Exhibit 1 02/07/2023

JAN 12 2023

Page 1 of 3 Revised 3/5/19

CITY OF OKEECHOBEE 55 SE THIRD AVENUE OKEECHOBEE, FL 34974 Tele: 863-763-9821 Fax: 863-763-1686 PARK USE AND/OR TEMPORARY STREET/ SIDEWALK CLOSING PERMIT APPLICATION

Date Received:	1/12/2023	Date Issued:						
Application No:	23-004	Date(s) & Times of Event:						
Information:			Set up continues 8 AM - 9:30 AM Sat. Mar. 11, 2023 Event 10 AM - 3 PM Sat. Mar. 11-12, 2023 - Clean					
	Okeechobee Ma	in Street	and tear down through 5 PM					
Mailing Address: 111 NE 2nd St. Okeechobee, Fl. 34974								
Contact Name: Sharie Turgeon								
E-Mail Address: info@okeechobeemainstreet.org								
Telephone:								
Work: 863-35	7-6246	Home:	Cell: 863-634-7482					
Summary of activi	ties:							
			ieties both tent and truck. The event will					
			as a variety of vendors from clothing to arts an					
crafts. The even	t will also featur	e children's games and ac	ctivities. The annual parade begins at 10 AM					
on Saturday, Ma	rch 10 and follow	ws the normal parade rout	le.					
Proceeds usage:								
Proceeds from th	e vendors suppo	orts the Main Street organ	ization.					
Please check reque	sted Parks:							
Flagler Parks		Park □ #1 Memorial Park cation of Gazebo. Park 4 is						
(If other private property used in conjunction with this Park Use Permit please provide the address and parcel number below along with notarized letter of authorization from property owner)								
	Additional Addresses, if applicable							
Parcel ID:								
	-							

TEMPORARY STREET AND SIDEWALK CLOSING INFORMATION (Street Closings require City Council approval. Meetings 1st & 3rd Tuesdays but subject to change)

Address of Event: Flagler Parks - Downtown City of Okeechobee

Street(s) to be closed:	SW 3rd Ave from Hwy 70 to Park Street (1 block) / SW 4th Ave from Hwy 70 to Park Street (1 block)
Date(s) to be closed:	Friday March 10, 2023 - Sunday March 12, 2023
Time(s) to be closed:	Friday March 10, 2023 at 5 PM - Sunday March 12, 2023 at 5 PM
Purpose of Closing:	For event food trucks and vendors

Attachments Required for Use of Parks	Attachments Required for Street/Sidewalk Closings				
► Site Plan	 Site Plan 				
Copy of liability insurance in the amount of	► Copy of liability insurance in the amount of \$1,000,000.00				
\$1,000,000.00 with the City of Okeechobee as	with the City of Okeechobee and R.E. Hamrick Testamentary				
additional insured.	Trust as Additional Insured.				
▶ Proof of non-profit status	 Original signatures of all residents, property owners and 				
	business owners affected by the closing.				
► State Food Service License if > 3 days.	► State Food Service License if > 3 days.				
Notarized letter of authorization from	State Alcoholic Beverage License, if applicable.**				
property owner, if applicable.*					

* Required if private property used in conjunction with a Park Use application.

** Alcoholic beverages can be served only on private property. Alcoholic beverages NOT ALLOWED in City Parks, City streets or City sidewalks. See additional note below.

□ Please check if items will be sold on City streets/sidewalks. Each business will need to apply for a <u>Temporary</u> <u>Use Permit 667</u> along with the Street Closing application.

Note:

- Clean-up is required within 24 hours.
- ▶ No alcoholic beverages permitted on City property, streets or sidewalks.
- No donations can be requested if any type of alcoholic beverages are served on private property/business unless you possess a State Alcoholic Beverage License. Please note there are inside consumption and outside consumption licenses. You must have the appropriate license(s).
- ▶ The Department of Public Works will be responsible for delivering the appropriate barricades.
- ▶ Dumpsters and port-o-lets are required when closing a street for more than three (3) hours.

Applicant must meet any insurance coverage and code compliance requirements of the City and other regulations of other governmental regulatory agencies. The applicant will be responsible for costs associated with the event, including damage of property. By receipt of this permit, the applicant agrees and shall hold the City harmless for any accident, injury, claim or demand whatever arises out of applicant's use of location for such event, and shall indemnify and defend the City for such incident, including attorney fees. The applicant shall be subject to demand for, and payment of, all of the actual costs incurred by the City pertaining to the event including, but not limited to, Police, Fire, Public Works or other departmental expenses. The City reserves the right to require from an applicant a cashier's check or advance deposit in the sum approximated by the City to be incurred in providing City services. Any such sum not incurred shall be refunded to the applicant of this Park Use/Street Closing Permit. I hereby acknowledge that I have read and completed this application, the attached Resolutions No.(s) 03-8 and 04-03, concerning the use and the rules of using City property, that the information is correct, and that I am the duly authorized agent of the organization. I agree to conform with, abide by and obey all the rules and regulations, which may be lawfully prescribed by the City Council of the City of Okeechobee, or its officers, for the issuance

Certificate of Insurance must name City of Okeechobee as Additional Insured as well as R.E. Hamrick Testamentary Trust if closing streets or sidewalks.

Van I mes 1/12/2023 Applicant Signature Date •••OFFICE USE ONLY•••• **Staff Review** Fire Department: Date: **Building Official:** Date: **Public Works:** Date: **Police Department:** Date: **BTR Department:** Date: **City Administrator:** Date: **City Clerk:** Date:

NOTE: APPLICATION AND INSURANCE CERTIFICATE MUST BE COMPLETED AND RETURNED TO THE GENERAL SERVICES DEPARTMENT THIRTY (30) DAYS PRIOR TO EVENT FOR PERMITTING.

Temporary Street and Sidewalk Closing submitted for review by City Council on

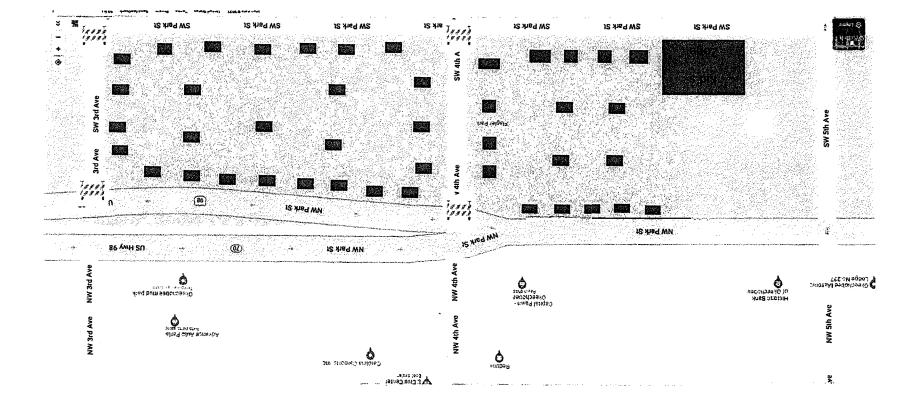
Date

Temporary Street and Sidewalk Closing reviewed by City Council and approved

Date

	APPLICATION FOR SPECIAL EVENT
A Provide a Number	
Application Number:	Date Received:
NAME OF EVENT:	eckled Perch Festival
ADDRESS OF EVENT:	Flagler Par ks 3 and 4 - Hwy 70
solo artist. The event has a var	ures food vendors of all varieties both tent and truck. The event will have entertainment, Johnny Debt, iety of vendors from clothing to arts and crafts. The event will also feature children's games and
	egins at 10 AM on Saturday, March 10 and follows the normal parade route. DRGANIZATION: Okeechobee Main Street
	and during event OF RESPONSIBLE PERSON: (863) 357-2646 -
CONTACT NUMBER DEFORE	and during event <u>OF RESPONSIBLE PERSON: (603) 357-2040</u> -
RESPONSIBLE PERS	ON'S NAME:
DATE(S) AND TIME(S	S) OF EVENT.
Date: Sunday M	Mar. 11 Starting Time: 10 AM Closing Time: 3 PM ar. 12 Starting Time: 10 AM Closing Time: 3 PM
	E BLOCKED/CLOSED? Yes LOCATION SW 3rd Ave and 4th Ave from Hwy 70 to Park
Will Emergency Ap F NO. THEN (provide alter)	paratus (Fire and Ambulance) have access to area? <u>Yes</u>
IF NO, THEN (provide alter WILL ELECTRICITY BE USE Locations:	D? YES DENO DE (circle)
IF NO, THEN (provide alter WILL ELECTRICITY BE USE Locations: Provided By: WILL HEATING/OPEN FLAN	MES FOR FOOD BE PROVIDED? (circle) YES D (NO D)
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ACORD	CEI	RTI	FICATE OF LIA	BII				DATE	MBUCHANAN
THIS CERTIFICATE IS ISSUED AS CERTIFICATE DOES NOT AFFIRMA BELOW. THIS CERTIFICATE OF IN REPRESENTATIVE OR PRODUCER, A	a ma Tivel Isur	ATTE Y O Anci	R OF INFORMATION ON R NEGATIVELY AMEND, E DOES NOT CONSTITU	LY AN EXTE	D CONFERS	NO RIGHTS ER THE CO	UPON THE CERTIFICA	te ho By th	IE POLICIES
IMPORTANT: If the certificate hold If SUBROGATION IS WAIVED, subjet this certificate does not confer rights	ect to	b the	terms and conditions of	the po	licy, certain	policies may			
PRODUCER Lawrence Insurance Agency, Inc. P.O BOX 549				CONTA NAME: PHONE (AIC, NO	, Enti: (863) 4	67-0600		(863)	467-5142
Okeechobee, FL 34973						URER(S) AFFOR	INS.COM RDING COVERAGE surance Co		NAIC #
INSURED				INSURE	R B:				
Okeechobee Main Street				INSURE	RC:				
111 NE 2nd Street Okeechobee. FL 34972				INSURE					
······································				INSURE					+
COVERAGES CEI	RTIFI	CATI	E NUMBER:	INSURE	R P ;		REVISION NUMBER:		4
THIS IS TO CERTIFY THAT THE POLICI INDICATED. NOTWITHSTANDING ANY CERTIFICATE MAY BE ISSUED OR MAY EXCLUSIONS AND CONDITIONS OF SUCH	REQU PER POLI	REM TAIN CIES	ENT, TERM OR CONDITION THE INSURANCE AFFORE LIMITS SHOWN MAY HAVE	N OF A	NY CONTRA THE POLIC REDUCED BY	CT OR OTHER IES DESCRIB PAID CLAIMS,	R DOCUMENT WITH RESP ED HEREIN IS SUBJECT	ECT TO	WHICH THIS
INSR TYPE OF INSURANCE			POLICY NUMBER		POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMI	rs -	4 000 000
A X COMMERCIAL GENERAL LIABILITY					40/05/2022	40 005 02 02 2	EACH OCCURRENCE	<u>s</u>	1,000,000
X Directors & Officers	X		NBP2552460E		10/25/2022	10/25/2023	PREMSES (E) (TOTAL)	5	5,000
							MED EXP (Any one person) PERSONAL & ADV INJURY	5	1,000,000
GEN'L AGGREGATE LIMIT APPLIES PER:							GENERAL AGGREGATE	5	1,000,000
							PRODUCTS - COMPIOP AGG	s	
	1	1					Hired/Non Owned	s	Included
AUTOMOBILE LIABILITY	1						COMBINED SINGLE LIMIT (Ea accident)	5	
							BODILY INJURY (Per person)	5	-
ANY SONLY SOUL ANY SO							BODILY INJURY (Per accident) PROPERTY DAMAGE (Per accident)	<u>s</u>	
	1	1					EACH OCCURRENCE		
EXCESS LIAB CLAIMS-MADE							AGGREGATE	s	
DED RETENTION \$	1							s	
WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	Ī	1					PER OTH-		
	N/A						E.L. EACH ACCIDENT	\$	
OFFICER/MEMBER EXCLUDED? (Manuatory in NA)		1					E.L. DISEASE - EA EMPLOYE	: s	
If yes, describe under DESCRIPTION OF OPERATIONS below	<u> </u>	<u> </u>					E.L. DISEASE - POLICY LIMIT	5	
DESCRIPTION OF OPERATIONS / LOCATIONS / VEHIC City of Okeechobee and RE Hamrick is incl	LES (/ uded	ACORI as ac	101, Additional Remarks Schedul Iditional insureds with requ	ie, may b uest to	e attached if mor General Liai	e space is requir pility Coverag	red) je	-	
CERTIFICATE HOLDER				CANC	ELLATION				
City of Okeechobee 65 S.E. 3rd Avenue Okeechobee, FL 34974				SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.					

