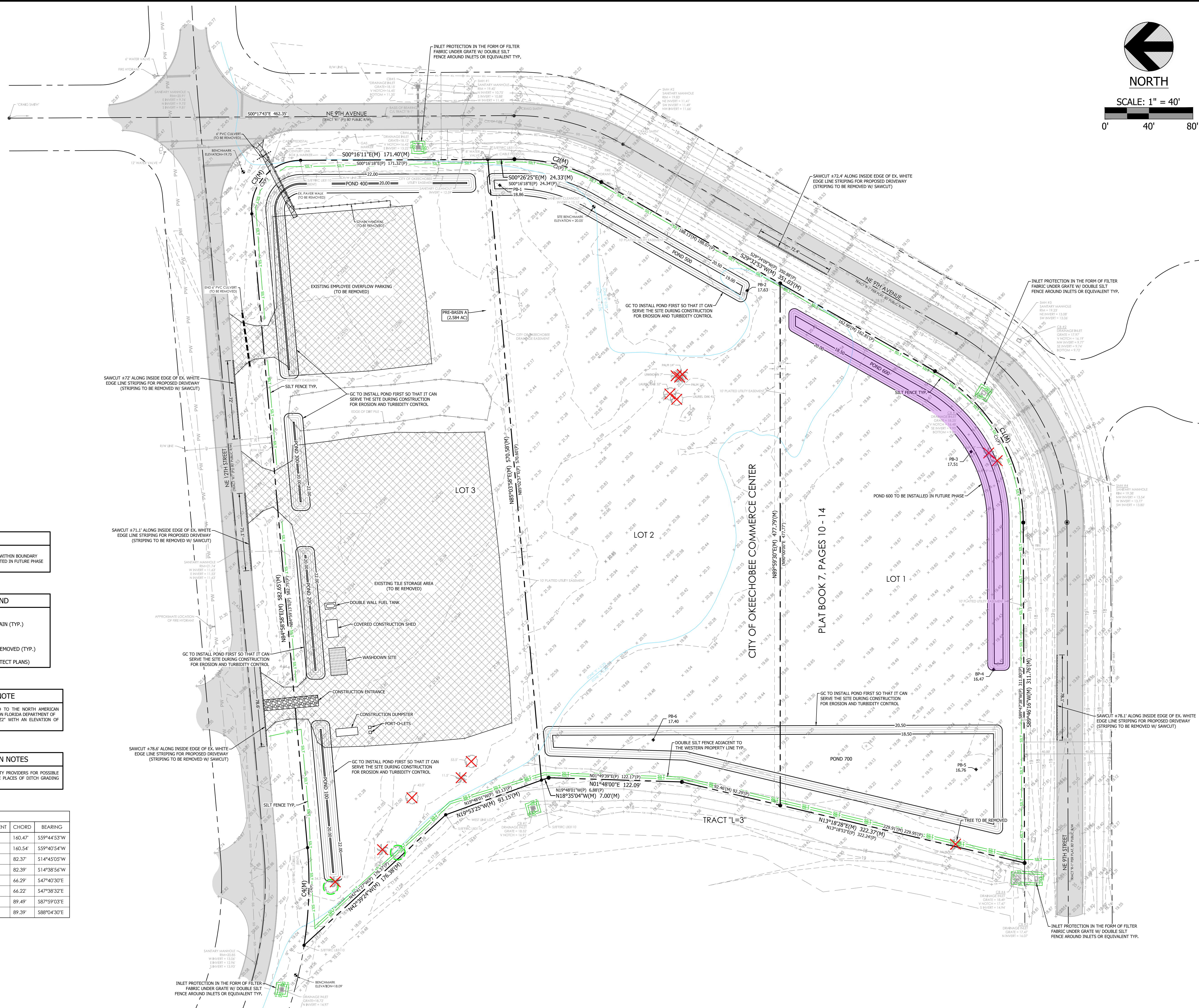
GENERAL POTABLE WATER AND SANITARY SEWER NOTES

1. CONTRACTOR TO MAKE A SUNSHINE ONE CALL AND FIELD LOCATE ALL EXISTING UTILITIES. ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE.
2. ALL VALVES, SERVICES, FITTINGS, HYDRANTS, ETC. ARE NOT DRAWN TO SCALE BUT ARE SHOWN FOR SCHEMATIC PURPOSES ONLY. FOR PROPER INSTALLATION DETAILS SEE WATER AND SEWER DETAILS AND SPECIFICATIONS.
3. CONTRACTOR TO PERFORM ALL CONNECTIONS TO EXISTING WATER MAIN IN THE PRESENCE OF AN AUTHORIZED OKEECHOBEE UTILITY AUTHORITY UTILITIES DIVISION PERSONNEL.
4. BACTERIOLOGICAL SAMPLING POINTS SHALL BE TAKEN AT ALL POINTS SHOWN ON UTILITY PLANS AND ALL POINTS INDICATED ON THE DEEP PERMIT. A MINIMUM OF 1 SAMPLE SHALL BE TAKEN AT THE PROPOSED METER LOCATION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING THE SEWER & WATER DISTRIBUTION SYSTEM ACCORDING TO THE ENGINEER'S DESIGN AND THE LATEST OKEECHOBEE UTILITY AUTHORITY UTILITIES SPECIFICATIONS AND PROCEDURES.
6. CONTRACTOR SHALL PROVIDE ALL SERVICE AND BEND LOCATIONS TO THE ENGINEER FOR ASBUILT/RECORD DRAWINGS.
7. ALL PRESSURIZED MAINS SHALL BE POLY-PIGGED.
8. AS-BUILT DRAWINGS SHALL INDICATE ANY DEPARTURES FROM THE APPROVED PLANS DURING CONSTRUCTION.
9. THE SUBDIVIDER OR CONTRACTOR SHALL NOTIFY OKEECHOBEE UTILITY AUTHORITY AT LEAST ONE WEEK PRIOR TO CONSTRUCTION.
10. PROPOSED MANHOLES WITH INVERT SEPARATIONS OF 2.0 FEET OR GREATER WILL REQUIRE A DROP CONNECTION.
11. ALL HYDRANTS TO BE BETWEEN 5 AND 10 FEET BACK OF CURB AND 2 FEET FROM SIDEWALK. NOZZLE TO BE DIRECTED TOWARDS THE FIRE DEPARTMENT ACCESS ROAD.
12. BLUE REFLECTORS TO BE INSTALLED IN THE CENTER OF THE LANE NEAREST THE FIRE HYDRANT.
13. THE CONTRACTOR SHALL OBTAIN A CITY OF OKEECHOBEE RIGHT OF WAY USE PERMIT PRIOR TO THE COMMENCEMENT OF ANY WORK WITHIN CITY OF OKEECHOBEE RIGHT OF WAY.
14. ALL WATER AND SEWER LINES ARE TO BE INSTALLED WITH A MINIMUM OF 3' OF COVER.
15. ALL CONSTRUCTION MATERIALS SHALL BE LISTED ON THE APPROVED MATERIALS LIST PROVIDED BY THE UTILITY COMPANY. CONTRACTOR TO ENSURE ALL PUBLICLY MAINTAINED ITEMS ARE IN ACCORDANCE WITH THE UTILITY CODE.
16. HORIZONTAL AND VERTICAL SEPARATION BETWEEN DISSIMILAR UTILITIES ARE TO BE MAINTAINED PER THE PROVIDED SEPARATION DETAIL, WHERE POSSIBLE. THE LEAST CONTAMINATED UTILITY SHALL BE PLACED ABOVE THE OTHERS. MINIMUM VERTICAL SEPARATION OF DISSIMILAR UTILITIES IS 12" UNLESS OTHERWISE NOTED.
17. SLOAN ENGINEERING GROUP SHALL BE NOTIFIED A MINIMUM OF 48 HOURS PRIOR TO ANY TESTING OR DISINFECTING.
18. HYDROSTATIC TESTS CONSISTING OF PRESSURE TEST AND LEAKAGE TEST SHALL BE CONDUCTED ON ALL NEWLY-INSTALLED PRESSURE PIPES AND APPURTENANCES. THE TESTS SHALL BE IN ACCORDANCE WITH PROVISIONS OF AWWA C600 OR M23 AS APPLICABLE. ADDITIONAL TESTING STANDARDS BY THE UTILITY COMPANY MAY BE REQUIRED.
19. DISINFESTION OF THE WATER DISTRIBUTION SYSTEM SHALL BE PERFORMED IN ACCORDANCE WITH AWWA C651-DISINFECTING WATER MAIN.
20. ROOF DRAINS, FOUNDATION DRAINS OR OTHER STORM WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
21. WHERE THE SOILS REPORT INDICATES THE POSSIBILITY OF UNSUITABLE MATERIAL IN THE VICINITY OF UTILITY LINES, THE CONTRACTOR SHALL DETERMINE THE NATURE AND EXTENT OF THIS UNSUITABLE MATERIAL. PREPARE TRENCH AND INSTALL THE UTILITY LINES IN ACCORDANCE WITH ASTM D-2321. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ENGINEER OF THIS UNSUITABLE MATERIAL.
22. FOR PURPOSES OF BACKFILLING TRENCHES, COMMON FILL SHALL CONSIST OF MINERAL SOIL, SUBSTANTIALLY FREE OF CLAY, ORGANIC MATERIAL, MUCK, LOAM, WOOD, TRASH AND OTHER OBSERVABLE MATERIAL WHICH MAY BE COMPRESSIBLE OR WHICH CANNOT BE COMPACTED PROPERLY. COMMON FILL SHALL NOT CONTAIN STONES LARGER 3-1/2 INCHES IN ANY DIMENSION IN THE TOP 12 INCHES OR SIX INCHES IN ANY DIMENSION IN THE BALANCE OF FILL AREA. COMMON FILL SHALL NOT CONTAIN ABRADED, BROKEN CONCRETE, MASONRY, RUBBLE OR OTHER SIMILAR MATERIALS. IT SHALL HAVE PHYSICAL PROPERTIES SUCH THAT IT CAN BE READILY SPREAD AND COMPACTED DURING FILLING. ADDITIONAL COMMON FILL SHALL BE IN ACCORDANCE WITH FOOT SPECIFICATIONS, UNLESS FINER MATERIAL IS APPROVED FOR USE IN A SPECIFIC LOCATION BY THE UTILITY COMPANY.




CLIENT:		PROJECT:		PROJECT NO.		SHEET	
WESTLAKE ROYAL ROUTING, LLC		CITY OF OKEECHOBEE COMMERCE CENTER		2721		C101	
DESIGNED BY:		DRAWN BY:		CHECKED BY:		DATE:	
SM		DH		SM		NO.	
DESCRIPTION		REVISION BLOCK		DATE		NO.	
SLOAN Engineering Group		CITY OF OKEECHOBEE COMMERCE CENTER		2721		C101	
150 SOUTH WOODLAWN AVENUE, BARTOW, FL 33830		NOTES & SPECIFICATIONS		WESTLAKE ROYAL ROUTING, LLC		CITY OF OKEECHOBEE COMMERCE CENTER	
(863) 800-3046		NE 9TH AVENUE, OKEECHOBEE, FL 34972		SLOAN Engineering Group		CITY OF OKEECHOBEE COMMERCE CENTER	
FLORIDA CERTIFICATE OF AUTHORIZATION (FLCA) #26247		NOTES & SPECIFICATIONS		WESTLAKE ROYAL ROUTING, LLC		CITY OF OKEECHOBEE COMMERCE CENTER	
SLOAN Engineering Group		CITY OF OKEECHOBEE COMMERCE CENTER		2721		C101	
150 SOUTH WOODLAWN AVENUE, BARTOW, FL 33830		NOTES & SPECIFICATIONS		WESTLAKE ROYAL ROUTING, LLC		CITY OF OKEECHOBEE COMMERCE CENTER	
(863) 800-3046		NE 9TH AVENUE, OKEECHOBEE, FL 34972		SLOAN Engineering Group		CITY OF OKEECHOBEE COMMERCE CENTER	
FLORIDA CERTIFICATE OF AUTHORIZATION (FLCA) #26247		NOTES & SPECIFICATIONS		WESTLAKE ROYAL ROUTING, LLC		CITY OF OKEECHOBEE COMMERCE CENTER	



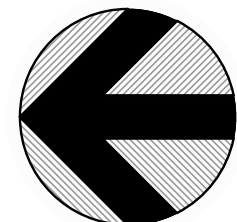
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**LEGEND**

	WORK DEPICTED WITHIN BOUNDARY TO BE CONSTRUCTED IN FUTURE PHASE
---	--







NORTH

SCALE: 1" = 40'

0' 40' 80'

#### FIRE NOTES

AS PART OF THE CITY OF OKEECHOBEE'S APPROVAL OF THE SITE PLAN, THE SITE IS REQUIRED TO MAINTAIN A 20' WIDE MINIMUM PATH FOR FIRE TRUCK ACCESS.  
A KNOX BOX IS REQUIRED TO BE PLACED AT ALL GATED ENTRANCES.