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RESOLUTION NO. <u>03-8</u>

A RESOLUTION OF THE CITY OF OKEECHOBEE, FLORIDA TO ESTABLISH GUIDELINES FOR USE OF PUBLIC PARKS OR OTHER LANDS OWNED BY THE CITY OF OKEECHOBEE FOR CERTAIN CHARITABLE OR BENEVOLENT ORGANIZATIONS; OR THE GENERAL PUBLIC; PROVIDING FOR AUTHORITY TO REVIEW SUCH APPLICATIONS; PROVIDING FOR AUTHORITY TO REVIEW SUCH PROVIDING FOR GUIDELINES FOR SUCH ORGANIZATIONS TO FOLLOW; PROVIDING FOR INSURANCE REQUIREMENT; PROVIDING FOR AN EFFECTIVE DATE.

- WHEREAS, there are located within the City of Okeechobee certain public parks and other areas owned by the City of Okeechobee that are intended for, and open for use by, the general public, with certain restrictions; and
- WHEREAS, these functions range from large gatherings which attract many participants, to very small groups, which may or may not cause traffic control problems, and vary in intensity; and
- WHEREAS, current regulations require the same liability insurance coverage for any such group authorized to gather in the parks or on city lands, which creates a hardship on the smaller gatherings;
- NOW, THEREFORE, be it resolved and adopted by the City Council for the City of Okeechobee, Florida the following resolution:
 - 1. THAT permission for charitable or benevolent organizations, or non profit groups, to engage in certain activities in City parks or on City lands, is governed by Article IV, Sections 14-141 to 14-149 of the City Code of Ordinances, which regulations and restrictions shall be considered by General Services whenever an application or request for use of public areas is made, and followed accordingly.
 - 2. THAT for any permit or permission granted by the Department of General Services for such activities on public lands, such permit shall be also executed by the City Administrator, prior to such event taking place.
 - 3. THAT most applicants for use of parks and public lands are charitable or civic groups, who stage large events and attract many people. However, smaller groups for prayer meetings; weddings; boy and girl scouting; and similar type events are also authorized in parks and in public places, but are also subject to the requirements of Article IV of the City Code.
 - 4. THAT current regulations require the applicant for an event to procure llability insurance in the sum of \$ 1 million; the cost of which is or may be prohibitive for smaller and more informal groups.
 - 5. THEREFORE, for any application wherein it appears to the Department of General Services that the participants thereof may be 100 or fewer persons, the liability insurance requirement shall be waived. The City reserves the right to require the participants to execute a hold harmless agreement, depending upon the nature and impact of the event.

INTRODUCED AND ADOPTED this <u>5th</u> day of <u>August</u>, 2003.

ATTEST:

James. E. Kirk, Mayor

Lane Gamiotéa, City Clerk

REVIEWED FOR LEGAL SUFFICIENCY:

John Cook, City Attorney



RESOLUTION NO. <u>04-03</u>

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A RESOLUTION OF THE CITY OF OKEECHOBEE, FLORIDA SUPPLEMENTING RESOLUTION NO. 03-08; GUIDELINES FOR USE OF PUBLIC PARKS OR OTHER LANDS OWNED BY THE CITY OF OKEECHOBEE FOR CERTAIN CHARITABLE OR BENEVOLENT ORGANIZATIONS; PROVIDING FOR AUTHORITY TO REVIEW SUCH APPLICATIONS; PROVIDING FOR STANDARDS FOR REVIEW; PROVIDING FOR GUIDELINES FOR SUCH ORGANIZATIONS TO FOLLOW; PROVIDING FOR AN EFFECTIVE DATE.

- WHEREAS, there are located within the City of Okeechobee certain public parks and other areas owned by the City of Okeechobee that are intended for, and open for use by, the general public, with certain restrictions; and
- WHEREAS, these uses change from time to time, and problems arise by certain uses that are not anticipated, but should be the subject of regulation and control by the City of Okeechobee for the safety and welfare of its citizens, and which requires supplementing existing rules as necessary;
- NOW THEREFORE, it is resolved before the City Council for the City of Okeechobee, Florida; presented at a duly advertised public meeting; and passed by majority vote of the City Council; and properly executed by the Mayor or designee, as Chief presiding Officer for the City:
 - 1. THAT permission for charitable or benevolent organizations, or non-profit groups, to engage in certain activities in City parks or on City lands, is governed by Article IV, Sections 14-141 to 14-149 of the City Code of Ordinances, which regulations and restrictions shall be considered by General Services whenever an application or request for use of public areas is made, and followed accordingly.
 - 2. THAT for any authorized use of the public parks or rights-of-way within the City, the following regulations shall be followed, as applicable:
 - a. The organization or permit holder, or their designee, shall be responsible to completely clean up the public area used by the permit, within two days of completion of the event, unless otherwise designated in the permit.
 - b. No trailers unattached to a motor vehicle shall be parked along any street or avenue or public right-of-way, or in a marked parking spot, unless the right-of-way is closed for the event, not otherwise blocked off by the City. No other motor vehicles or trailers will be allowed to park or remain on the Park grounds unless prior written approval is obtained from the City Public Works Director or their designee, or such vehicle or trailer is participating in an event such as a permitted activity or car show. Any motor vehicle or trailer parked in violation of this section may be towed by the City at the owner's expense, who shall be liable for all towing and storage fees.
 - c. Golf carts, 4-wheelers or other vehicles not licensed for use on public rights-of-way, will not be permitted on the Park grounds without prior written approval of the City Public Works Director or their designee.
 - d. Certain events, such as but not limited to parades, or those which draw a large number of people, require significant incurring of costs

by the City, for traffic control, crowd control, fire safety, paramedic service, or general policing, which often requires adding personnel, and incurring overtime labor expense. For any such event, the City may require the organization or permit holder to be responsible for these additional costs, including property or personal injury damages that may occur during the event. There will be a mandatory inspection meeting between the Public Works Director or their designee and a representative from the permit holder prior to and after each event. Any additional expenses as stated above, will be billed to the organization or permit holder, who shall pay such sum to the City.

e. For activities in Flagler Park, the use of generators for power is encouraged, as electric outlets are limited and subject to the right of the City to deny their use. When generators or extension cords are used, the applicant shall cause a U.L. approved extension cord of proper gauge to be safely attached, and routed so as to not interfere with any pedestrian path, or in such area as may pose a risk of harm to the public or other participants.

James. E. Kirk, Mayor

INTRODUCED AND ADOPTED this <u>16nd</u> day of <u>March</u>, 2004.

ATTEST añe Gamiotea City Clerk

REVIEWED FOR LEGAL SUFFICIENCY:

John R. Cook, City Attorney



Exhibit 2 02/07/2023

> Page 1 of 3 Revised 3/5/19

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CITY OF OKEECHOBEE 55 SE THIRD AVENUE OKEECHOBEE, FL 34974 Tele: 863-763-9821 Fax: 863-763-1686 PARK USE AND/OR TEMPORARY STREET/ SIDEWALK CLOSING PERMIT APPLICATION

Date Received: Date Issued:								
Application No: 23-005 Date(s) & Times of Event: Friday, February 24, 2023 8am-2:30pm								
Information:								
Organization: Okeechobee Christian Academy								
Mailing Address: 701 S. Parrott Ave, Okeechobee, FL 34974								
Contact Name: Melissa King								
E-Mail Address: Melissa.King@OkeechobeeChristianAcademy.org								
Telephone:								
Work: 863-763-3072 Home: Cell:								
Summary of activities:								
Students will participate in Field Day and will need to cross back and forth all day.								
Proceeds usage:								
Please check requested Parks:								
Flagler Parks: □ City Hall Park □ #1 Memorial Park □ #2 □ #3 □ #4 □ #5 □ #6 [Park 3 is location of Gazebo. Park 4 is location of Bandstand]								
(If other private property used in conjunction with this Park Use Permit please provide the address and parcel number below along with notarized letter of authorization from property owner)								
Additional Addresses, if applicable Parcel ID:								

Page 2 of 3 Revised 3/5/19

TEMPORARY STREET AND SIDEWALK CLOSING INFORMATION

(Street Closings require City Council approval. Meetings 1st & 3rd Tuesdays but subject to change)

Address of Event: 701 S Parrott Ave

Street(s) to be closed: SE 2nd Ave from SE 6th Street to SE 7th Street

Date(s) to be closed: Friday, February 24, 2023

Time(s) to be closed: 8:00am-2:30pm

Purpose of Closing: Safety of children crossing the street

Attachments Required for Use of Parks	Attachments Required for Street/Sidewalk Closings				
► Site Plan	► Site Plan				
• Copy of liability insurance in the amount of	► Copy of liability insurance in the amount of \$1,000,000.00				
\$1,000,000.00 with the City of Okeechobee as	with the City of Okeechobee and R.E. Hamrick Testamentary				
additional insured.	Trust as Additional Insured.				
▶ Proof of non-profit status	▶ Original signatures of all residents, property owners and				
	business owners affected by the closing.				
State Food Service License if > 3 days.	► State Food Service License if > 3 days.				
Notarized letter of authorization from	► State Alcoholic Beverage License, if applicable.**				
property owner, if applicable.*					
*D · 1.6 ·					

* Required if private property used in conjunction with a Park Use application.

** Alcoholic beverages can be served only on private property. Alcoholic beverages **NOT ALLOWED** in City Parks, City streets or City sidewalks. See additional note below.

□ Please check if items will be sold on City streets/sidewalks. Each business will need to apply for a <u>Temporary</u> <u>Use Permit 667</u> along with the Street Closing application.

Note:

- ► Clean-up is required within 24 hours.
- ▶ No alcoholic beverages permitted on City property, streets or sidewalks.
- No donations can be requested if any type of alcoholic beverages are served on private property/business unless you possess a State Alcoholic Beverage License. Please note there are inside consumption and outside consumption licenses. You must have the appropriate license(s).
- ▶ The Department of Public Works will be responsible for delivering the appropriate barricades.
- Dumpsters and port-o-lets are required when closing a street for more than three (3) hours.

Applicant must meet any insurance coverage and code compliance requirements of the City <u>and other regulations</u> <u>of other governmental regulatory agencies</u>. The applicant will be responsible for costs associated with the event, including damage of property. By receipt of this permit, the applicant agrees and shall hold the City harmless for any accident, injury, claim or demand whatever arises out of applicant's use of location for such event, and shall indemnify and defend the City for such incident, including attorney fees. The applicant shall be subject to demand for, and payment of, all of the actual costs incurred by the City pertaining to the event including, but not limited to, Police, Fire, Public Works or other departmental expenses. The City reserves the right to require from an applicant a cashier's check or advance deposit in the sum approximated by the City to be incurred in providing City services. Any such sum not incurred shall be refunded to the applicant of this Park Use/Street Closing Permit.

I hereby acknowledge that I have read and completed this application, the attached Resolutions No.(s) 03-8 and 04-03, concerning the use and the rules of using City property, that the information is correct, and that I am the duly authorized agent of the organization. I agree to conform with, abide by and obey all the rules and regulations, which may be lawfully prescribed by the City Council of the City of Okeechobee, or its officers, for the issuance

Certificate of Insurance must name City of Okeechobee as Additional Insured as well as R.E. Hamrick Testamentary Trust if closing streets or sidewalks.

Melissaking

1/23/2023

Applicant Signature

Staff Review

Date

••••OFFICE USE ONLY••••

Fire Department:		Date:	
Building Official:		Date:	
Public Works:		Date:	
Police Department:		Date:	
BTR Department:	-trad	Date:	1-27-23
City Administrator:		Date:	
City Clerk:		Date:	

NOTE: APPLICATION AND INSURANCE CERTIFICATE MUST BE COMPLETED AND RETURNED TO THE GENERAL SERVICES DEPARTMENT THIRTY (30) DAYS PRIOR TO EVENT FOR PERMITTING.

Temporary Street and Sidewalk Closing submitted for review by City Council on

Date

Temporary Street and Sidewalk Closing reviewed by City Council and approved _

Date

CITY OF OKEECHOBE.	E FIRE DEPARTMENT
APPLICATION FO	R SPECIAL EVENT
Application Number:	Date Received: 1-26-23
NAME OF EVENT: _ Field Day - OCA	
ADDRESS OF EVENT: 701 S. Parrott Are	2
	Crossing back/forthall day.
NAME OF SPONSOR ORGANIZATION:	hobee Christian Academy
Contact Number before and during event OF RESP	ONSIBLE PERSON: (8) 763-3072
RESPONSIBLE PERSON'S NAME:	
Melissa King	
DATE(S) AND TIME(S) OF EVENT:	
Date: 2/24/23Starting Time:S.00	AM Closing Time: 2:30 PM
Date: Starting Time:	Closing Time:
ARE ANY ROADWAYS TO BE BLOCKED/CLOSED?	O AM Closing Time: 2:30 PM Closing Time: OCATION SE 2Nd Avenue from SELOth to 7th Streets
Will Emergency Apparatus (Fire and Ambulance) I	
IF NO THEN (provide alternatives)	
WILL ELECTRICITY BE USED?	le)
Locations: Provided By:	
WILL HEATING/OPEN FLAMES FOR FOOD BE PROVIDED? (circle) YES 2 (2NO 2
Type of Heating Equipment Used:	
WILL A TENT BE ERECTED? (circle) YES 🛛 🔾	NO @
Tent Manufacturer: Size fire	
Tent have sides and how many?	
Are there Fire Extinguishers accessible and ready for use	? (circle) Yes No
	OF EVENT LAYOUT***
	COMPLETE ITEMS BELOW:
FIRE DEPARTMENT LIFE SAFETY & FIRE SERVICES B	
Tents/canopy fire rating certificate required.	
□ Tent Size require life safety inspection (900 squar	
□ Floor plan / seating / setup drawing required showing	
Emergency access must be maintained. (REFERS TO	•
□ Fire extinguishers must have current tag, and be opera	
 Cooking requires LPG outside of tent pointing away f Electrical wiring exterior rated, not overloaded. 	rom exposures.
 Electrical writing exterior rated, not overloaded. Fire Services inspection required. 	
□ Fire watch or inspector(s) REQUIRED? FIRE WA	TCH Amount:
Firefighter/Inspector Amount:	□ Other:
FIRE DEPARTMENT OFFICIAL (PRINT):	
SIGNATURE:	Please call the FD at 863-467-1586 for any questions.



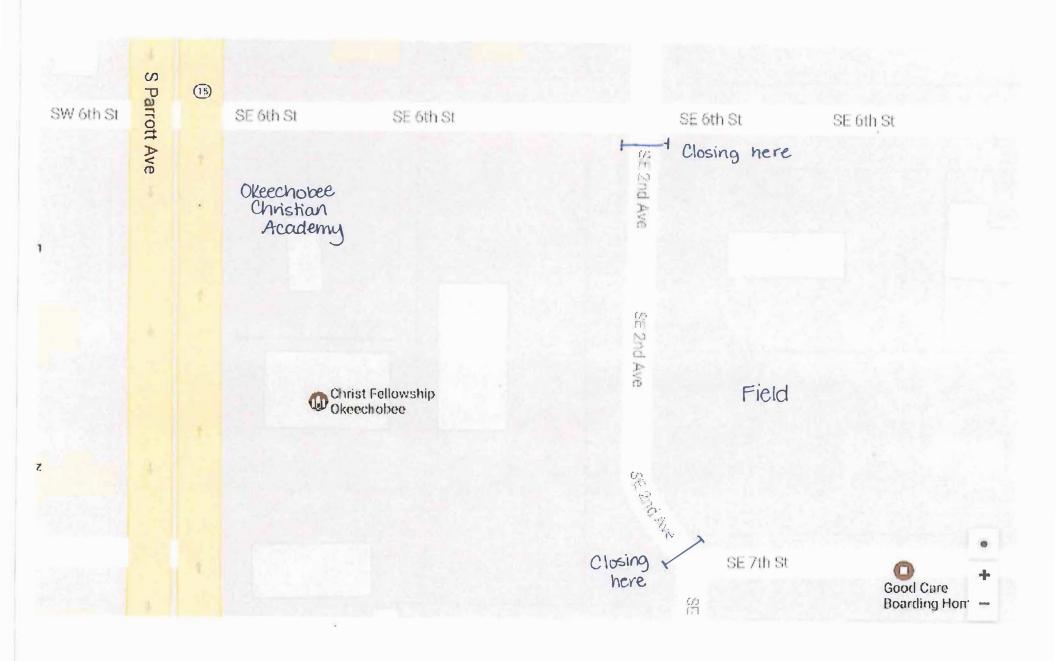
CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