#### SITE CHARACTERISTICS

##### PARCEL INFORMATION:

PROJECT LOCATION: NE 9TH AVE  
OKEECHOBEE, FL 34972  
PARCEL ID: 3-15-37-35-0020-00000-0030 (34258)  
3-15-37-35-0020-00000-0020 (34257)  
3-15-37-35-0020-00000-0010 (34256)  
PROJECT/SITE AREA: 8.31 AC  
ZONING: INDUSTRIAL  
LAND USE: INDUSTRIAL  
CURRENT USE: PARKING LOT  
PROPOSED USE: LIGHT MANUFACTURE  
FLOOD AREA: ZONE "X"  
FIRM: 12093CD415C  
FIRM DATE: JULY 16, 2015

##### BUILDING SETBACKS:

NORTH: 25'  
SOUTH: 20'  
EAST: 15'  
WEST: 15'

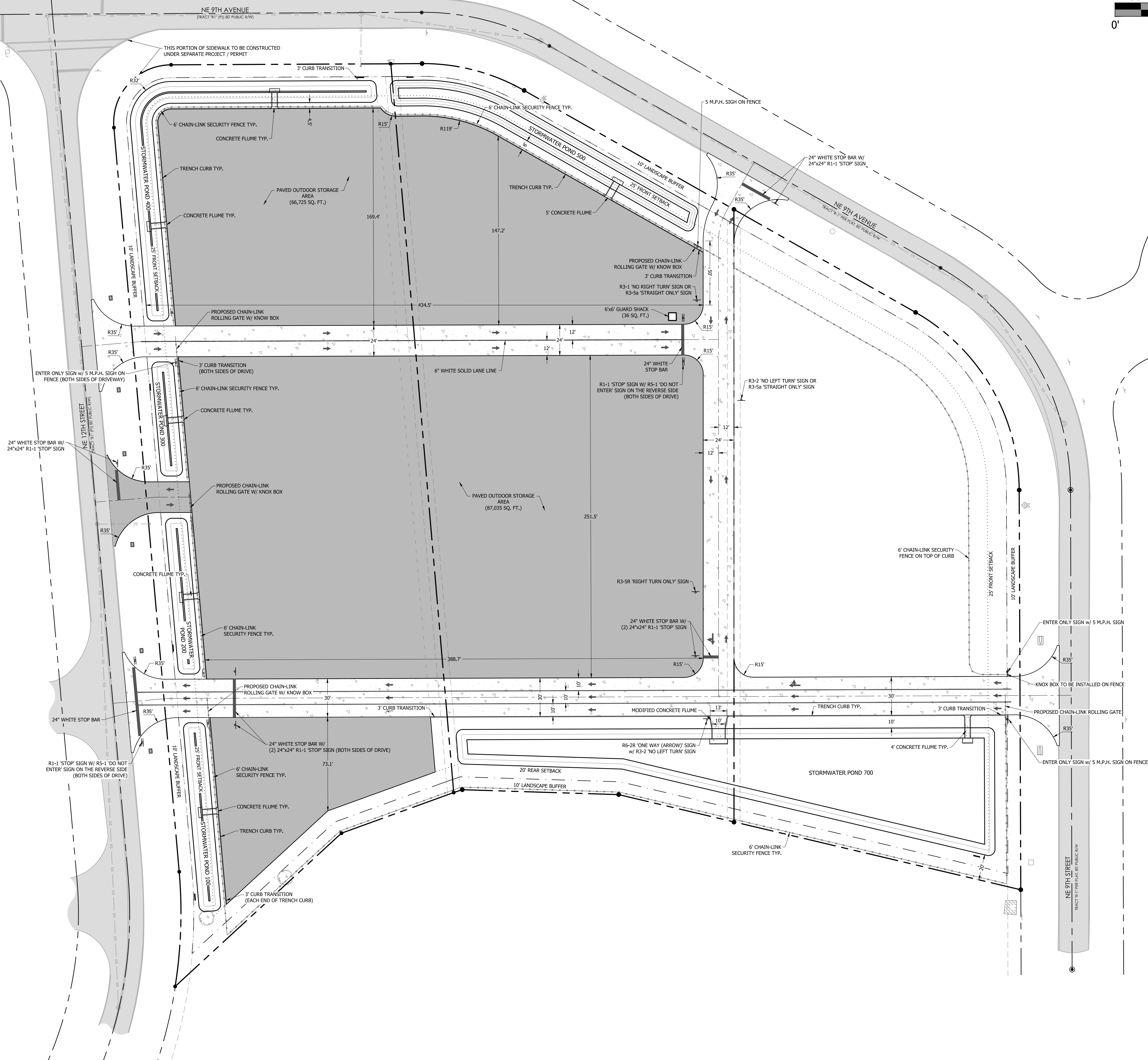
##### DEVELOPMENTAL STATS (PHASE 1 ONLY):

###### PRE DEVELOPMENT

IMPERVIOUS:	0.00 AC	0 SF	0.00%
PERVIOUS:	8.31 AC	362,036 SF	100.00%
TOTAL SITE AREA:	8.31 AC	362,036 SF	100.00%

###### POST DEVELOPMENT

PERVIOUS:	3.36 AC	146,303 SF	40.41%
IMPERVIOUS:	4.95 AC	215,733 SF	59.59%
PAVEMENT/CONCRETE:	4.95 AC	215,733 SF	
BUILDING:	0.00 AC	0 SF	
TOTAL SITE AREA:	8.31 AC	362,036 SF	100.00%



NO. DATE DESCRIPTION

#### REVISION BLOCK



DESIGNED BY:

SM

DRAWN BY:

DH

CHECKED BY:

SM



CLIENT: WESTLAKE ROYAL ROOFING, LLC

PROJECT: CITY OF OKEECHOBEE COMMERCE CENTER

SITE PLAN (PH. 1 ONLY)

NE 9TH AVENUE, OKEECHOBEE, FL 34972

PROJECT NO.

2721

SHEET

C301

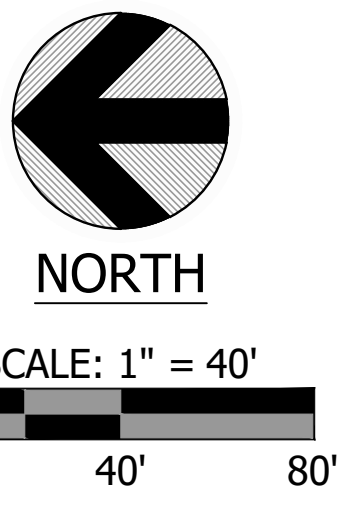
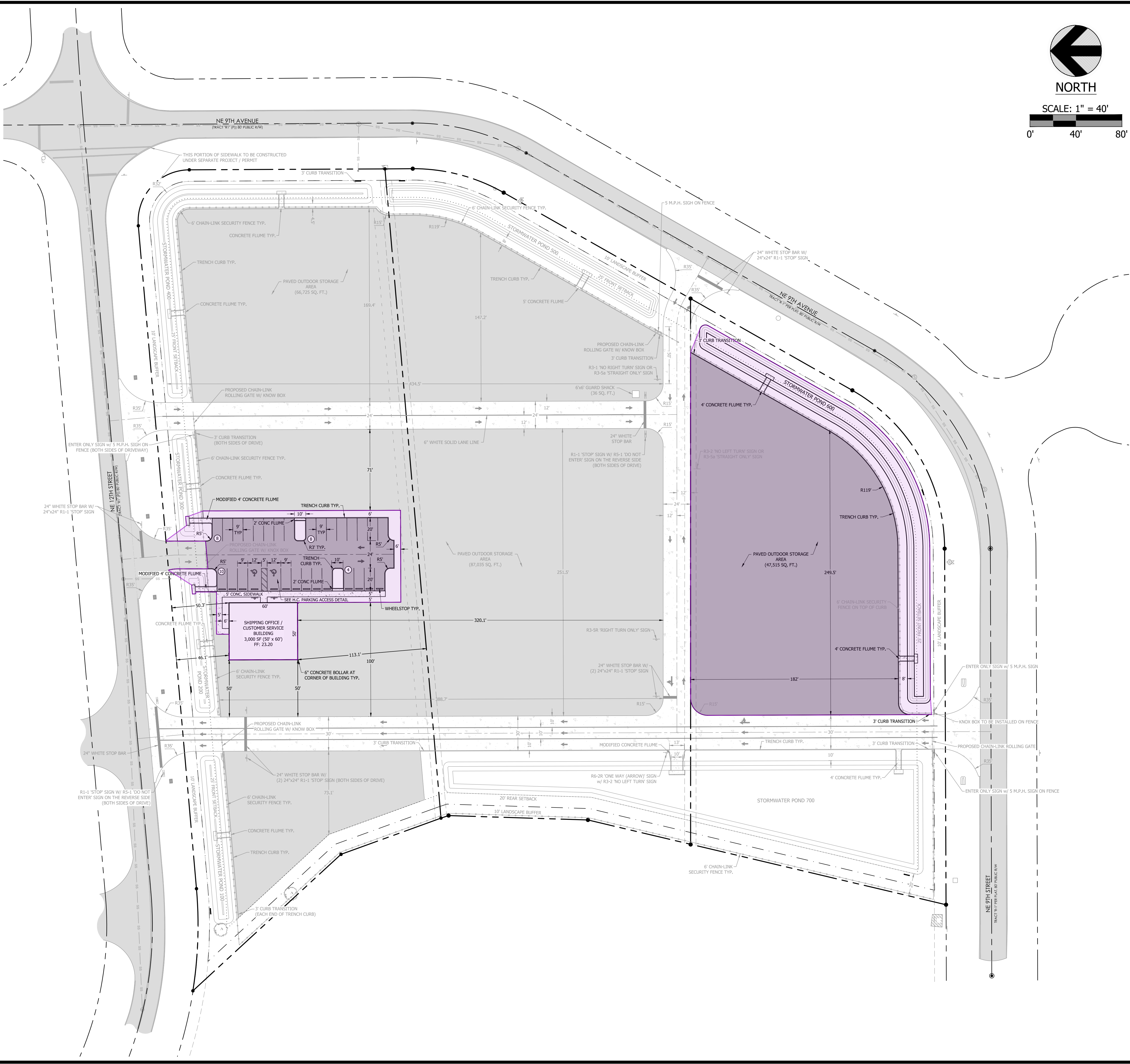




LEGEND	
	WORK DEPICTED WITHIN BOUNDARY TO BE CONSTRUCTED IN FUTURE PHASE

FIRE NOTES	
AS PART OF THE CITY OF OKEECHOBEE'S APPROVAL OF THE SITE PLAN, THE SITE IS REQUIRED TO MAINTAIN A 20' WIDE MINIMUM PATH FOR FIRE TRUCK ACCESS. A KNOX BOX IS REQUIRED TO BE PLACED AT ALL GATED ENTRANCES.	

SITE CHARACTERISTICS	
PARCEL INFORMATION:	
PROJECT LOCATION:	NE 9TH AVE OKEECHOBEE, FL 34972
PARCEL ID:	3-15-37-35-0020-00000-0030 (34258) 3-15-37-35-0020-00000-0001 (34257) 3-15-37-35-0020-00000-0010 (34256)
PROJECT/SITE AREA:	8.31 AC
ZONING:	INDUSTRIAL
LAND USE:	INDUSTRIAL
CURRENT USE:	PARKING LOT
PROPOSED USE:	LIGHT MANUFACTURE
FLOOD AREA:	ZONE "X"
FIRM:	12093CD415C
FIRM DATE:	JULY 16, 2015
BUILDING SETBACKS:	
NORTH:	25'
SOUTH:	20'
EAST:	15'
WEST:	15'
DEVELOPMENTAL STATS (BOTH PHASES):	
PRE DEVELOPMENT	
IMPERVIOUS:	0.00 AC    0 SF    0.00%
PERVIOUS:	8.31 AC    362,036 SF    100.00%
TOTAL SITE AREA:	8.31 AC    362,036 SF    100.00%
POST DEVELOPMENT	
PERVIOUS:	3.42 AC    149,191 SF    41.21%
IMPERVIOUS:	4.89 AC    212,845 SF    58.79%
PAVEMENT/CONCRETE:	4.82 AC    209,845 SF
BUILDING:	0.07 AC    3,000 SF
TOTAL SITE AREA:	8.31 AC    362,036 SF    100.00%
PARKING STATISTICS:	
REQUIRED VEHICLE PARKING: OFFICE: 1 SPACE PER 300 SQUARE FEET OF FLOOR AREA 3,000 SF / 300 = 10 SPACES REQ.	
PROVIDED PARKING:	
STANDARD SPACES	28 SPACES
HANDICAP SPACES	2 SPACES
TOTAL PARKING PROVIDED =	30 SPACES



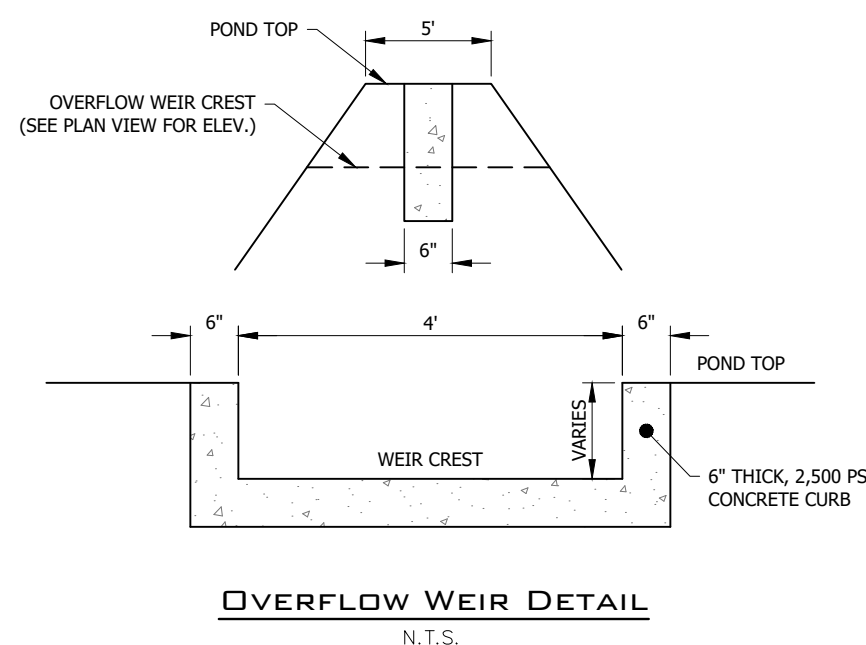
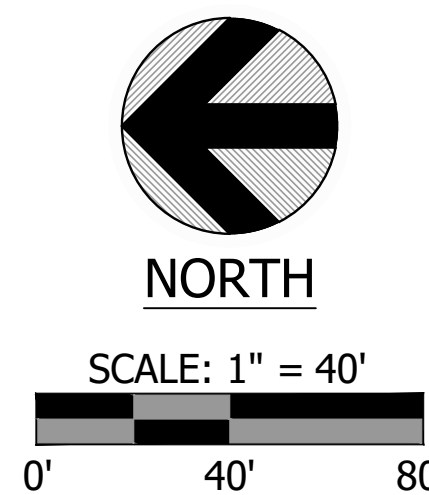
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PROJECT:		CITY OF OKEECHOBEE COMMERCE CENTER
PROJECT NO.		2721
SHEET		C302
SITE PLAN (PH. 1 & 2)		
ADDRESS:		NE 9TH AVENUE, OKEECHOBEE, FL 34972
DESIGNED BY:		SM
DRAWN BY:		DH
CHECKED BY:		SM
REVISION BLOCK		
NO.		
DATE		
DESCRIPTION		