Т	HIS CERTIFICATE IS ISSUED AS A MAT	TFR			CONFE	RS NO RIGH		E CERTIFICATE HOI DER		25/2025
THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.										
	IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed.									
lf	If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).									
						·	nristine Dewey			
JD/	Insurance				PHONE (A/C, No	(561) 29	6-0373	(A/C, No):	(561) 8	28-0997
120	N. Federal Hwy., #301				E-MAIL	obristino@	thejdagroup.c			
						INS	SURER(S) AFFOR	DING COVERAGE		NAIC #
Lak	e Worth			FL 33460	INSURER A : Philadelphia Indemnity Insurance Company					18058
INSU	RED				INSURE	RB: Insurance	e Company of	the West		27847
	Okeechobee Christian Academy 701 South Parrott Ave	, INC.			INSURE					
	701 South Parlou Ave				INSURE					
	Okeechobee			FL 34974	INSURE					
со	VERAGES CER	TIFIC		NUMBER: CL231250335		<u>Kr</u> ,		REVISION NUMBER:		i
	HIS IS TO CERTIFY THAT THE POLICIES OF I	NSUR	ANCE	LISTED BELOW HAVE BEEN						
	IDICATED. NOTWITHSTANDING ANY REQUI ERTIFICATE MAY BE ISSUED OR MAY PERTA								IIS	
	XCLUSIONS AND CONDITIONS OF SUCH PO		S. LIM		REDUC	ED BY PAID CL	AIMS.			
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								DAMAGE TO RENTED	\$ 1,00 \$ 500,	,
								PREMISES (Ea occurrence)	<u> </u>	
А		Y		PHPK2416971		07/01/2022	07/01/2023		<u>s</u> 1,000,000	
	GEN'L AGGREGATE LIMIT APPLIES PER:								\$ 3,000,000	
ļ	POLICY PRO- JECT LOC							PRODUCTS - COMP/OP AGG	<mark>\$</mark> _3,00	0,000
	OTHER:								\$	
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Α	EXCESS LIAB CLAIMS-MADE			PHUB815898		07/01/2022	07/01/2023	AGGREGATE	<mark>\$</mark> 1,00	0,000
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	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY Y / N							X PER OTH-		
в	ANY PROPRIETOR/PARTNER/EXECUTIVE N OFFICER/MEMBER EXCLUDED?	N / A		PHPK2416971		07/01/2022	07/01/2023		\$ 1,00	0,000
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L								E.L. DISEASE - POLICY LIMIT	•	00,000
A	Professional Liability			PHPK2435608		07/01/2022	07/01/2023	Aggregate	\$1,0	00,000
								Retention	\$1,0	00
DES	CRIPTION OF OPERATIONS / LOCATIONS / VEHICLE	S (AC	ORD 1	01, Additional Remarks Schedule,	may be a	ttached if more s	bace is required)	-		
Re	With respect to field day events for the scho	ol								
The	City of Okeechobee and R.E. Hamrick Test	ament	ary Tr	ust is named as an Additiona	I Insure	d under the Ge	neralLiability	policy evidenced herein.		
CE	CERTIFICATE HOLDER CANCELLATION									
										DEEODE
SHOULD ANY OF THE ABOVE DESC THE EXPIRATION DATE THEREOF, N							BEFURE			
	The City of Okeechobee R.E. Ha	amrick	Testa	amentary Trust	ACC		TH THE POLIC	Y PROVISIONS.		
	55 SE 3rd Ave				AUTHO	RIZED REPRESE	TATIVE			
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Okeechobee FL 34974-2903			Junans							

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PETITION #22-003-SE CONTENTS: REVISED PLANNING STAFF REPORT, 14 Pages MINUTES FOR HEARINGS HELD TO DATE, 6 Pages ORIGINAL PETITION DOCUMENTS, 67 Pages

Public Hearings held before the Board of Adjustment (BOA): 10-20-2022, deferred to next meeting, see Minutes Pages 1-2. 11-17-2022, deferred to next meeting, see Minutes Pages 1. 12-15-2022 BOA recommends approval by the City Council, see Minutes Pages 1-3.

The City Council will consider to approve or deny this Petition on 2-7-2023 at 6:00 PM. City Hall, 55 SE 3rd Avenue, Room 200 Okeechobee, FL 34974

BE ADVISED that should you intend to show any document, picture, video, or items to the **Council** in support or opposition to any item on the agenda, a copy of the document, picture, video, or item must be provided to the City Clerk for the City's records.

ANY PERSON DECIDING TO APPEAL any decision made by the **Council** with respect to any matter considered at this meeting will need to ensure a verbatim record of the proceeding is made and the record includes the testimony and evidence upon which the appeal will be based.

In accordance with the Americans with Disabilities Act, persons with disabilities needing special accommodation to participate in this proceeding should contact the City Clerk's Office in person or call 863-763-9814, Hearing Impaired: Florida Relay 7-1-1 no later than four business days prior to proceeding.

22-003-SE

Special Exception Staff Report



Applicant | CitySwitch II-A, LLC Address | 1117 NW 9th Street



Prepared for The City of Okeechobee Council

MORRIS

DEPEW

General Information

Owner: CSX Transportation INC Applicant: CitySwitch II-A, LLC Primary Contact: Kyle Lotze (770)-862-1034 Site Address: 1117 NW 9th Street Parcel Identification: 3-16-37-35-0160-00110-0010 (34413)

Note: For the legal description of the project or other information relating this application, please refer to the application submittal package which is available by request at City Hall and is posted on the City's website prior to the advertised public meeting at: <u>https://www.cityofokeechobee.com/agendas.html</u>

Future Land Use, Zoning, and Existing Use of Subject Property

Parcel Identification: 3-16-37-35-0160-00110-0010 (34413)	Existing	Proposed					
Future Land Use	Industrial	Industrial					
Zoning	Industrial	Industrial					
Use of Property	Open Storage	Communications tower and associated structures					
Acreage	5.19 acres total parcel area 0.14 acre development site	5.19 acres total parcel area 0.14 acre development site					

Future Land Use, Zoning, and Existing Use of Surrounding Properties

	Future Land Use	Zoning	Existing Use
North	Industrial	Industrial	Vacant
East	Industrial	Industrial	Remainder of subject parcel is undeveloped, currently used for open storage. To the east of the subject property is single family residential
South	FLUM does not provide designation for railway parcel directly to the south, though it may be assumed to be Industrial, consistent with the zoning designation	Industrial	Railway
West	(Unincorporated Okeechobee County) Industrial	(Unincorporated Okeechobee County) Industrial-2	Vacant



Description of Request and Existing Conditions

The request for consideration by the City of Okeechobee Council is a request to allow a new freestanding communication tower and associated structures. This request involves a parcel owned and managed by CSX Transportation INC. The request is for one parcel, totaling 5.19 acres, located at 1117 NW 9th Street. The Applicant is proposing development within the subject parcel of a 50-foot by 50-foot fenced compound that includes a communications tower, storage, landscaping, and two electric service H-frames as well as a 30-foot by 120-foot access corridor between the compound and the northern property line fronting on NW 9th St. The combined area of proposed compound and access corridor within the subject property total 0.14 acres. Perimeter fencing of the compound is proposed. Color of tower will be flat black, blue or grey. The total tower height including lightning rods is 160 feet. The City's Technical Review Committee reviewed the site plan submitted for this request and recommended approval with several conditions. The City's Board of Adjustment also recommended approval of this request, with several conditions. The latest site plan and additional documents submitted by the applicant have satisfied some of the recommended conditions of approval. Staff's remaining recommended conditions for approval provided at the end of this report.

Consistency with LDC Section 70-373

City LDC Section 70-373(b) requires that applicants for special exception requests must address the following standards. The applicant has submitted responses to each standard, which are provided unedited below. Staff comments are also provided in response to the standards and the applicant's responses.

(1) Demonstrate that the proposed location and site is appropriate for the use.

<u>Applicant Response</u>: The proposed tower will be located within the industrial zoning district on parcel 3-16-37-35-0160-00110-0010 owned by CSX Transportation, Inc. Section 90-602 of the LDR states that new freestanding communication towers are a permitted use within the Industrial zoning districts. The intent of the city policy is to locate towers in largely industrial zones away from residential areas; the proposed tower complies with this policy. The proposed location will locate the tower inside of an industrial zoned area which will cause less visual impact to surrounding residential properties.

Staff Comments: Communication towers are not specifically listed as a permitted use in the industrial zoning district regulations. However, "radio, television or cable reception, transmission or operational facilities" are listed as a permitted use and "permitted uses in excess of 45 feet in height" is listed under special exception uses. Additionally, it is stated under the industrial district maximum height standards that telecommunication towers are governed by LDC section 90-601. It follows that all of Division 6 of Article IV of Chapter 90 should apply to the review of this request and the associated site plan. Division 6 is titled, "Communication Towers and Communication Antennas" and is comprised of LDC Sections 90-601 through 90-604. Section 90-602(c) provides the following:



New freestanding communication towers shall not be allowed unless the applicant... proposes the communication facility within the permitted city zoning designations listed as follows... Industrial...

The subject property and other properties surrounding the subject site are entirely designated industrial, though residential uses exist in the vicinity, south of the railway and east of the subject parcel. The proposed tower meets the separation requirements from residential parcels and uses.

(2) Demonstrate how the site and proposed buildings have been designed so they are compatible with the adjacent uses and the neighborhood.

<u>Applicant Response:</u> The proposed location will locate the tower inside of an industrial zoned area which will cause less visual impact to surrounding residential properties and is compatible with surrounding similar uses as light and heavy industry.

Staff Comments: No specific buildings are proposed at this time, only the tower, associated equipment, access corridor, landscaping, and fencing.

(3) Demonstrate any landscaping techniques to visually screen the use from adjacent uses.

<u>Applicant Response:</u> The proposed tower will be located in an area which is already industrial in nature, with little to no screening for any other industrial use in the area. On the southern portion of the railroad right-of-way adjoining the proposed tower site is an existing treeline which will provide visual buffering between the tower location and the nearest residential properties as shown in those enclosed Site Images.

Staff Comments: The base of the tower is setback 220' from the nearest residential parcel. The required setback for a 160' communications tower is a maximum of 200'. The Applicant is proposing perimeter landscaping, including a solid shrub hedge consistent with City LDC 90-603(g).

(4) Demonstrate what is proposed to reduce the impact of any potential hazards, problems or public nuisance generated by the use.

<u>Applicant Response</u>: The intent of the city policy is to locate towers in largely industrial zones away from residential areas; the proposed tower complies with this policy. The proposed location will locate the tower inside of an industrial zoned area which will cause less visual impact to surrounding residential properties. In addition, the tower is designed such that, in the event of a catastrophic failure, the tower would collapse within the tower compound. The presence of the tower would be a value add to public welfare by allowing additional carriers to collocate antennas onto the proposed tower to provide additional coverage to first responders, the community, and its citizens, especially in an emergency event. The proposed use will not be injurious to the area



or public welfare since such proposed use will not emit noise, dust, odor, or fumes, and will not significantly increase traffic.

Staff Comments: The subject property is zoned Industrial, which allows communication towers above 45 feet tall as a special exception use. The proposed setback from the residential dwellings located to the south and east that is greater than the required 200' setback from surrounding uses. There are currently no other existing structures within the 160' fall radius.

(5) Demonstrate how the utilities and other service requirements of the use can be met.

<u>Applicant Response:</u> The only utility the proposed tower will require is power, which will be run from the existing power pole in the public right-of-way, NW 9th St, as shown on sheet C-1 of the enclosed zoning drawings.