**SLOAN**  
Engineering Group

150 SOUTH WOODLAWN AVENUE, BARTOW, FL 33830  
(883) 863-8633  
FLORIDA CERTIFICATE OF AUTHORIZATION (FLCZ) 126247

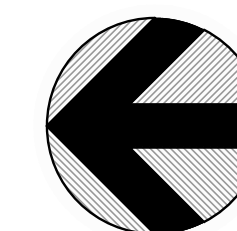







PROJECT NO.	2721	SHEET	C401
CLIENT:	WESTLAKE ROYAL ROOFING, LLC		
PROJECT:	CITY OF OKEECHOBEE COMMERCE CENTER		
 <div style="display: flex; justify-content: space-between; align-items: center;"> <div> <p><b>SLOAN</b></p> <p>Engineering Group</p> </div> <div> <p>150 SOUTH WOODLAWN AVENUE, BARTOW, FL 33830              PHONE: (863) 800-3946 - FAX: (863) 800-1159              FLORIDA CERTIFICATE OF AUTHORIZATION (FCO) #626247</p> </div> </div>			
<p style="text-align: center;"><b>GRADING &amp; DRAINAGE PLAN (PH. 1 ONLY)</b></p> <p style="text-align: right;">NE 9TH AVENUE, OKEECHOBEE, FL 34972</p>			



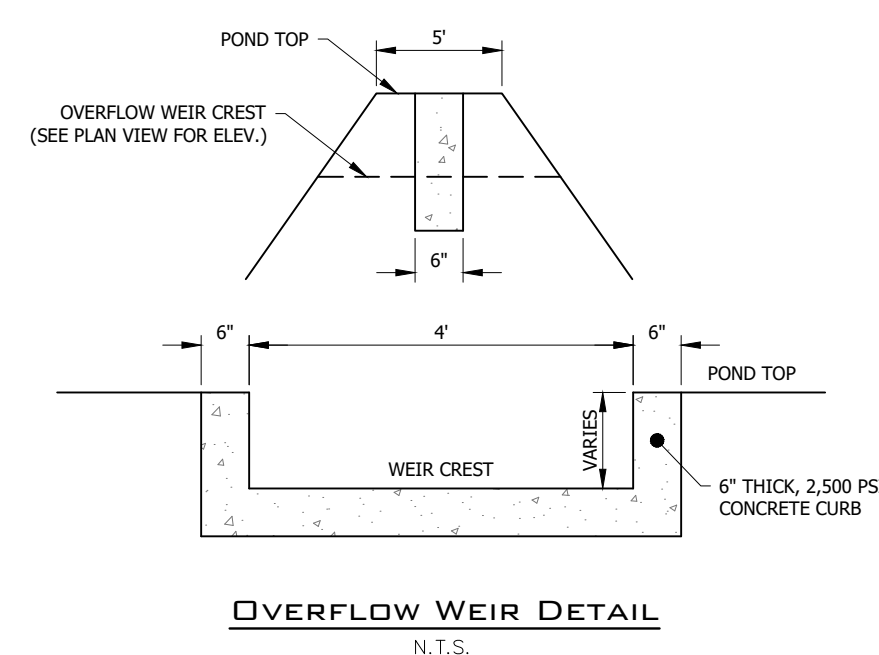
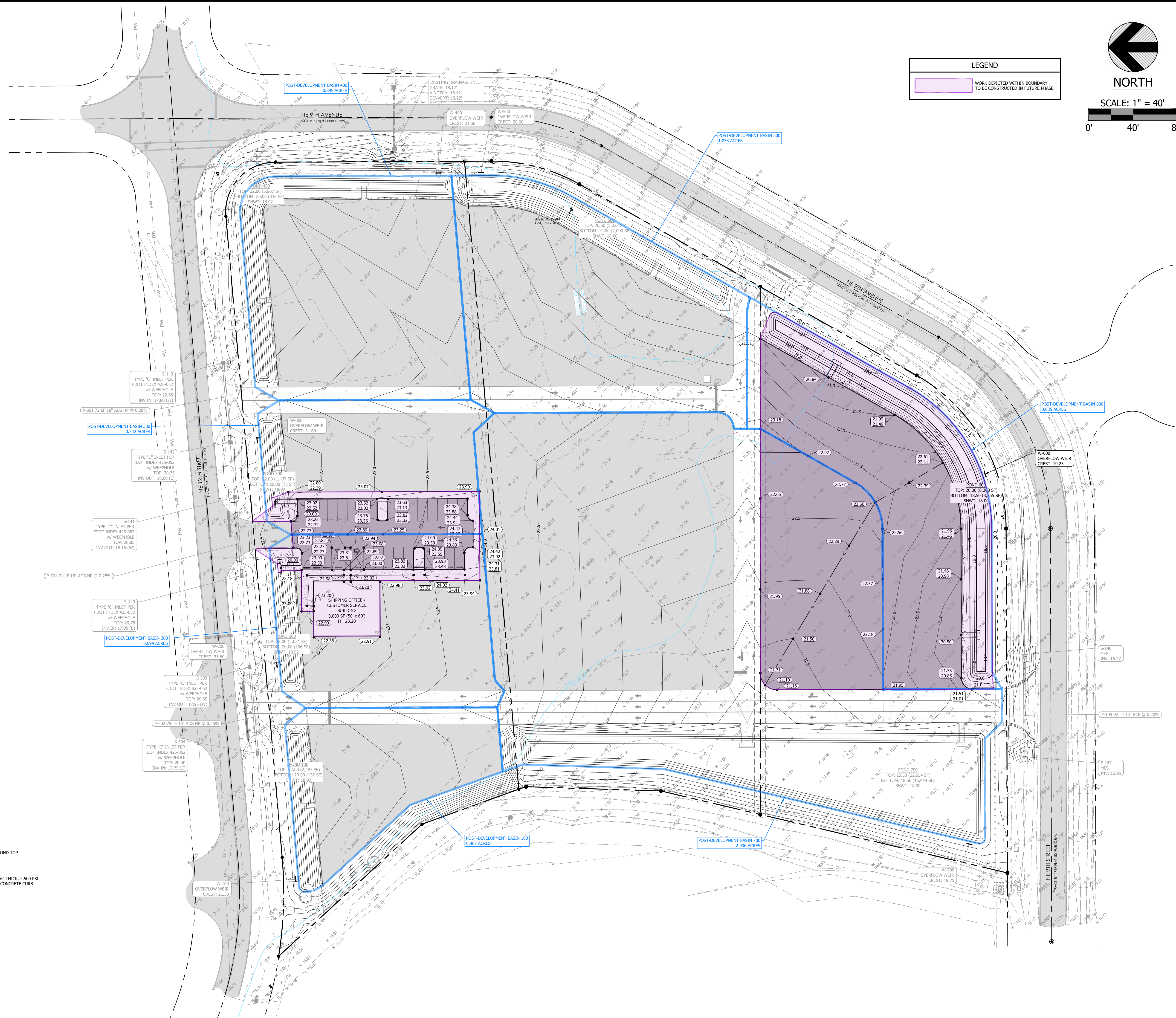
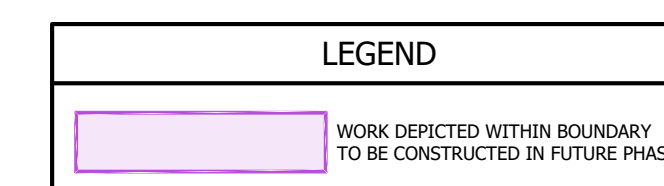



NORTH

SCALE: 1" = 40'



0' 40' 80'

[illegible]

DESIGNED BY:	SM	DRAWN BY:	DH	CHECKED BY:	SM
<p> <b>SANTOS MEDINA, III, P.E.</b>  <b>STATE OF FLORIDA</b>  <b>PROFESSIONAL ENGINEER</b>  <b>License No. 12539</b> </p> <p>  </p> <p>             The Engineer has NOT prepared and does not warrant the accuracy of the information provided on this instrument or the data indicated thereon. The Engineer is not responsible for the use of the information provided on this instrument or the data indicated thereon.           </p> <p> <b>NOT FOR CONSTRUCTION, DIGITALLY SIGNED AND SEALED</b> </p>					




PROJECT NO.	2721
SHEET	C402
CLIENT: WESTLAKE ROYAL ROOFING, LLC PROJECT: CITY OF OKEECHOBEE COMMERCE CENTER  GRADING & DRAINAGE PLAN (PH. 1 & 2)  NE 9TH AVENUE, OKEECHOBEE, FL 34972	

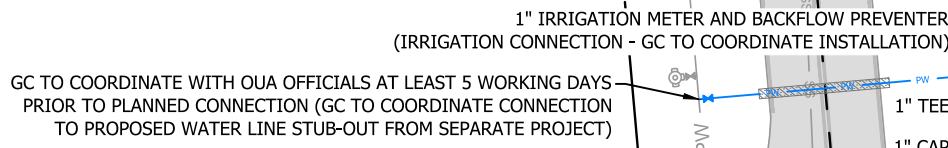




SCALE: 1" = 40'



A horizontal scale bar with alternating black and white segments. It is marked with '0'', '40'', and '80'' at the bottom. The total length represents 80 feet.



DESIGNED BY: \_\_\_\_\_

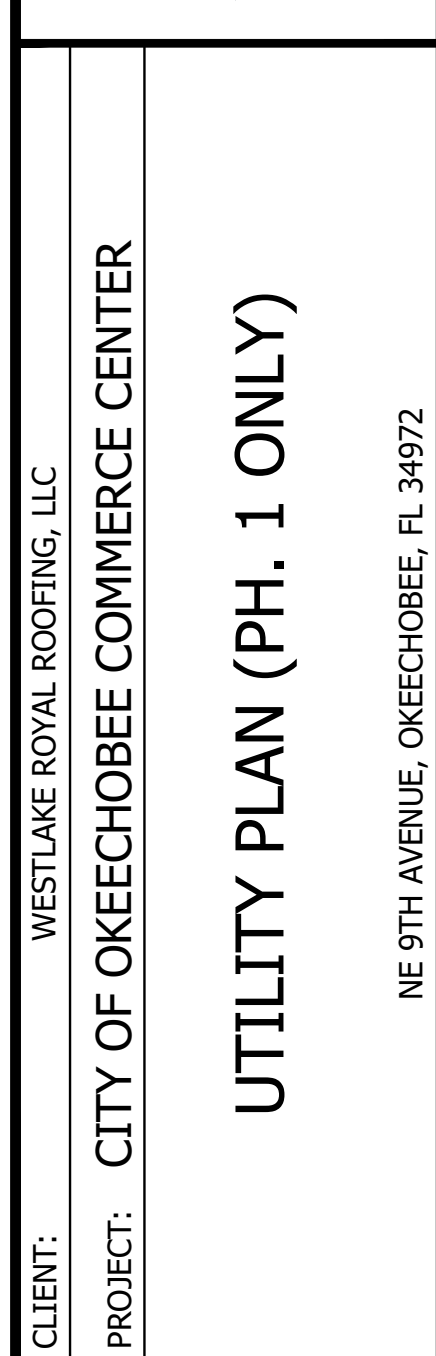
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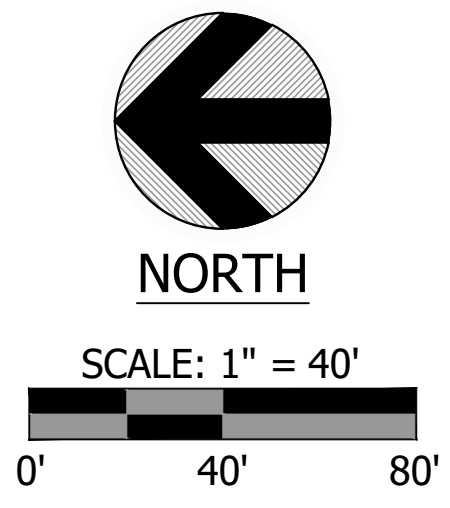
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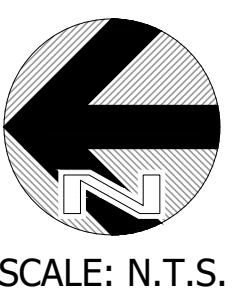
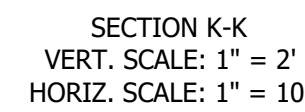
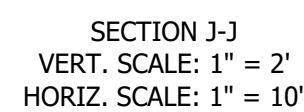
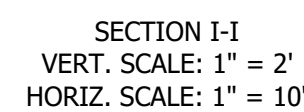
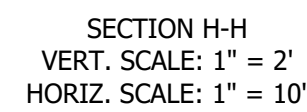
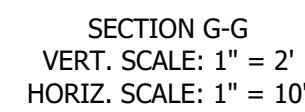
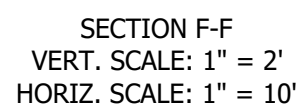
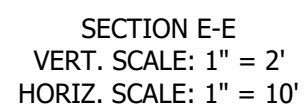
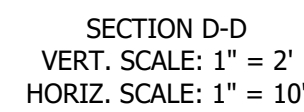
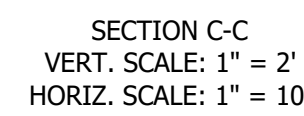
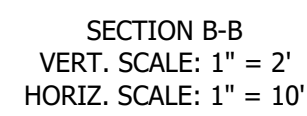
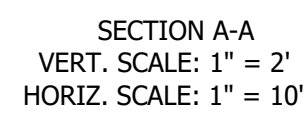
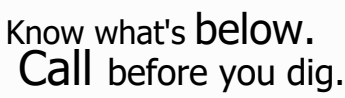
PROJECT NO.	SHEET
2721	C501





CLIENT: WESTLAKE ROYAL ROOFING, LLC	
PROJECT: CITY OF OKEECHOBEE COMMERCE CENTER	
UTILITY PLAN (PH. 1 & 2)	
NE 9TH AVENUE, OKEECHOBEE, FL 34972	
PROJECT NO.	SHEET
2721	C502





DESIGNED BY:		SM	
DRAWN BY:		DH	
CHECKED BY:		SM	

**REVISION BLOCK**

SANTOS MEDINA, III, P.E.  
 STATE OF FLORIDA  
 PROFESSIONAL ENGINEER  
 LICENSE NO. 74559

This firm certifies that the design was prepared by the engineer or under the direct supervision and control of the engineer and that the engineer is a duly licensed professional engineer in the State of Florida.

**10/27/2023**  
 NOT WET, HANDWRITTEN, DIGITALLY OR ELECTRONICALLY SIGNED AND SEALED



SUBJECT: CITY OF OKEECHOBEE COMMERCE CENTER

## CROSS SECTIONS (1 OF 3)

NE 9TH AVENUE, OKEECHOBEE, FL 34972

PROJECT NO.  
2721

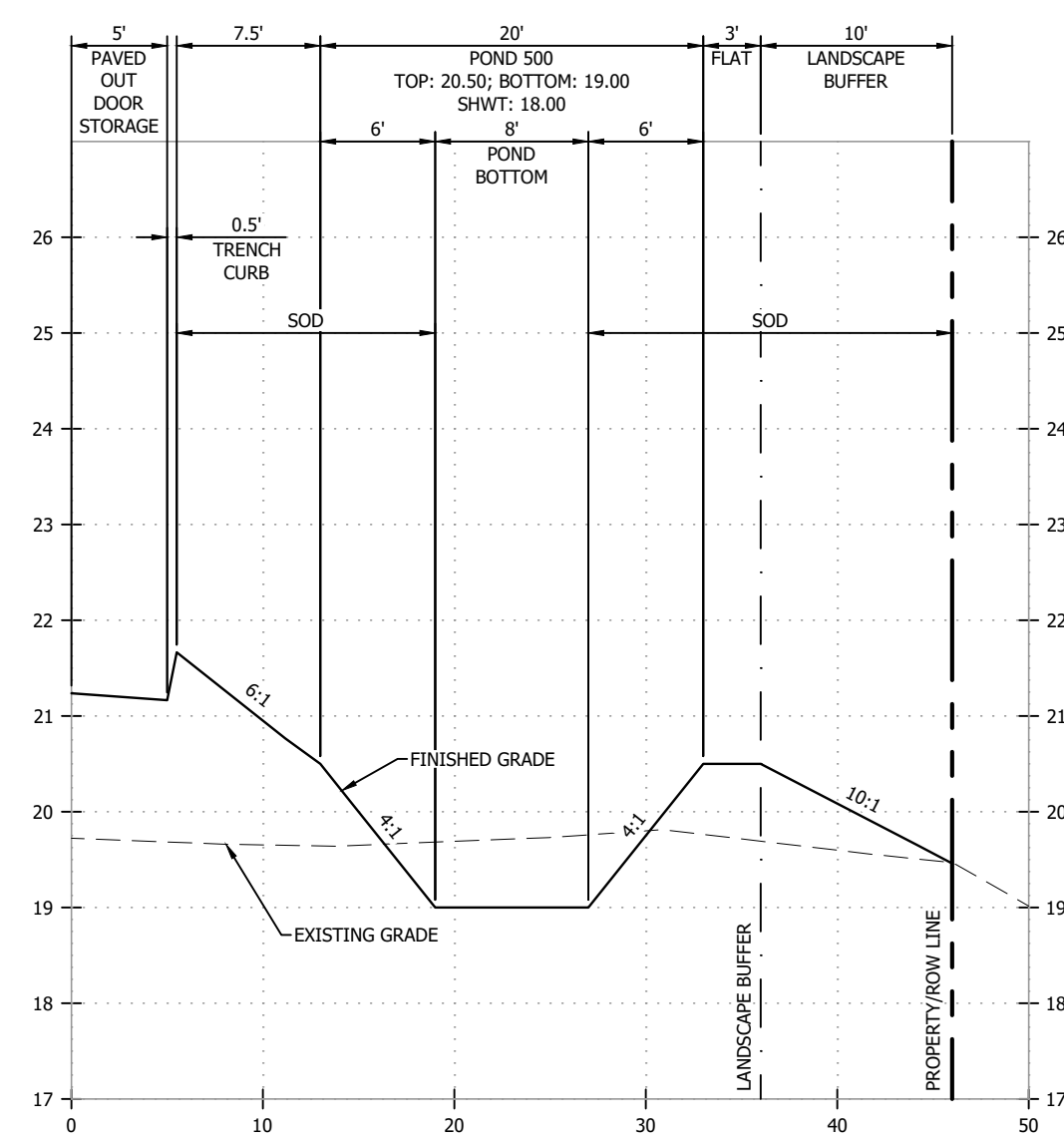
SHEET

C601

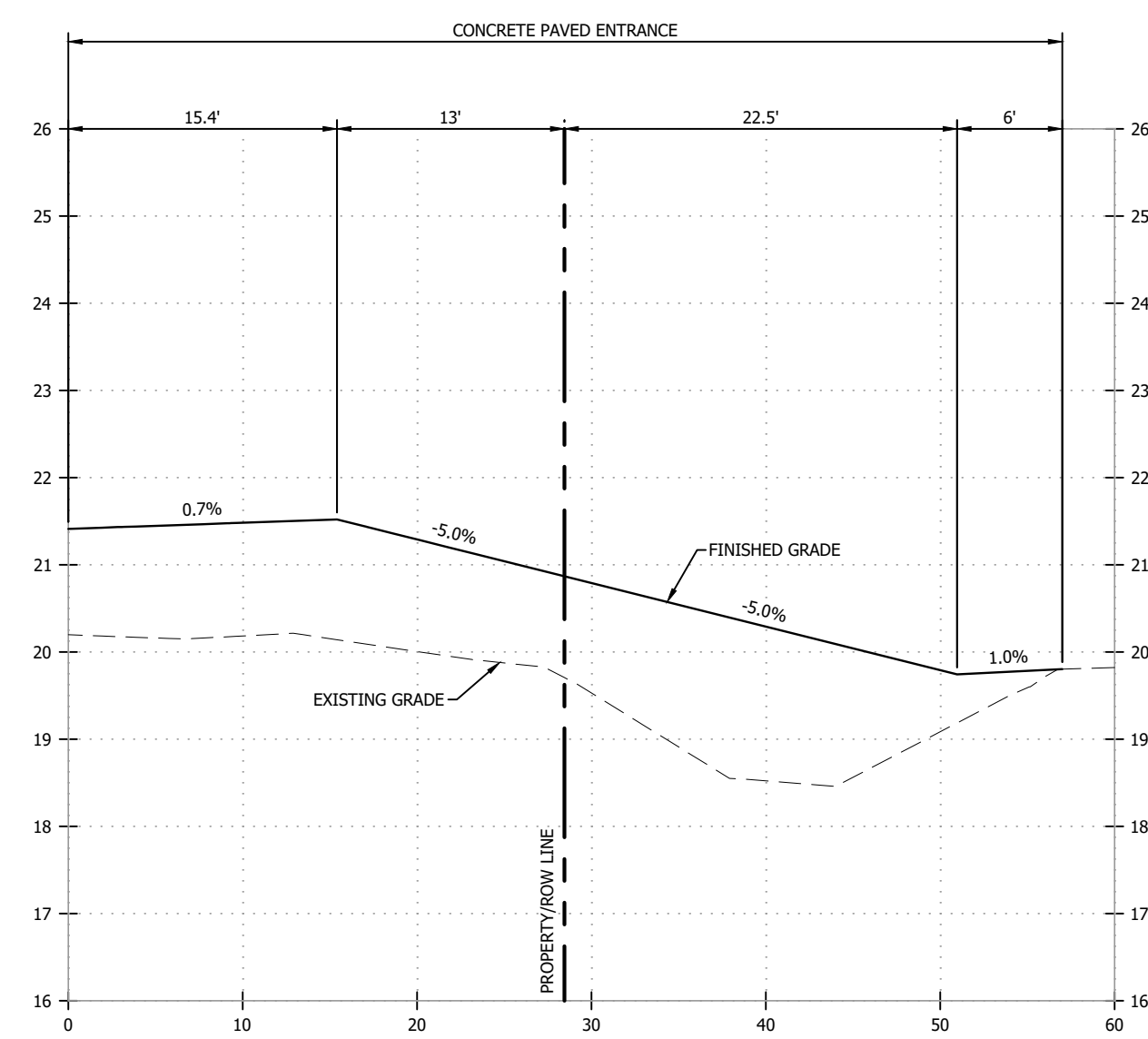




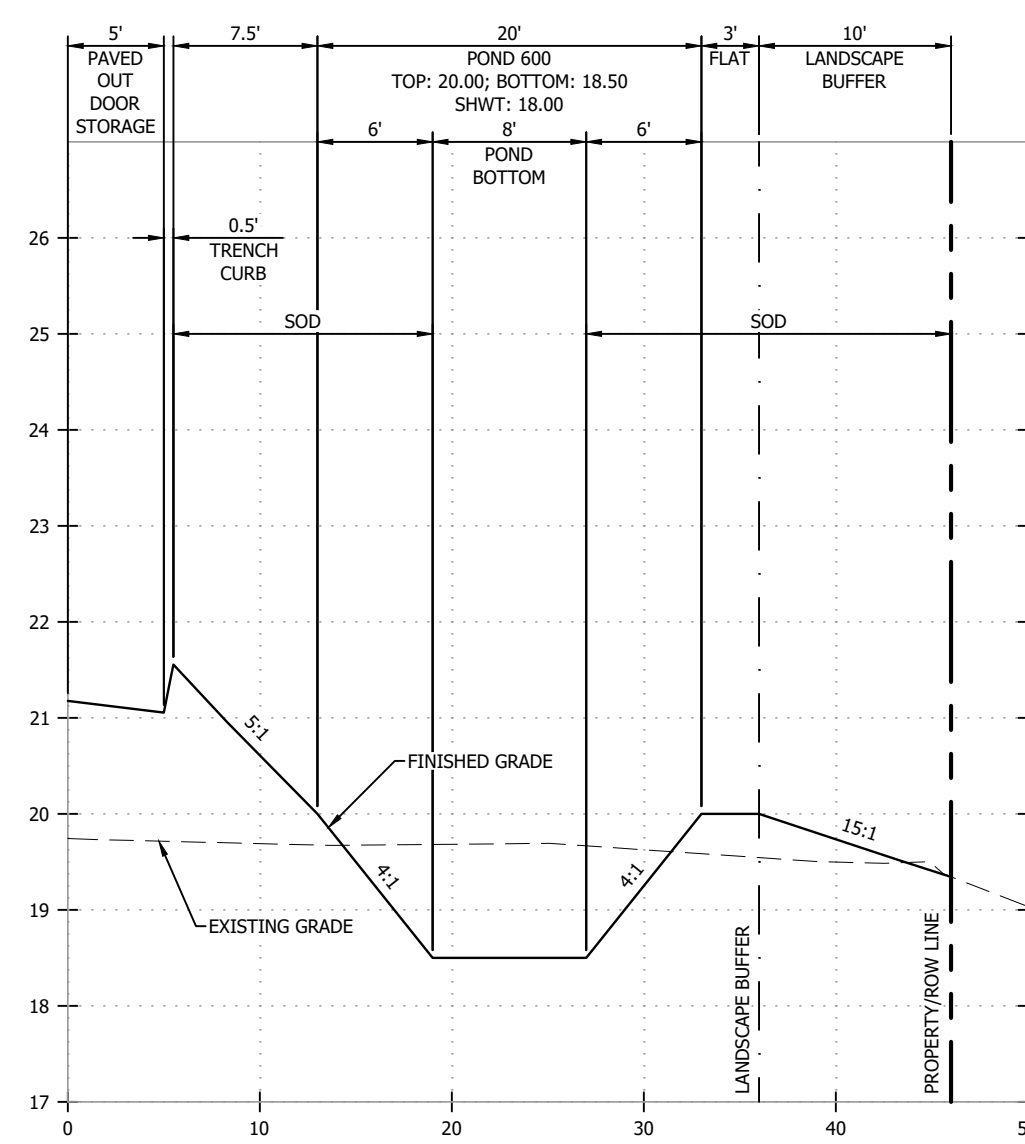
**811** Know what's below.  
Call before you dig.