Staff Comments: The proposed use will not create any significant utility or service demands.

(6) Demonstrate how the impact of traffic generated will be handled, off site and on site.

<u>Applicant Response:</u> The proposed tower will be unmanned and will not significantly increase traffic as the only traffic will be from the initial tower construction and thereafter only monthly routine maintenance.

Staff Comments: Staff agrees that the proposed use should not generate significant traffic that would necessitate traffic impact analysis.

City LDC Section 70-373(c) provides a list of findings that the Board of Adjustment must address in its determination to approve the request, deny the request, or approve the request with conditions. The applicant has submitted responses to each finding, which are provided un-edited below. Staff comments are also provided in response to the findings and the applicant's responses.

(1) The use is not contrary to comprehensive plan requirements.

<u>Applicant Response:</u> Section 90-602 of the LDR states that new freestanding communication towers are a permitted use within the Industrial zoning districts. The intent of the city policy is to locate towers in largely industrial zones away from residential areas; the proposed tower complies with this policy.

Staff Comments: The proposed communications tower use is not contrary to comprehensive plan requirements.

(2) The use is specifically authorized as a special exception use in the zoning district.

<u>Applicant Response</u>: Section 90-602 of the LDR states that new freestanding communication towers are a permitted use within the Industrial zoning districts. In addition, Section 90-603(e)



allows for a waiver from the required minimum separation distances in subsections (c) and (d) through the special exception process. CitySwitch is requesting a waiver to the setback to a residentially zoned property as further described in that Statement of Compliance enclosed.

Staff Comments: The proposed communication tower is allowable within the Industrial zoning district.

(3) The use will not have an adverse effect on the public interest.

<u>Applicant Response:</u> The presence of the tower would be a value add to public welfare by allowing additional carriers to collocate antennas onto the proposed tower to provide additional coverage to first responders, the community, and its citizens, especially in an emergency event. The proposed use will not be injurious to the area or public welfare since such proposed use will not emit noise, dust, odor, or fumes, and will not significantly increase traffic.

Staff Comments: The proposed use provides communication services to the community and should not have an adverse effect on the public interest. The applicant has also stated an intent to provide equipment for emergency service communications.

(4) The use is appropriate for the location proposed, is reasonably compatible with adjacent uses, and is not detrimental to urbanizing land use patterns.

<u>Applicant Response:</u> Section 90-602 of the LDR states that new freestanding communication towers are a permitted use within the Industrial zoning districts. The intent of the city policy is to locate towers in largely industrial zones away from residential areas; the proposed tower complies with this policy.

Staff Comments: The selected site is reasonably appropriate for this use, located in the industrial zoning district with no other structures located within the 160' fall radius. Surrounding properties are also zoned Industrial and the parent parcel is currently used for storage associated with the railroad. In this area adjacent to the railway, the proposed use is not detrimental to urbanizing land use patterns.

(5) The use will not adversely affect property values or living conditions, nor be a deterrent to the improvement or development of adjacent property.

<u>Applicant Response</u>: The intent of the city policy is to locate towers in largely industrial zones away from residential areas; the proposed tower complies with this policy. The presence of the tower would be a value add to public welfare by allowing additional carriers to collocate antennas onto the proposed tower to provide additional coverage to first responders, the community, and its citizens, especially in an emergency event. The proposed use will not be injurious to the area or public welfare since such proposed use will not emit noise, dust, odor, or fumes, and will not significantly increase traffic.



Staff Comments: Improved wireless communication service may improve living conditions in the area. It is not clear whether development of this communication tower will be a deterrent to the improvement or development of adjacent property.

(6) The use may be required to be screened from surrounding uses, to reduce the impact of any nuisance or hazard to adjacent uses.

<u>Applicant Response:</u> The intent of the city policy is to locate towers in largely industrial zones away from residential areas; the proposed tower complies with this policy. The proposed use will not be injurious to the area or public welfare since such proposed use will not emit noise, dust, odor, or fumes, and will not significantly increase traffic. On the southern portion of the railroad right-of-way adjoining the proposed tower site is an existing treeline which will provide visual buffering between the tower location and the nearest residential properties as shown in those enclosed Site Images.

Staff Comments: The submitted plans depict perimeter fencing surrounded by landscape screening in compliance with City LDC 90-603(f) and LDC 90-603(g).

(7) The use will not create a density pattern that would overburden public facilities such as schools, streets, and utility services.

<u>Applicant Response</u>: The proposed tower will be unmanned and will not significantly increase traffic as the only traffic will be from the initial tower construction and thereafter only monthly routine maintenance.

Staff Comments: The applicant's request does not include any residential density component.

(8) The use will not create traffic congestion, flooding or drainage problems, or otherwise affect public safety.

<u>Applicant Response</u>: The proposed use will not be injurious to the area or public welfare since such proposed use will not emit noise, dust, odor, or fumes, and will not significantly increase traffic. In addition, the site will maintain positive drainage on site at all times.

Staff Comments: The proposed use should not affect traffic congestion, drainage or public safety. Existing drainage features are depicted on the plans and are not proposed to be altered at this time.



Consistency with LDC Section 90-602(c)

City LDC Section 90-602(c) provides application requirements and standards for approval of new freestanding communication facilities. The following is staff's review of the completeness of the applicant's submittal according to the requirements and a review of submittal's compliance with the standards:

90-602(c): New freestanding communication towers shall not be allowed unless the applicant:

(1) Proposes the communication facility within the permitted city zoning designations listed as follows... Industrial; Public; and Heavy commercial (by special exception only).

Staff Comments: The zoning designation of the subject property is Industrial, which is listed as an appropriate category for new freestanding communication towers.

(2) Secures approval from the city council, through the normal development review and public hearing process upon showing:

a. Completion of application requirements:

1. City application including legal description of site;

Staff Comments: Provided.

2. Letter of intent of facility;

Staff Comments: A letter is submitted; Dated June 24, 2022; RE: Okeechobee/FLCO34 – Statement of Compliance with the City of Okeechobee Zoning Ordinance; From Abby Mazzetti, SVP & Chief Operating Officer of CitySwitch II-A, LLC.

3. Description of the tower, including technical reasons for its design;

Staff Comments: A project description is included in above referenced letter.

4. Site plan, including any accessory/shelter buildings, drawn to scale;

Staff Comments: Provided. A scaled site plan is submitted.

5. Landscape buffering and fencing around proposed communication facility;

Staff Comments: An updated landscape plan was provided on January 16, 2023 which proposes utilization of pine trees and a hedge of sea lavender in compliance with LDC 90-603(g) and LDC 90-540.

An updated fence detail plan was provided on December 15, 2022, depicting fencing in compliance with City LDC 90-603, with a total fence height of 8 feet in compliance with City LDC 90-639.

6. General capacity of the tower;

Staff Comments: The applicant's above referenced letter states that the tower is designed for four full cell service provider arrays as well as two collocations for railroad equipment at the top of the tower and below the lowest antenna array.



7. Proof of ownership of proposed site;

Staff Comments: Deed is provided listing CSX Transportation, Inc as owner.

8. Copies of any easements necessary; and

Staff Comments: Survey and legal description are provided, including listed easements.

9. Visual study of the area showing where within a one mile radius any portion of the proposed tower may be seen.

Staff Comments: Ground level site images, and images from the surrounding area are provided.

b. Demonstrated need or demand for the communication facility.

Staff Comments: While the Applicant did not provide reasonable assurances concerning a "demonstrated need" for the subject communication facility (a cell tower), it did provide reasonable assurances that there is a "demonstrated demand" for the communication facility. Specifically, through sworn statements, made on the record in this proceeding, by CitySwitch and AT&T representatives, there exists reasonable assurances that there is a "demonstrated need" because AT&T desires to locate certain communications equipment on the subject communications facility. There is also information in the record that CSX intends on locating communications equipment on the subject communications facility.

c. Compliance with FCC technical emission standards.

Staff Comments: A letter is provided from AT&T, signed by Engineer George Brussen, dated July 27, 2022, stating that the proposed tower facility is in compliance with all applicable FCC requirements.

d. Compliance with the performance and construction standards listed in section 90-603.

Staff Comments: The latest plans submitted by the applicant are in general compliance with City LDC 90-603. See proposed conditions below which will provide total compliance, once agreed to by applicant.

e. Compliance with any additional requirements as set forth by the city council.

Staff Comments: Council has not set forth additional requirements at this time. Okeechobee City Council shall provide final determination of approval, denial, or approval with conditions for proposed freestanding communication tower per City LDC 90-602(c)(2).



Consistency with LDC Section 90-603(e)

City LDC Section 90-603(e) requires that applicants for special exception requests pertaining to communication towers address the following standards. The applicant has submitted responses to each standard, which are provided un-edited below. Staff comments are also provided in response to the standards and the applicant's responses.

- 1. Camouflaging techniques approved by the city are incorporated into the design of the communication tower.
- 2. The tower is designed for the collocation of communication antennas for at least two communication service providers.
- 3. The towers within the required separation distance are all located in an industrial zoning district as a supplemental use.
- 4. The proposed location will minimize the visual impact of the proposed communication tower due to the bulk height, use, or appearance of the adjacent structures and surrounding area.

<u>Applicant Response:</u> The proposed tower is a 150' monopole tower which must be setback from a residentially zoned property 300% of tower height for a minimum of 450' setback. The tower is currently proposed to be setback approximately 220' from the nearest residentially zoned property to the south of the proposed tower site and approximately 360' to the nearest residential structure as shown on sheet C-1.1 of the enclosed site drawings. CitySwitch respectfully requests the separation requirement be reduced to 220' to residential districts as currently designed. The tower is designed for four full cell service provider arrays as well as two collocations for railroad equipment at the top of the tower and below the lowest antenna array as depicted on sheet C-2 of the site drawings. The tower will be of monopole design with flush mounted antennas and a galvanized steel gray finish to be as visually unobtrusive as possible. In addition, the tower will be located in an industrial zone surrounding areas. The proposed tower design may be seen on sheet C-2 of the site drawings and further depicted in the enclosed Photo Simulations prepared by Ignite Wireless.

Staff Comments: The applicant's written statements indicate that the tower is designed for four full cell service provider arrays as well as two collocations for railroad equipment at the top of the tower and below the lowest antenna array. The submitted plans confirm this statement. The tower meets the required separation distances on an industrially zoned property with an existing open storage use supporting the railway.

Recommendation

Both the City's Technical Review Committee and Board of Adjustment have recommended approval of this new freestanding communications tower.

Based on the materials and statements provided by the applicant and the foregoing analysis, staff also recommends approval of this request subject to the following conditions:

- 1. Prior to issuance of building permit, Applicant must submit FAA approval for proposed tower design/height.
- 2. The use of any portion of a tower for sign or advertising purposes including, without limitation, company name, banner, or streamer is prohibited.
- Per 90-603(p), if the use of any communication tower has been discontinued for a period of 180 consecutive days, the tower shall be deemed to have been abandoned. Upon such abandonment, the owner/operator of the tower shall have an additional 180 days within which to: (1) Reactivate the use of the tower or transfer the tower to another owner/operator who makes actual use of the tower; or (2) Dismantle and remove the tower.
- 4. Per 90-603(r), certification of compliance with all current Federal Communication Commission standards, including (FCC) nonionizing electromagnetic radiation (NIER), shall be submitted prior to receiving final inspection by the building department.

Submitted by:

Ben Smith, AICP Director of Planning January 18, 2023 Okeechobee City Council: February 7, 2023



Supplemental Exhibits

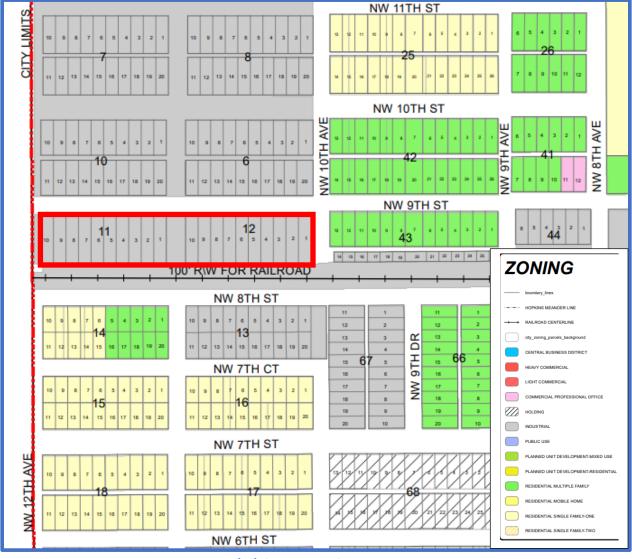


Exhibit A: Zoning Map



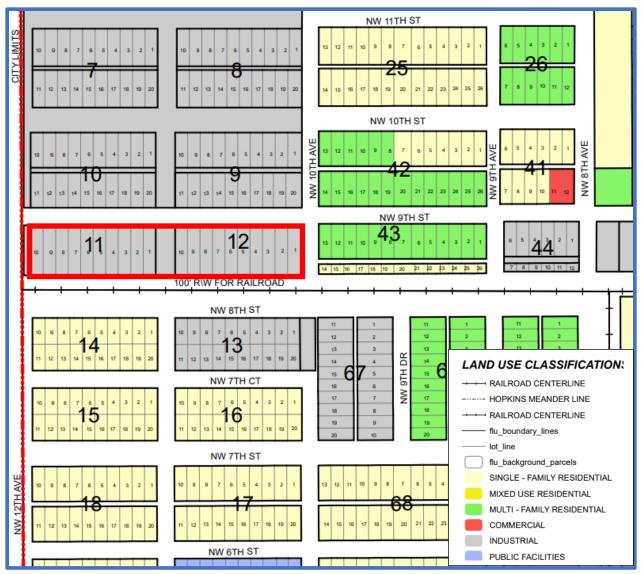


Exhibit B: Future Land Use Map





Exhibit C: Existing Land Use Map





CITY OF OKEECHOBEE, FLORIDA BOARD OF ADJUSTMENT MEETING OCTOBER 20, 2022 SUMMARY OF BOARD ACTION

I. CALL TO ORDER

Chairperson Hoover called the regular meeting of the Board of Adjustment for the City of Okeechobee to order on Thursday, October 20, 2022, at 6:02 P.M. in the City Council Chambers, located at 55 Southeast Third Avenue, Room 200, Okeechobee, Florida, followed by the Pledge of Allegiance.

II. ATTENDANCE

Roll was taken by Board Secretary Patty Burnette. Chairperson Dawn Hoover, Board Members Karyne Brass, Mac Jonassaint, David McAuley, and Alternate Board Member Carl Berlin, Jr. were present. Vice Chairperson Doug McCoy, Board Members Phil Baughman, Rick Chartier, and Alternate Board Member Jim Shaw were absent with consent. Chairperson Hoover moved Alternate Board Member Berlin to voting position.

III. AGENDA

- A. There were no items added, deferred, or withdrawn from the agenda.
- **B.** Motion by Board Member Jonassaint, seconded by Board Member McAuley to approve the agenda as presented. **Motion Carried Unanimously**.
- **C.** There were no comment cards submitted for public participation for issues not on the agenda.

IV. MINUTES

A. Motion by Board Member McAuley, seconded by Board Member Jonassaint to dispense with the reading and approve the September 15, 2022, Board of Adjustment Regular Meeting minutes. Motion Carried Unanimously.

V. CHAIRPERSON HOOVER OPENED THE QUASI-JUDICIAL PUBLIC HEARING AT 6:04 P.M. A. Special Exception Petition No. 22-003-SE requesting to waive the minimum separation from off-site uses, and to waive the separation distances between communication towers for a wireless telecommunication facility, in an Industrial (IND) Zoning District, (Ref. Code Sec. 90-603(c)(d)(e)), located at 1117 NW 9th Street.

- Notary Public Patty Burnette administered an oath to Mr. W. Patton Hahn, Baker, Donelson, Bearman, Caldwell & Berkowitz, P.C., 420 20th Street North Shipt Tower, Suite 1400, Birmingham, Alabama 35203, Mr. C. Ryan Maloney, Jimerson Birr, One Independent Drive, Suite 1400, Jacksonville, Florida, 32202, Mr. Ben Smith, Morris-Depew Associates Inc., 2914 Cleveland Avenue, Fort Myers, Florida, and Mr. Gary Ritter, City Administrator, 55 Southeast 3rd Avenue, Okeechobee, Florida, 34974, who responded affirmatively.
 City Planning Consultant Smith provided a description of the Special Exception
 - City Planning Consultant Smith provided a description of the Special Exception request and the proposed tower to the Board. Planner Smith then explained that documents had been submitted to the City in opposition to this request the evening before and that the Applicant had submitted additional documents pertaining to their request only moments before this hearing [all documents have been made part of the official minute packet]. He explained that Staff has not had an opportunity to adequately review those documents prior to the hearing and that Staff is requesting that the Board continue this item to the next regularly scheduled Board of Adjustment meeting so that staff and the Board will have an opportunity to review the latest submittals before taking action. Administrator Ritter then addressed the Board. He explained the Site Plan for this proposed project was presented earlier this morning to the Technical Review Committee (TRC) and was approved with conditions. The TRC as well as this Board received additional documents regarding the Applications just prior to the start of the meetings. He commented to all those present that City Attorney, John Fumero, is advising to defer this Application to the next meeting to provide time for Staff to review the additional documents. He would like though for the Board to still have the opportunity to hear from and listen to the parties present.

V. QUASI-JUDICIAL PUBLIC HEARING ITEM A CONTINUED

- 3. Mr. Hahn, on behalf of the Applicant, CitySwitch II-A, LLC, stated he does a lot of wireless work for this particular client, AT&T, and opposition materials are often provided a day before the meeting. He reviewed the items from the TRC meeting and commented that although CSX is strict about allowing the landscaping due to safety issues, it can be met per the City's regulations. Board Member Jonassaint asked Mr. Hahn how many sites they have built in minority communities, and why this particular location was chosen, as this is a large County. Mr. Hahn responded that CitySwitch has an agreement with the property owner, CSX. He further added, the tower will improve coverage.
- 4. Mr. Maloney, on behalf of SBA 2012 TC Assets, LLC, discussed his client's opposition to this Application due to another tower being located 0.7 miles away. He asked whether there was a justification for a new tower and does not believe it is in the public's best interest to have another one located so closely. AT&T is a user of this tower, and his client is concerned about overlapping coverage. Lastly, he commented that the Applicant did not provide a landscape plan which was required.
- 5. No Ex-Parte disclosures were offered.
- 6. Motion by Board Member Brass, seconded by Board Member McAuley, to defer Special Exception Petition No. 22-003-SE as presented in [Exhibit 1] to the November 17, 2022, meeting. Motion Carried Unanimously.

CHAIRPERSON HOOVER CLOSED THE QUASI-JUDICIAL PUBLIC HEARING AT 6:19 P.M.

VI. CITY ADMINISTRATOR UPDATE

- Political forum is October 25th
- City Charter will be on the ballot.

VII. Chairperson Hoover adjourned the meeting at 6:20 P.M.

Submitted by:

Patty M. Burnette, Secretary

Please take notice and be advised that when a person decides to appeal any decision made by the Board of Adjustment with respect to any matter considered at this proceeding, he/she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based. General Services' media are for the sole purpose of backup for official records.



CITY OF OKEECHOBEE, FLORIDA BOARD OF ADJUSTMENT MEETING NOVEMBER 17, 2022 SUMMARY OF BOARD ACTION

I. CALL TO ORDER

Chairperson Hoover called the regular meeting of the Board of Adjustment for the City of Okeechobee to order on Thursday, November 17, 2022, at 6:00 P.M. in the City Council Chambers, located at 55 Southeast (SE) Third Avenue, Room 200, Okeechobee, Florida, followed by the Pledge of Allegiance.

II. ATTENDANCE

Roll was taken by General Services Secretary Keli Trimnal. Chairperson Dawn Hoover, Vice Chairperson Doug McCoy, Board Members Phil Baughman, Karyne Brass, Rick Chartier, Mac Jonassaint, and Alternate Board Member Carl Berlin, Jr. were present. Board Member David McAuley and Alternate Board Member Jim Shaw were absent.