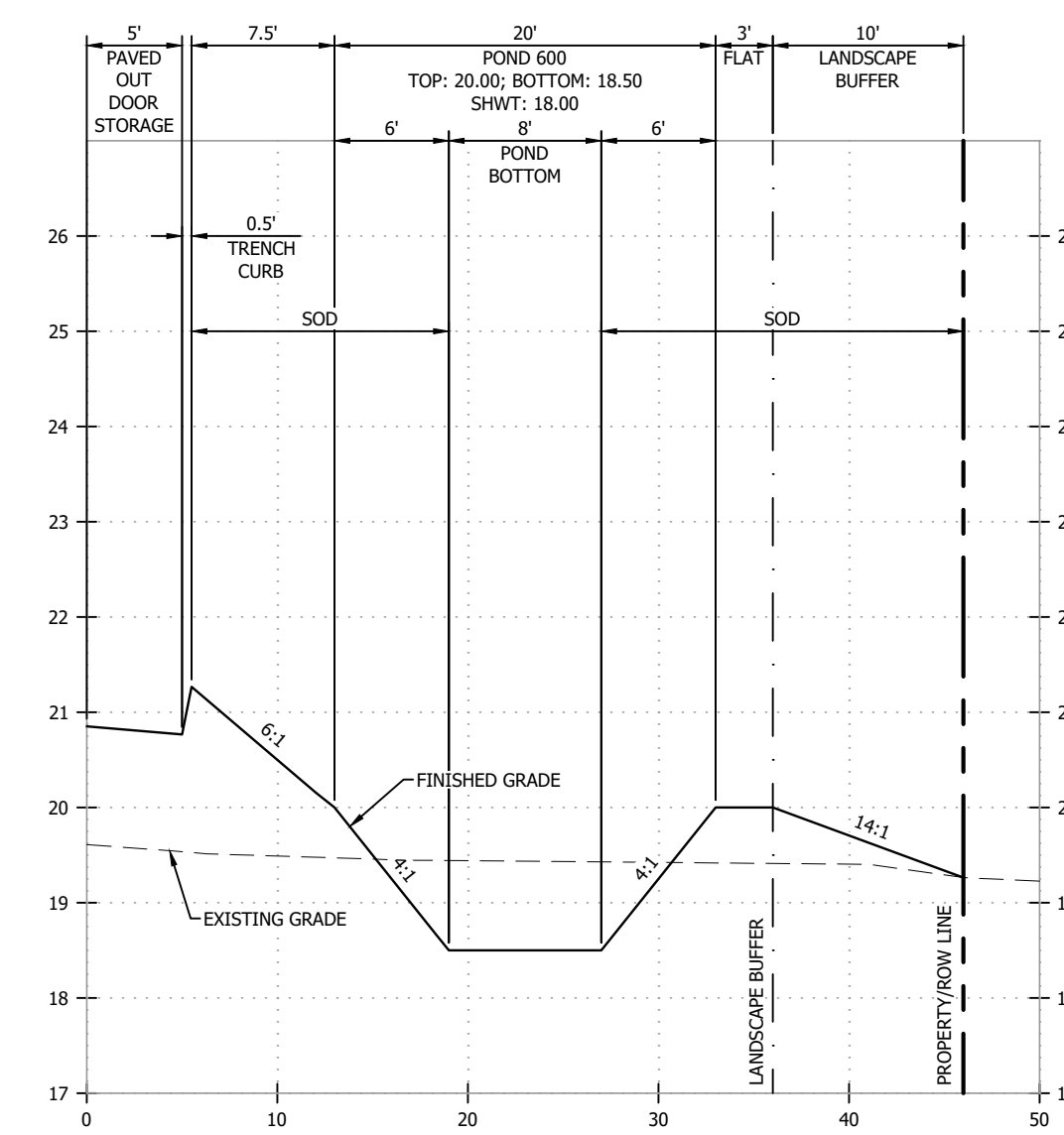
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HORIZ. SCALE: 1" = 10'



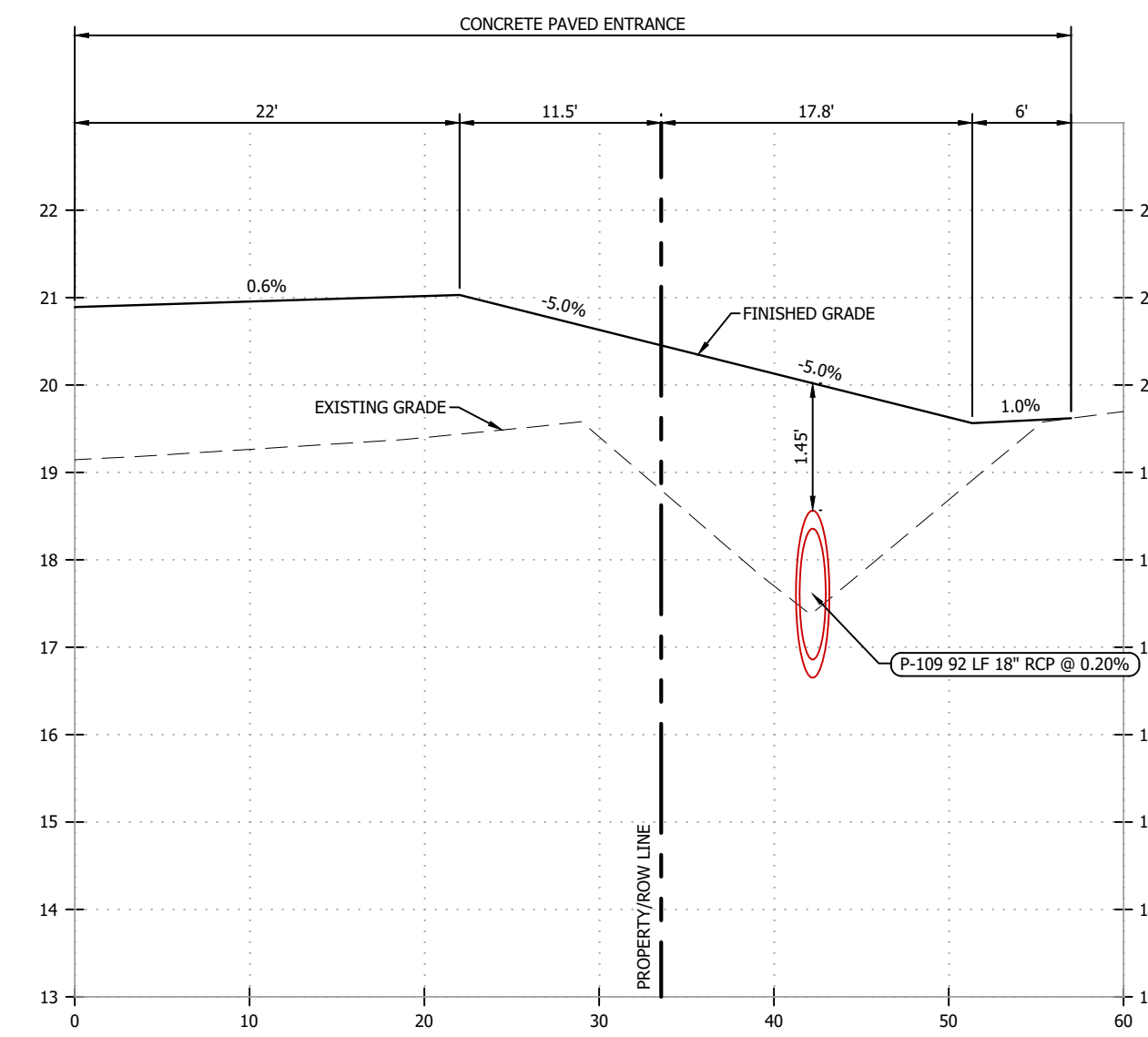
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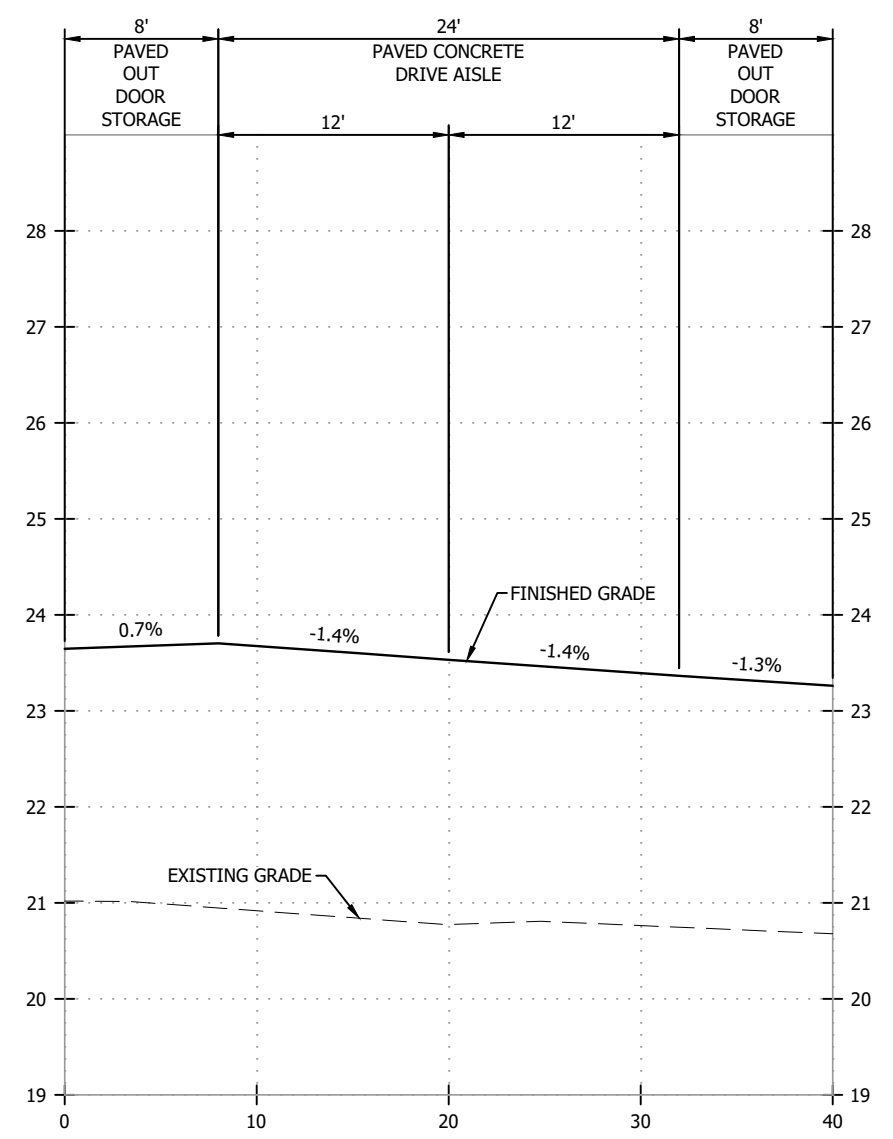
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HORIZ. SCALE: 1" = 10'



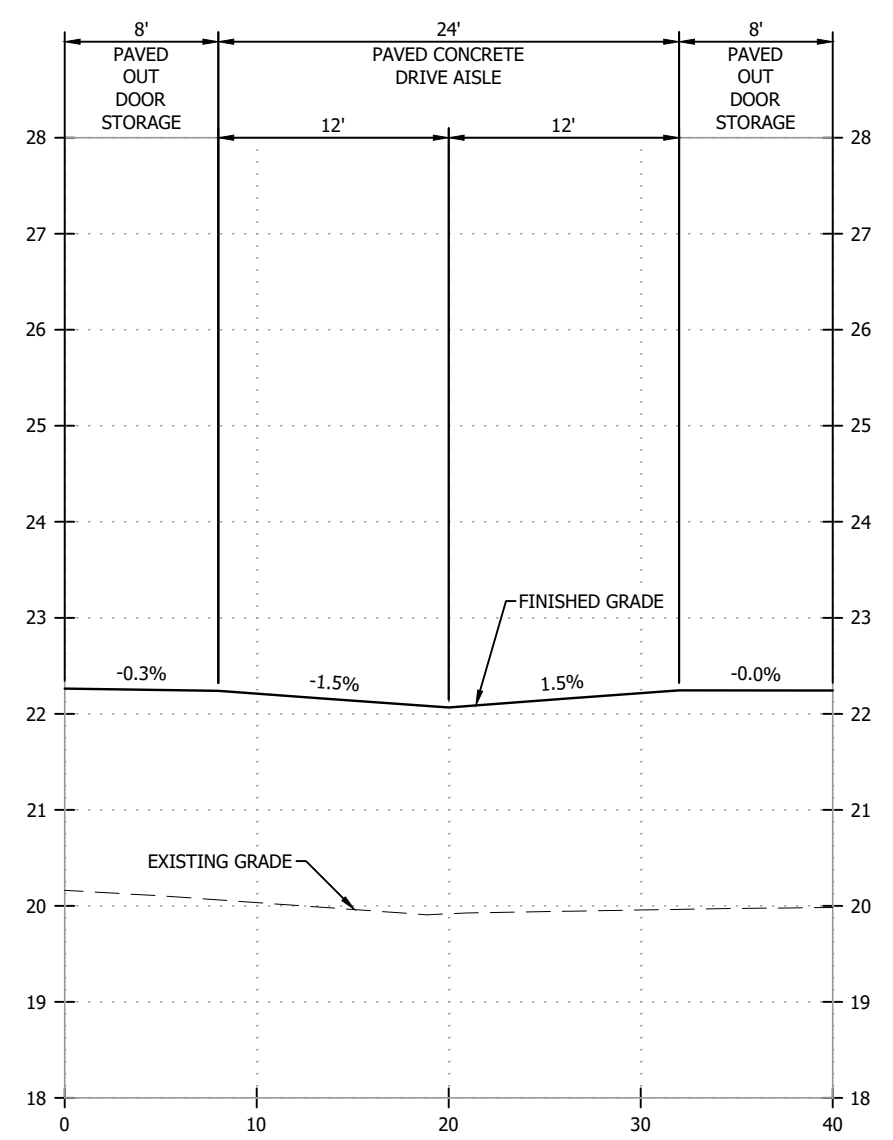
SECTION O-O  
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HORIZ. SCALE: 1" = 10'