III. AGENDA

- A. There were no items added, deferred, or withdrawn from the agenda.
- **B.** Motion by Board Member Brass, seconded by Board Member Jonassaint to approve the agenda as presented. **Motion Carried Unanimously**.
- C. There were no comment cards submitted for public participation for issues not on the agenda.

IV. MINUTES

A. Motion by Board Member Baughman, seconded by Board Member Brass to dispense with the reading and approve the October 20, 2022, Board of Adjustment Regular Meeting minutes. Motion Carried Unanimously.

V. CHAIRPERSON HOOVER OPENED THE QUASI-JUDICIAL PUBLIC HEARING AT 6:04 P.M.

- A. Special Exception Petition No. 22-003-SE requests to waive the minimum separation from off-site uses, and to waive the separation distances between communication towers for a wireless telecommunication facility, in an Industrial Zoning District, (Ref. Code Sec. 90-603(c)(d)(e)), located at 1117 Northwest (NW) 9th Street.
 - Notary Public Keli Trimnal administered an oath to Ms. Melissa Murrin, Associate with Jimerson Birr, One Independent Drive, Suite 1400, Jacksonville, Florida, Mr. Ben Smith, Morris-Depew Associates Inc., 2914 Cleveland Avenue, Fort Myers, Florida, and Mr. Gary Ritter, City Administrator, 55 SE 3rd Avenue, Okeechobee, Florida, who responded affirmatively.
 - 2. City Administrator Ritter gave Board Members a brief recap of the October 20, 2022, meeting. Special Exception 22-003-SE was deferred so Staff and Board Members could review information provided just prior to 6:00 p.m. from both interested parties. On October 27, 2022, City Administrator Ritter informed Mr. Kyle Lotze, Agent for CitySwitch II-A, LLC, that all requested documents are to be received by November 22, 2022, in which to provide Staff and Board Members adequate time to review before the December 15, 2022, meeting, should this be deferred. Our recommendation to you tonight is to defer this to the December 15, 2022, meeting. Planning Consultant Smith concurred with City Administrator Ritter to defer Special Exception Petition No. 22-003-SE to the next meeting.
 - 3. No one was present on behalf of the Applicant, CitySwitch II-A, LLC.
 - Ms. Murrin, on behalf of SBA 2012 TC Assets, LLC, discussed her client's opposition to this Application due to another tower being located 0.7 miles away and that the Applicant has not provided the landscape plan requirement. For the record, 21 surrounding property owner notices were mailed, advertisements and one sign were posted on the subject parcel, with one objection letter received from Jimerson Birr on behalf of their client, SBA 2012 TC Assets, LLC, [document has been part of the official minute packet].
 - 5. 6.

4.

No Ex-Parte disclosures were offered.

Motion by Board Member Chartier, seconded by Board Member Jonassaint, to defer Special Exception Petition No. 22-003-SE as presented in [Exhibit 1] to the December 15, 2022, meeting. Motion Carried four to two, Vice Chairperson McCoy and Board Member Baughman voted No.

November 17, 2022, Board of Adjustment Meeting Page 1 of 2



CITY OF OKEECHOBEE, FLORIDA BOARD OF ADJUSTMENT MEETING DECEMBER 15, 2022 SUMMARY OF BOARD ACTION

I. CALL TO ORDER

Chairperson Hoover called the regular meeting of the Board of Adjustment for the City of Okeechobee to order on Thursday, December 15, 2022, at 6:00 P.M. in the City Council Chambers, located at 55 Southeast (SE) 3rd Avenue, Room 200, Okeechobee, Florida (FL), followed by the Pledge of Allegiance.

II. ATTENDANCE

Roll was taken by Board Secretary Patty Burnette. Chairperson Dawn Hoover, Vice Chairperson Doug McCoy, Board Members Phil Baughman, Karyne Brass, Rick Chartier, Mac Jonassaint, and Alternate Board Members Jim Shaw and Carl Berlin, Jr. were present. Chairperson Hoover moved Alternate Board member Shaw to voting position.

III. AGENDA

- A. There were no items added, deferred, or withdrawn from the agenda.
- **B.** Motion by Board Member Chartier, seconded by Board Member Jonassaint, to approve the agenda as presented. **Motion Carried Unanimously**.
- **C.** There were no comment cards submitted for public participation for issues not on the agenda.

IV. MINUTES

A. Motion by Board Member Jonassaint, seconded by Vice Chairperson McCoy to dispense with the reading and approve the November 17, 2022, Board of Adjustment Regular Meeting minutes. Motion Carried Unanimously.

CHAIRPERSON HOOVER OPENED THE QUASI-JUDICIAL PUBLIC HEARING AT 6:02 P.M. A. Special Exception Petition No. 22-003-SE requesting to waive the minimum separation from off-site uses and waive the separation distances between communication towers for a wireless telecommunication facility, in an Industrial Zoning District (IND), (per the City's Land Development Regulations (LDR) Section 90-603(c)(d)(e)), located at 1117 Northwest (NW) 9th Street.

- 1. Notary Public Patty Burnette administered an oath to Mr. Ben Smith, Morris-Depew Associates Inc., 2914 Cleveland Avenue, Fort Myers, FL, Ms. Gloria M. Velazquez, Nason, Yeager, Gerson, Harris and Fumero, P.A., 750 Park of Commerce Boulevard, Suite 210, Boca Raton, FL, Mr. Gary Ritter, City Administrator, 55 SE 3rd Avenue, Okeechobee, FL, Ms. Melissa Murrin, Associate with Jimerson Birr, One Independent Drive, Suite 1400, Jacksonville, FL, Mr. Sanjay Dhawan (via zoom), Vice President, New Business Technology and Operations for SBA Communications Corporation, 8051 Congress Avenue, Boca Raton, FL, Mr. Jason Laskey, SBA Communications Corporation, 1621 Northeast 17th Terrace, Fort Lauderdale, FL, Mr. W. Patton Hahn, Baker, Donelson, Bearman, Caldwell and Berkowitz, P.C., Shipt Tower, 420 20th Street North, Suite 1400, Birmingham, Alabama, who responded affirmatively.
- 2. City Planning Consultant Smith briefly reviewed the Planning Staff Report explaining the Applicant is requesting to permit a structure exceeding 45-feet in height in the IND Zoning District, (per LDR Section 90-345(4)). In addition, proposing development [on 0.14 acres of the 5.19-acre parcel] of a 50-foot by 50foot fenced compound that includes a communications tower, storage, landscaping, two electric service H-frames as well as a 30-foot by 120-foot access corridor between the compound and the Northern property line fronting NW 9th Street. Color of tower will be flat black, blue, or grey. The total tower height including lightning rods is 160-feet. The City's Technical Review Committee (TRC) reviewed the site plan submitted for this request and recommended approval with several conditions. The latest site plan and additional documents submitted by the Applicant have satisfied some of those requirements.



V. QUASI-JUDICIAL PUBLIC HEARING ITEM A CONTINUED

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4.

Continued. Staff's remaining recommended conditions for approval being: landscape plan shall be revised to provide state native very drought tolerant shrub species as listed in the South Florida Water Management District (SFWMD) Xeriscape Plant Guide per the City's LDR Section 90-540; plans shall be revised to provide total perimeter fence height of exactly eight feet; submittal of Federal Aviation Administration (FAA) approval for proposed tower design/height; use of any portion of a tower for sign or advertising purposes including, without limitation, company name, banner, or streamer is prohibited; per LDR Section 90-603(p), if the use of any communication tower has been discontinued for a period of 180 consecutive days, the tower shall be deemed to have been abandoned. Upon such abandonment, the owner/operator of the tower shall have an additional 180 days within which to: reactivate the use of the tower or transfer the tower to another owner/operator who makes actual use of the tower, or dismantle and remove the tower; and per LDR Section 90-603(r), certification of compliance with all current Federal Communication Commission (FCC) standards, including FCC nonionizing electromagnetic radiation (NIER), shall be submitted prior to receiving final inspection by the building department. The City Council shall provide final determination of approval, denial, or approval with conditions for proposed freestanding communication tower per LDR Section 90-602(c)(2). In addition, approval of the site plan will also be contingent upon approval of, and any conditions placed on, this request by the City Council. Planner Smith noted an updated fencing plan and landscaping plan were received right before the meeting from the Applicant's representative. The fencing plan meets code requirements, although he cannot verify that the species type listed on the landscaping plan meets code requirements. One additional point he mentioned was in accordance with LDR Section 90-602(c)(2)(b) regarding demonstrating need or demand for the communications facility. It is not clear that the Applicant has demonstrated need for the communication facility, as there is opportunity for AT&T to retain their current lease and maintain their equipment on the SBA tower. However, statements are provided by CitySwitch II-A, LLC and AT&T demonstrating demand for this facility. Based on these statements, it is clear that AT&T desires to locate communications equipment on this tower. According to statements provided by the Applicant to the City's TRC, CSX is also likely to place communications equipment on this tower. This is demonstration of demand.

Mr. Hahn was present on behalf of the Applicant, CitySwitch II-A, LLC. He stated they have worked diligently to meet all requirements. They will plant drought resistance shrubs and they have demonstrated demand. He commented that SBA submitted a 41-page document the evening before this meeting [has been made a part of the official minute packet]. Member Jonassaint inquired as to whether AT &T had any issues with SBA other than the Okeechobee site. Mr. Hahn responded they are in dispute nationwide with SBA.

Ms. Murrin, on behalf of SBA, discussed her client's opposition to this Application due to another tower being located 0.7 miles away and that the Applicant has not demonstrated a need or demand. AT&T's argument that the proposed tower is needed due to the cost of rent on SBA's tower is not applicable as SBA sent a letter on December 14, 2022, offering to match the monthly rent rate currently offered to AT&T by CitySwitch II-A, LLC, less \$10.00. In addition, she stated the proposed tower would not provide any appreciable increase in signal coverage or strength. Mr. Dhawan, expert witness for SBA, explained he studies and analyzes 5G to try to enhance coverage. He spoke about no need or demand being provided for and that there will be an adverse effect on the public. He mentioned these towers are unsightly and that there already a few towers in the area. Overall broadband coverage is maximized for the customers. By the proposed tower being located so close to the SBA tower, a gain in coverage would increase on the East side but decrease on the West side.

Member McCoy mentioned this is a City Planning Board and they could not make decisions on things that would be affecting the County. If this tower is going to increase coverage to the City, then that would be a benefit to the City residents. Mr. Laskey, Zoning Manager for SBA, discussed AT&T being a customer since 2008 under a master agreement with Nextel.