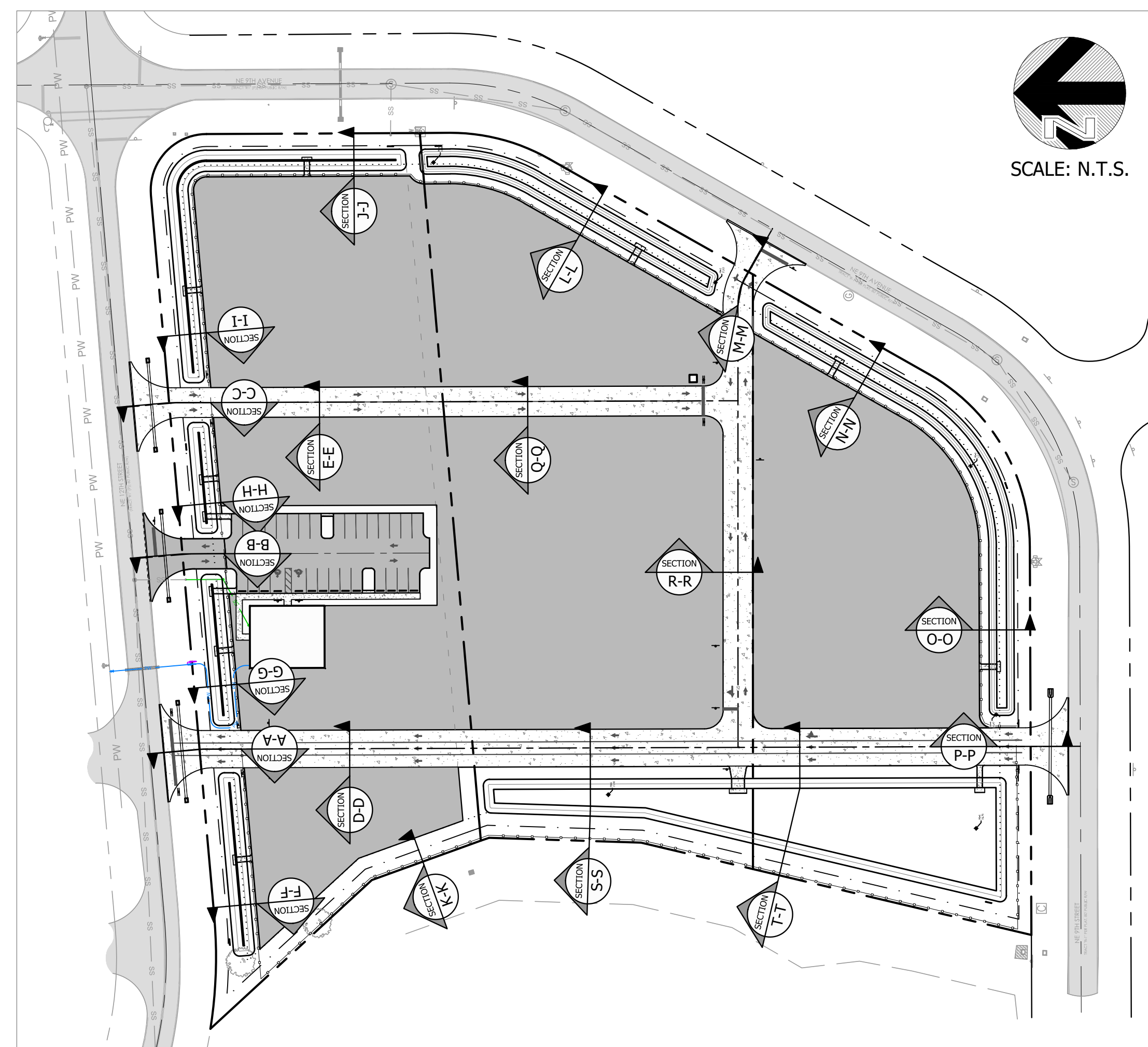
SECTION P-P  
VERT. SCALE: 1" = 2'  
HORIZ. SCALE: 1" = 10'



SECTION Q-Q  
VERT. SCALE: 1" = 2'  
HORIZ. SCALE: 1" = 10'



SECTION R-R  
VERT. SCALE: 1" = 2'  
HORIZ. SCALE: 1" = 10'



SCALE: N.T.S.

[illegible]

DESIGNED BY:		DRAWN BY:		CHECKED BY:	
SM		DH		SM	



CLIENT: WESTLAKE ROYAL ROOFING, LLC

PROJECT: CITY OF OKEECHOBEE COMMERCE CENTER

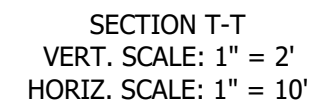
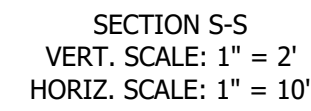
## CROSS SECTIONS (2 OF 3)

NE 9TH AVENUE, OKEECHOBEE, FL 34972

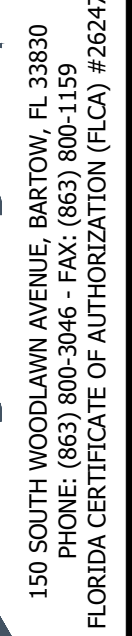
PROJECT NO.	2721
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	SHEET
	C602



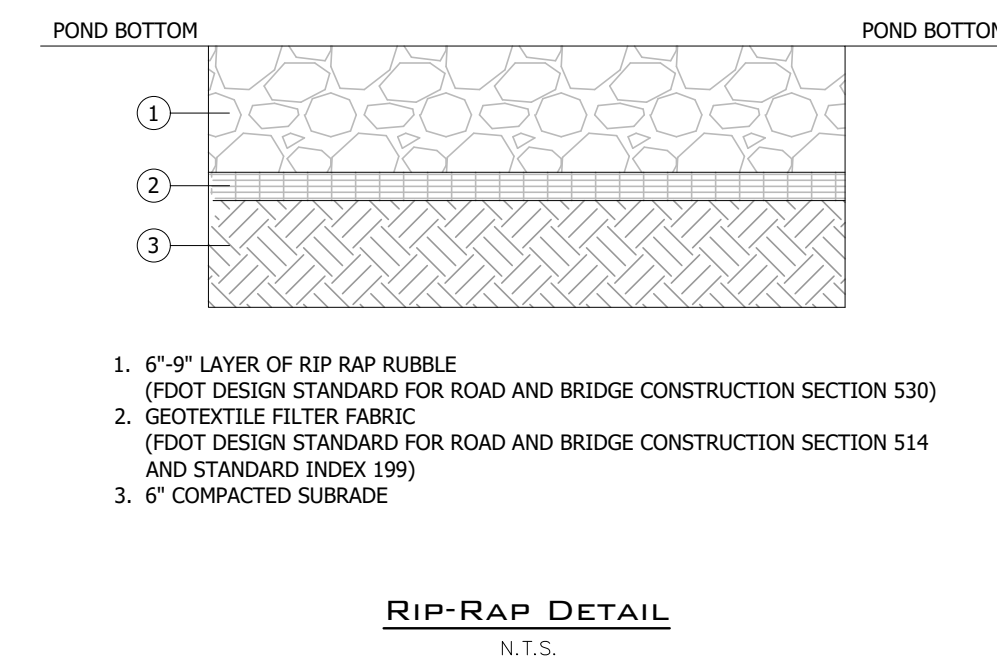
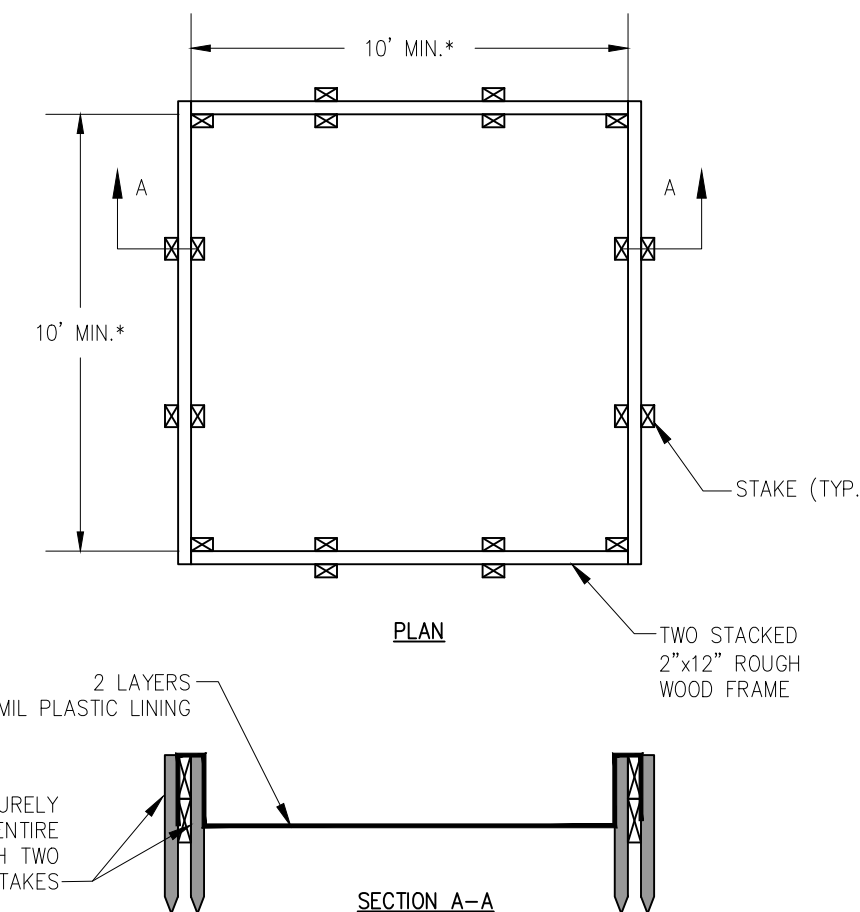
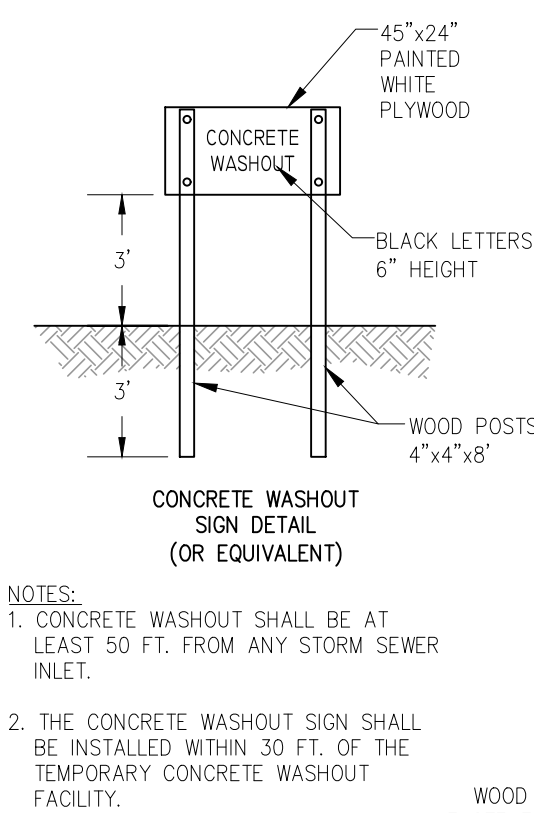
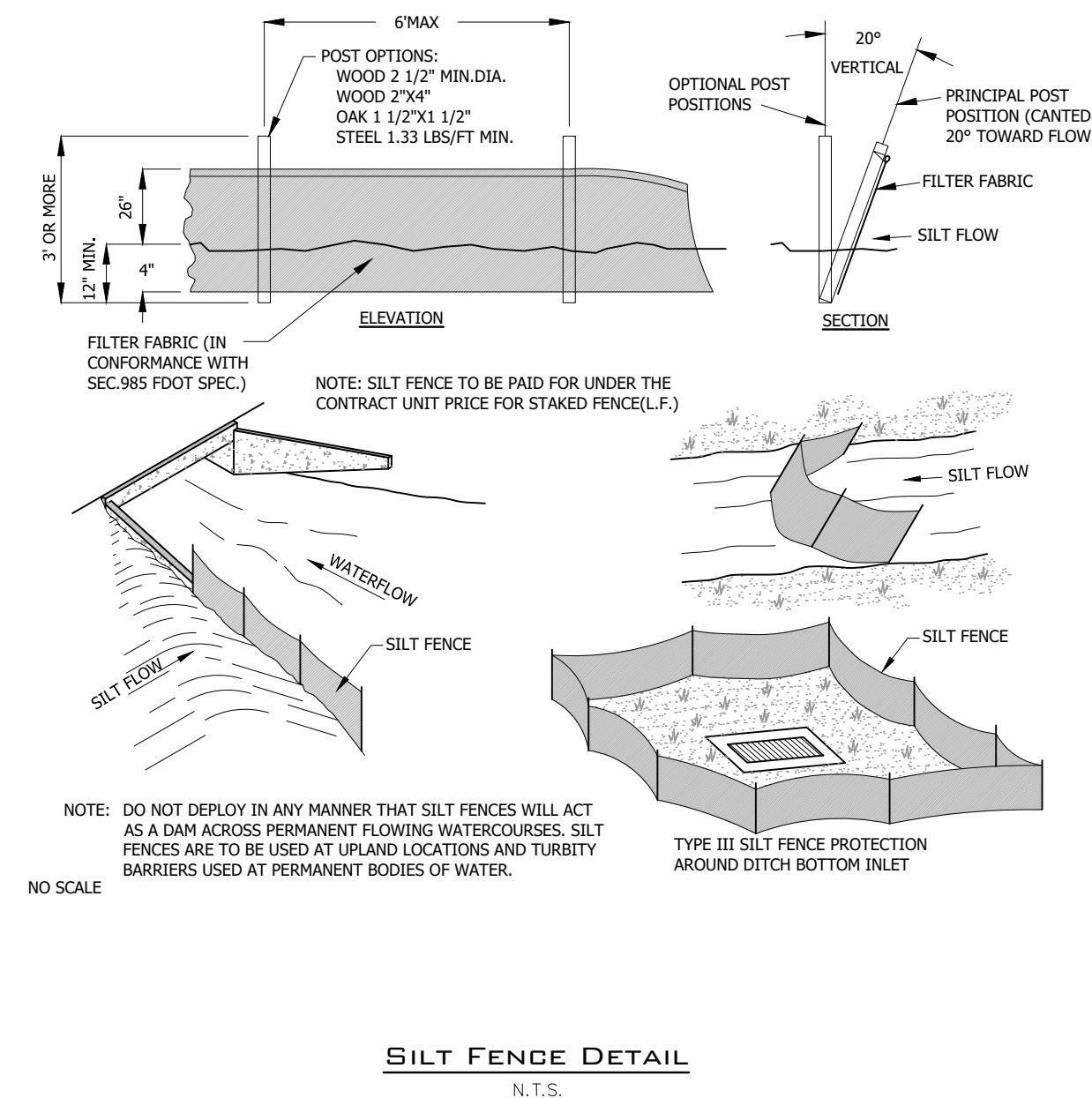
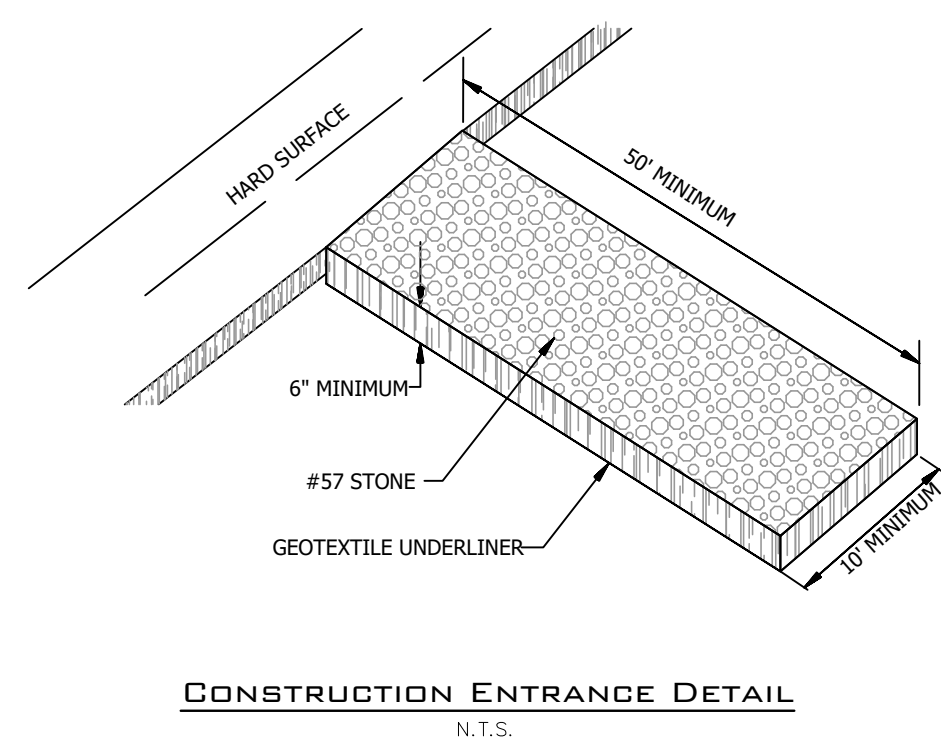
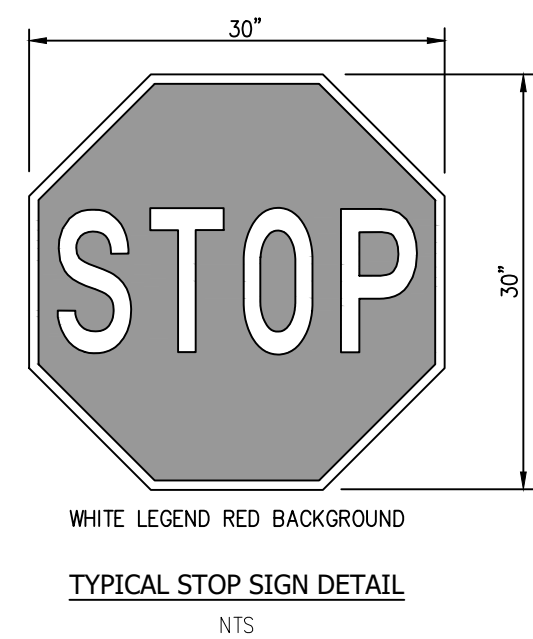
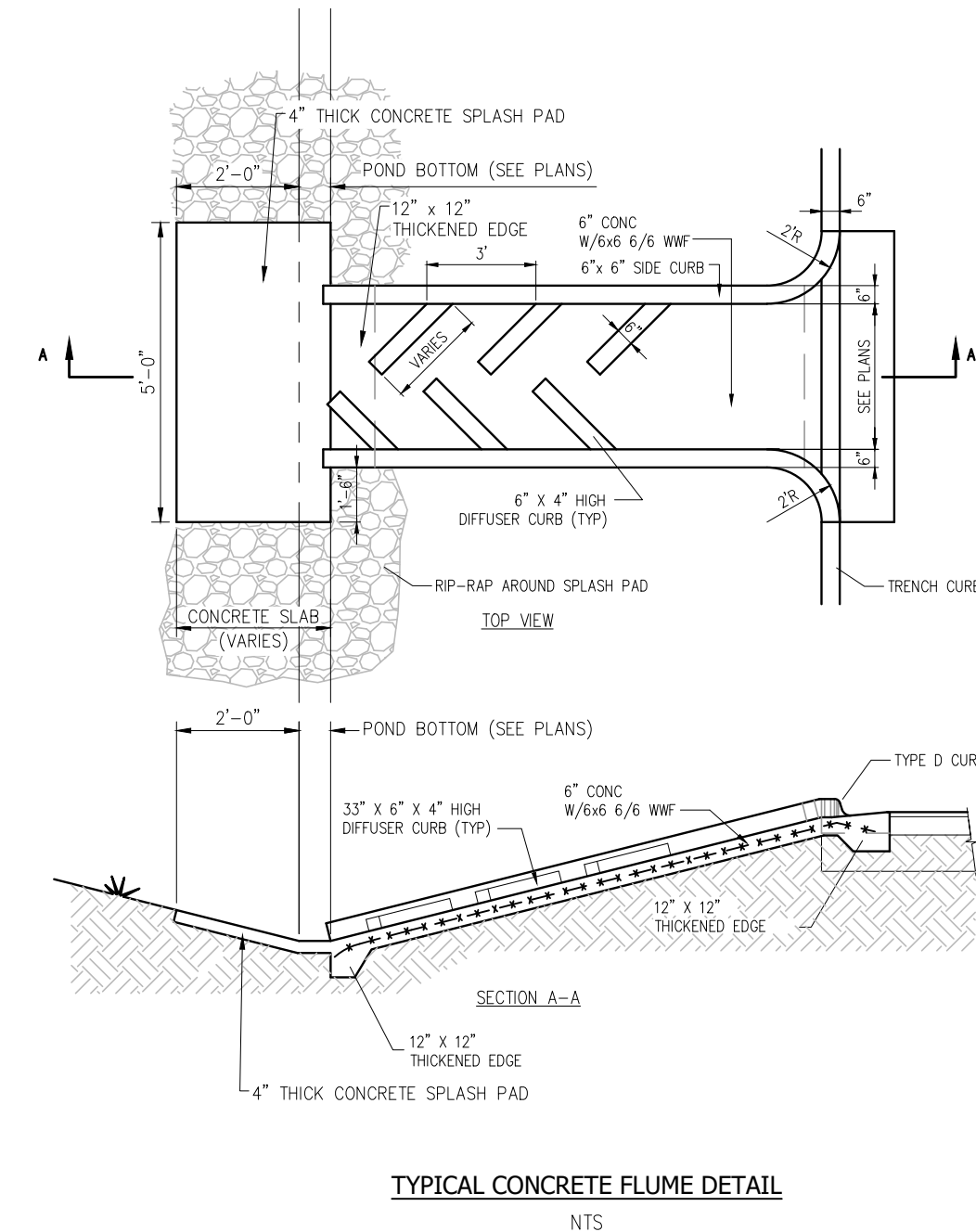
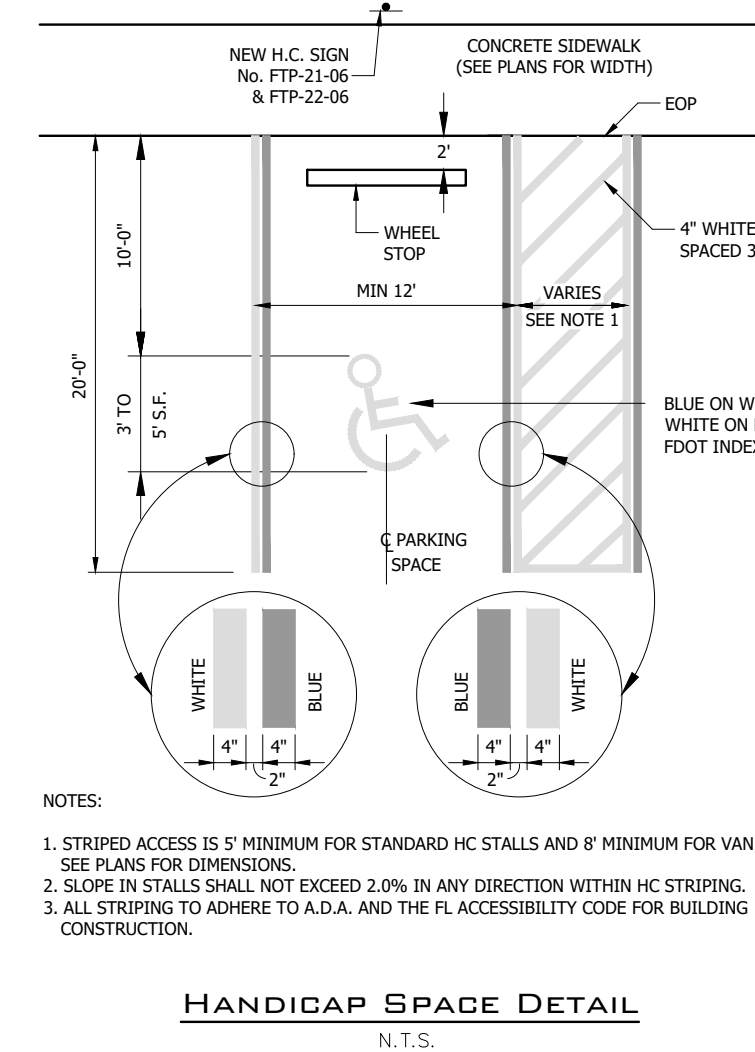
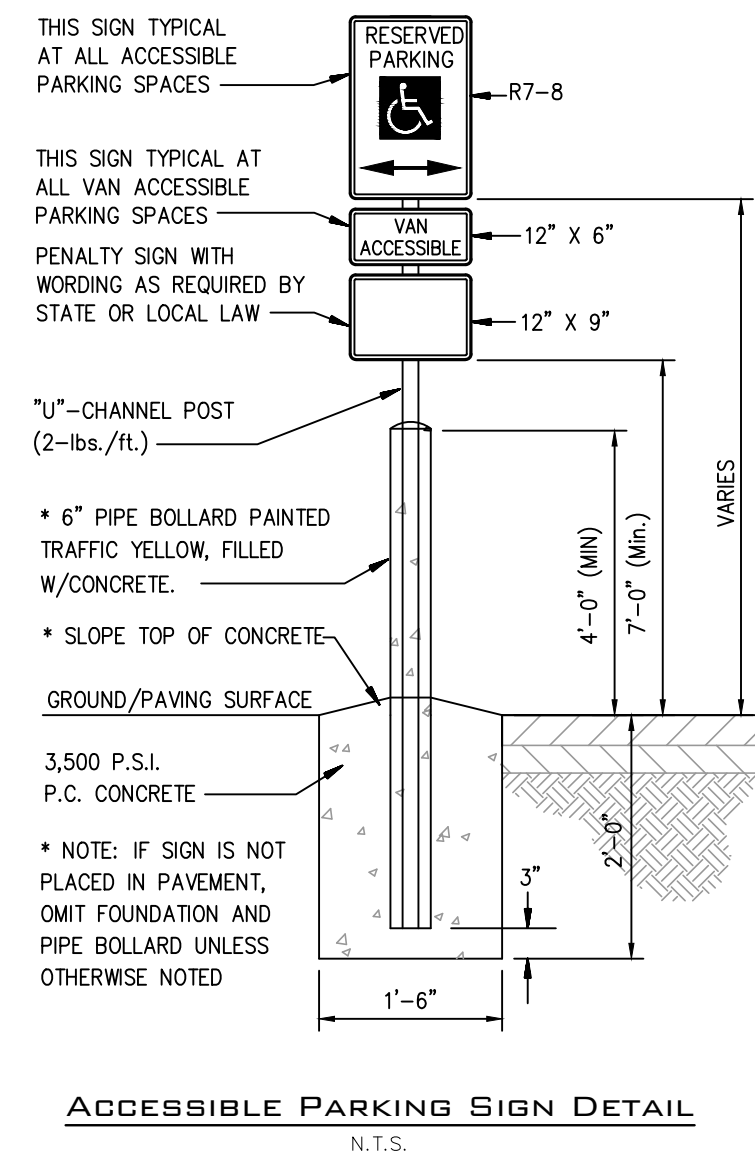
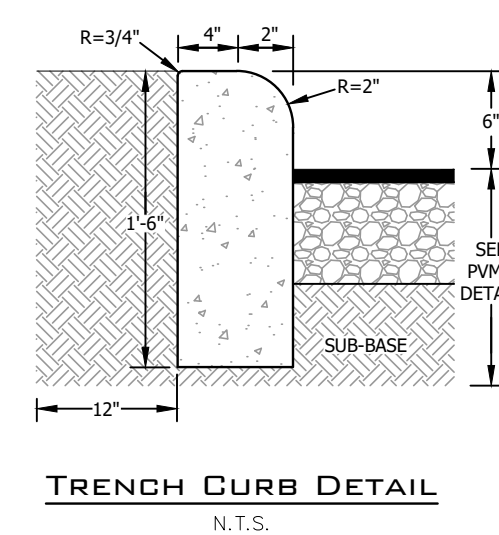
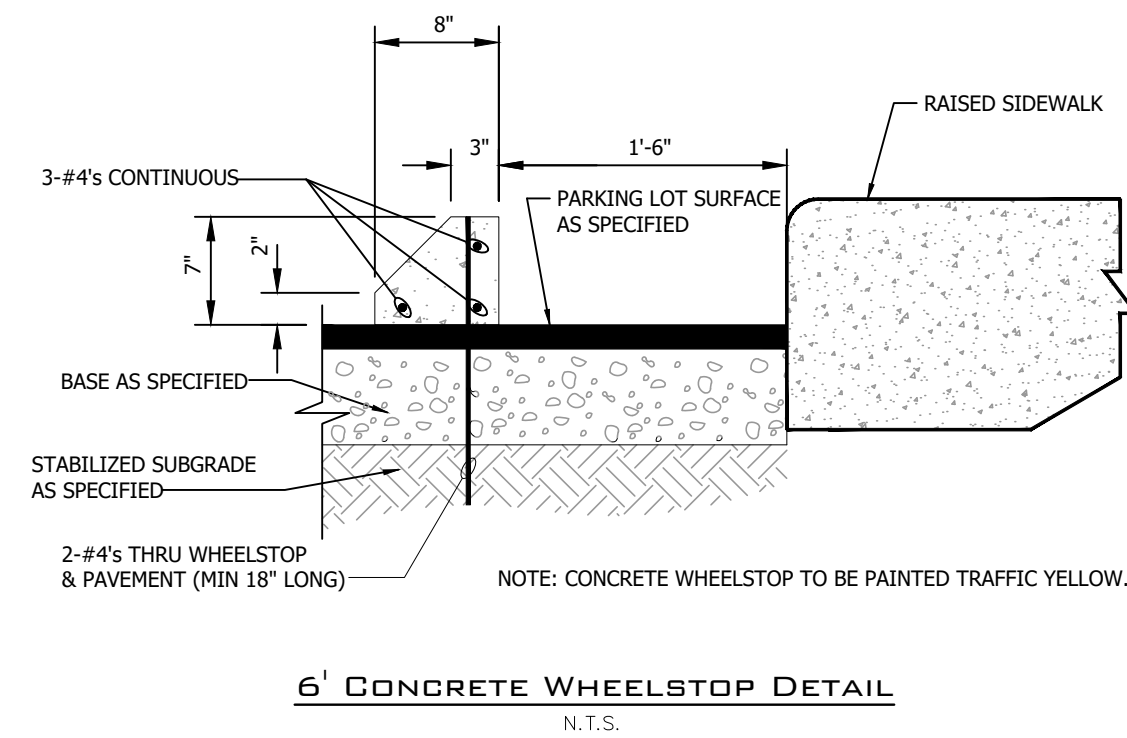
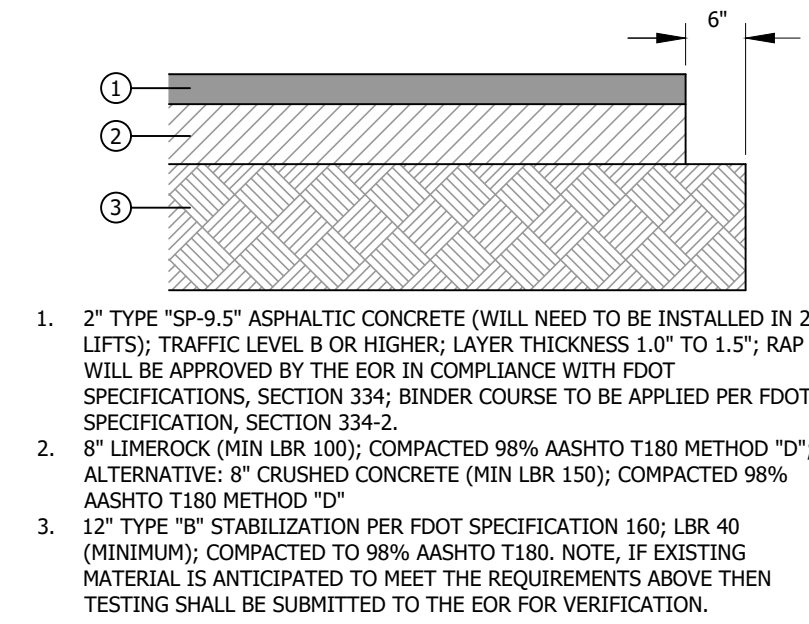
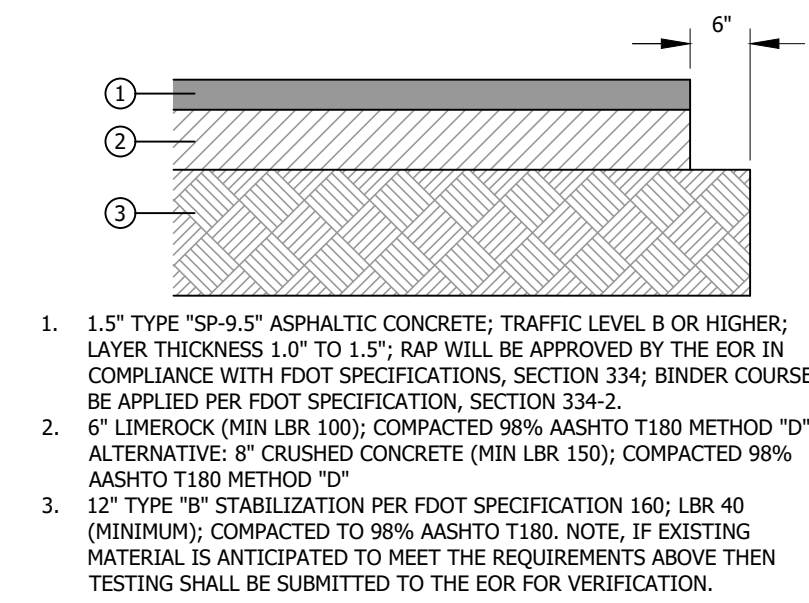
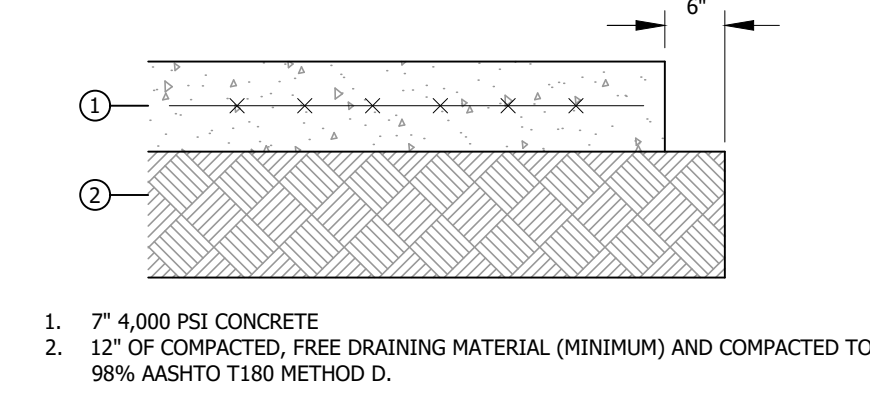
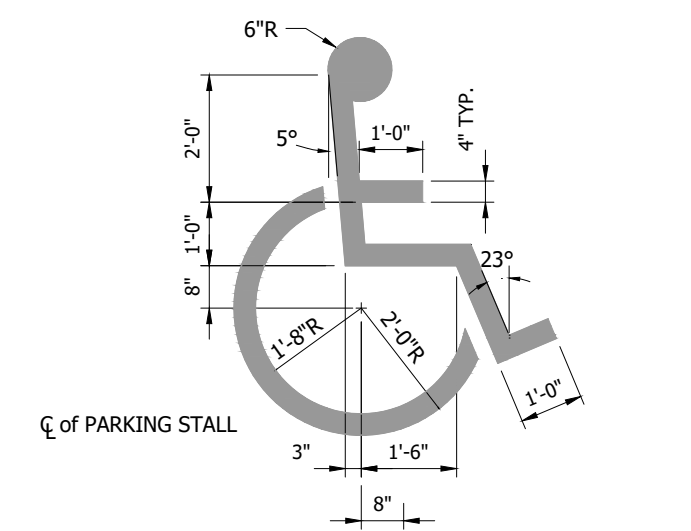
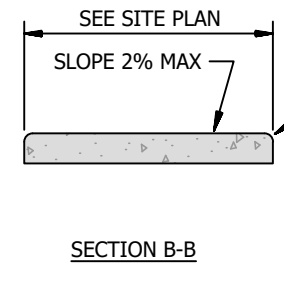




DESIGNED BY:	SM	DRAWN BY:	DH	CHECKED BY:	SM
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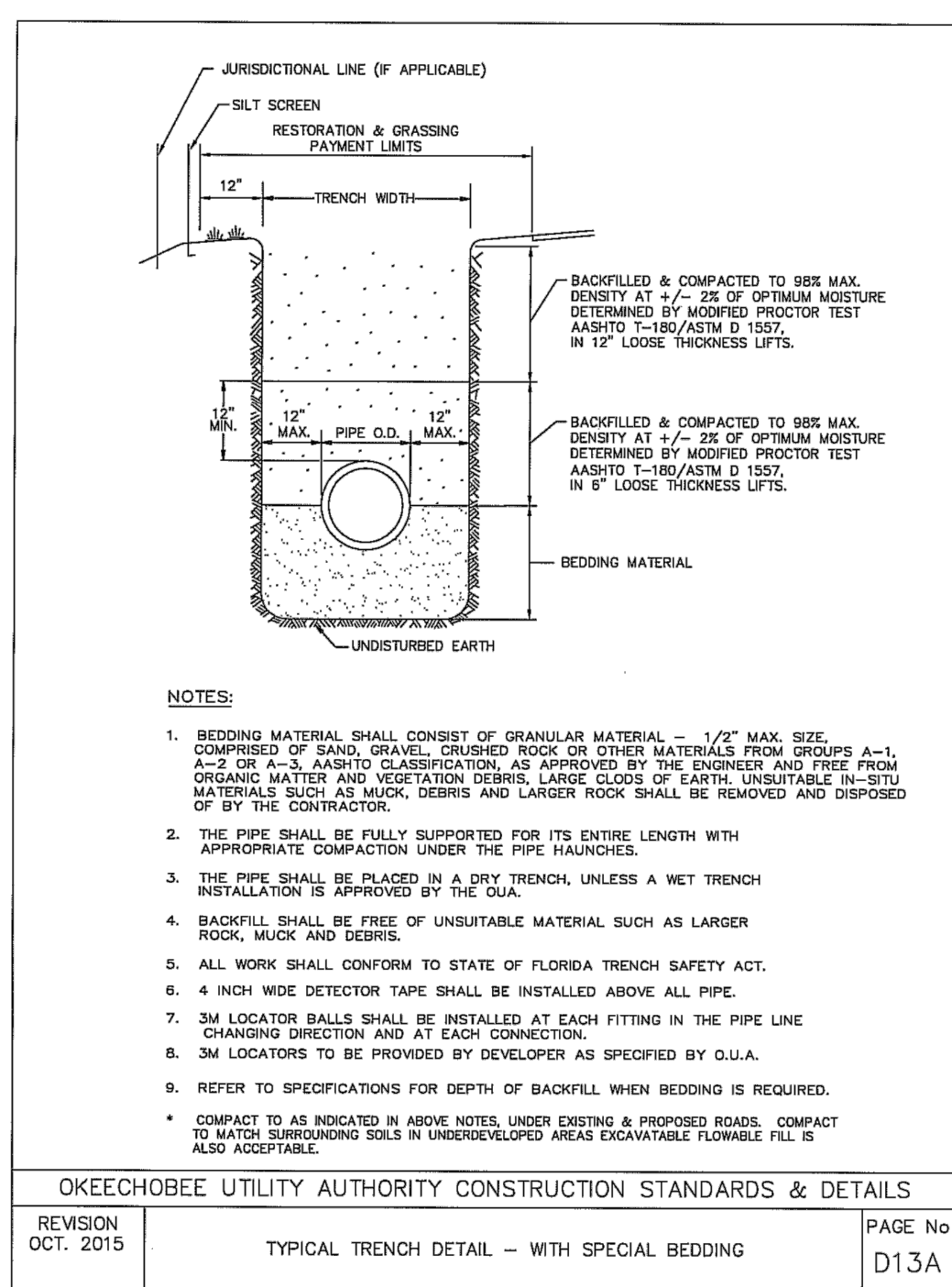
PROJECT NO.	SHEET
2721	C603





CLIENT: WESTLAKE ROYAL ROOFING, LLC		<div><div><b>SLOAN</b> Engineering Group</div><div>150 SOUTH WOODLAWN AVENUE, BARTOW, FL 33830 PHONE: (863) 800-3046 • FAX: (863) 800-1159 FLORIDA CERTIFICATE OF AUTHORIZATION (FCA) #26247</div></div>	DESIGNED BY: SM		<div><div>SANTOS-HERNANDEZ, III, P.E. LICENSE NO. 74539 PROFESSIONAL ENGINEER</div><div></div></div>	NO.	DATE	DESCRIPTION	
PROJECT: CITY OF OKEECHOBEE COMMERCE CENTER			DRAWN BY: DH						
SITE & DRAINAGE DETAILS			CHECKED BY: SM						
PROJECT NO. 2721		SHEET C701		REVISION BLOCK					





TYPICAL MAIN LINE TERMINAL CLEANOUT

TYPICAL SERVICE LATERAL ONE WAY CLEANOUT

NOTES:

- ONE WAY CLEANOUT (SWEEP TO STREET SERVICE).
- CLEAN OUT SHALL BE LOCATED ON RIGHT OF WAY LINE.
- IN TRAFFIC AREAS A METAL CLEANOUT COVER AND LID SHALL BE INSTALLED OVER PVC CLEANOUT.
- ALL CLEAN OUT'S REQUIRE AN INSPECTION.