December 15, 2022, Board of Adjustment Meeting Page 2 of 4

QUASI-JUDICIAL PUBLIC HEARING ITEM A CONTINUED

4.

5.

6.

Continued. They continue to do agreements as AT&T has many tower sites with SBA. An offer was sent, SBA is willing to negotiate, and AT&T knows how to contact them.

Member Brass asked what the terms are for the existing agreements. He responded five-year terms. So is AT&T within their right to terminate. Mr. Laskey responded yes. Although SBA is concerned about proliferation. They wish to build good sites with good carriers collocating on one tower.

Member Shaw inquired as to the future of the SBA tower should AT&T leave. Verizon and T-Mobile would still be customers. Member Baughman inquired as to what part of the agreement AT&T was upset with that they are wishing to leave. Mr. Hahn responded AT&T needs to provide coverage in this area and they are at a point where they have a choice to not exercise another five-year term. Member Brass commented we are all customers, and one should not force a company to remain. Technology has costs and demands upgrades. Are there concessions being made for these costs as well as just lease costs. Mr. Hahn believes they have met all required codes.

Member Brass inquired as to whether four towers were excessive for a city. Mr. Hahn commented more demand for services will increase as population increases. Planner Smith inquired to Mr. Hahn, regardless of SBA's latest offer to amend the current lease agreement with AT&T, to the best of his knowledge, does AT&T still desire to enter into an agreement to lease space for their equipment on the new tower that CitySwitch II-A, LLC, plans to construct. Mr. Hahn responded yes. Member Baughman inquired as to whether the Property Owner, CSX Transportation Inc., has given any responsibility to take over should AT&T abandon the tower. Planner Smith responded the property owner has authorized the Applicant to submit this application request. Mr. Hahn responded that CSX could use this tower as well and if the tower is abandoned then it would need to come down. CitySwitch II-A, LLC, has an agreement, and they are responsible for the equipment not CSX.

No Ex-Parte disclosures were offered.

Motion by Board Member Brass, seconded by Board Member Chartier, to recommend approval to the City Council for Special Exception Petition No. 22-003-SE as presented in [Exhibit 1, which includes the standards and findings for granting Petitions per Code Section 70-373; and the Planning Consultant's analysis of the findings and recommendation for approval] with the following conditions: landscape plan shall be revised to provide state native very drought tolerant shrub species as listed in the SFWMD Xeriscape Plant Guide per the City's LDR Section 90-540; plans shall be revised to provide total perimeter fence height of exactly eight feet; submittal of FAA approval for proposed tower design/height; use of any portion of a tower for sign or advertising purposes including, without limitation, company name, banner, or streamer is prohibited; per LDR Section 90-603(p), if the use of any communication tower has been discontinued for a period of 180 consecutive days, the tower shall be deemed to have been abandoned. Upon such abandonment, the owner/operator of the tower shall have an additional 180 days within which to: reactivate the use of the tower or transfer the tower to another owner/operator who makes actual use of the tower or dismantle and remove the tower; and per LDR Section 90-603(r), certification of compliance with all current FCC standards, including FCC NIER, shall be submitted prior to receiving final inspection by the building department. The City Council shall provide final determination of approval, denial, or approval with conditions for proposed freestanding communication tower per LDR Section 90-602(c)(2). In addition, approval of the site plan will also be contingent upon approval of, and any conditions placed on, this request by the City Council. [This includes approval to permit a structure exceeding 45-feet in height in the IND Zoning District per LDR Section 90-345(4)]. Motion Carried Six to One, Board Member Baughman voted No.

CHAIRPERSON HOOVER CLOSED THE QUASI-JUDICIAL PUBLIC HEARING AT 7:08 P.M.

	y of Okeechobee neral Services Department	Date: 7-13-22 (CV151005 Petition No. 22-003-SE		
	S.E. 3 rd Avenue, Room 101	Fee Paid: rece g-15-22 - 15-22 - 10-32 Jurisdiction: BOA		
Ok	eechobee, Florida 34974-2903	1 st Hearing: 10-20-22 2 nd Hearing: N/A Publication Dates:		
	one: (863) 763-3372, ext. 9820	Notices Mailed: 10-5-22		
гал	(: (863) 763-1686			
a di		Rezone, Special Exception and Variance APPLICANT INFORMATION		
1	Name of property owner(s): CSX			
2	Owner mailing address: 500 Wa	ater St, J-180, Jacksonville, FL 32202		
3	Name of applicant(s) if other than	owner CitySwitch II-A, LLC (Agent: Ignite Wireless / Kyle Lotze)		
4	Applicant mailing address: 1900	Century PI NE, Suite 320, Atlanta, GA 30345		
	E-mail address: kyle@ignitewir	eless.com		
5	Name of contact person (state rel	ationship): Kyle Lotze		
6	Contact person daytime phone(s)	: 770-862-1034		
		PROPERTY INFORMATION		
	Property address/directions to pro	operty: 1117 NW 9th St. Okeechobee, FL, 34972		
7	From I-95 in Ft Peirce Florida - 0	Go West approx 32 Miles to NW 9th Ave in Okeechobee FL, Go North west approx .34 miles to Site on left. 1117 NW 9th St		
8	Describe current use of property: CSX Railroad outparcel primarily used for parking and storage			
	Describe improvements on proper	ty (number/type buildings, dwelling units, occupied or vacant, etc.		
9	50'x50' fenced compound, 150' Monopole Tower, Two Electric Service H-Frames, Two 10' x 15' equipment areas, One 10' x 20' equipment area, and One 5' x 5' concrete pad.			
	Source of potable water:N/A (unmanned) Method of sewage disposal: N/A (unmanned)			
10	Approx. acreage: Property Area: 0."	14 Is property in a platted subdivision? Yes		
	Is there a use on the property that is or was in violation of a city or county ordinance? If so, describe:			
44	No			
11				
12	Is a pending sale of the property subject to this application being granted? No			
	Describe uses on adjoining property to the North:			
13	North: Residential Multiple Family East: Industrial South: Industrial West: Industrial			
14	Existing zoning: Industrial	Future Land Use classification: Industrial		
15		g, special exception, variance, or site plan approvals on the yes provide date, petition number and nature of approval.		
16	Request is for: () Rezone (X_) Special Exception () Variance		
17	Parcel Identification Number: 316	37350160001100010		

1000	REQUIRED ATTACHMENTS	
18	Applicant's statement of interest in property: Proposed Telecommunications Tower	
19	Non-refundable application fee: Rezoning: \$850 plus \$30/acre; Special Exception: \$500 plus \$30/acre; Variance: \$500 Note: Resolution No. 98-11 Schedule of Land Development Regulation Fees and Charges B When the cost for advertising publishing and mailing notices of public hearings exceeds the established fee, or when a professional consultant is hired to advise the city on the application, the applicant shall pay the actual costs.	
20	Last recorded warranty deed: 4/14/2014	
21	Notarized letter of consent from property owner (if applicant is different from property owner)	
22	Three (3) CERTIFIED BOUNDARY surveys of the property (one no larger than 11x17; scale not less than one inch to 20 feet; North point) containing: a. Date of survey, surveyor's name, address and phone number	
	b. Legal description of property pertaining to the application	
	c. Computation of total acreage to nearest tenth of an acre d. Location sketch of subject property, and surrounding area within one-half mile radius	
23	List of surrounding property owners with addresses and location sketch of the subject property. See the Information Request Form from the Okeechobee Property Appraiser's Office (attached)	
24	Affidavit attesting to completeness and correctness of the list (attached)	
25	Completed specific application and checklist sheet for each request checked in line 15	

Confirmation of Information Accuracy

I hereby certify that the information in this application is correct. The information included in this application is for use by the City of Okeechobee in processing my request. False or misleading information may be punishable by a fine of up to \$500.00 and imprisonment of up to 30 days and may result in the denial of this application.

Signature K A &	Printed Name	Date	
1 ye d	Kyle Lotze	8/10/2022	

For questions relating to this application packet, call General Services Dept. at (863)-763-3372, Ext. 9820

1	ADDITIONAL INFORMATION REQUIRED FOR A SPECIAL EXCEPTION
А	Describe the Special Exception sought: Wireless Telecommunication Facility Walver from the minimum separation distances set forthin
В	Are there similar uses in the area? No () (x) Yes If yes, briefly describe them: Swore (c) + (d) of + his There are 5 existing telecommunication facilities within 1 mi of the proposed location.
С	If a business, briefly describe the nature of the business, number of employees, hours of operation, and any activities to be conducted outside of a building: N/A
D	Attach a Traffic Impact Study prepared by a professional transportation planner or transportation engineer, if the special exception or proposed use will generate 100 or more peak hour vehicle trip ends using the trip generation factors for the most similar use as contained in the Institute of Transportation Engineers most recent edition of <u>Trip Generation</u> . The TIA must identify the number of net new external trips, pass-bay calculations, internal capture calculations, a.m. and p.m. peak hour trips, and level of service on all adjacent roadway links with and without the project. N/A
E	Responses addressing the standards and required findings for a special exception as described below. Attach additional sheets as necessary.

STANDARDS FOR GRANTING A SPECIAL EXCEPTION [Sec. 70-373(b), LDR page CD70:19]

Applicants are required by Sec. 70-373(b) to address the following issues in his/her presentation before the Board of Adjustment. Staff strongly recommends that the Applicant include, in his/her application, materials that address each of these issues in order to allow Staff and the Board of Adjustment sufficient time to adequately consider the Applicant's request.

- 1. Demonstrate that the proposed location and site are appropriate for the use.
- 2. Demonstrate how the site and proposed buildings have been designed so they are compatible with the adjacent uses and the neighborhood, or explain why no specific design efforts are needed.
- 3. Demonstrate any landscaping techniques to visually screen the use from adjacent uses; or explain why no visual screening is necessary.
- 4. Demonstrate what is proposed to reduce the impact of any potential hazards, problems or public nuisance generated by the use; or explain how the nature of the use creates no such potential problems.
- 5. Demonstrate how the utilities and other service requirements of the use can be met.
- 6. Demonstrate how the impact of traffic generated will be handled, off site and on site.

FINDINGS REQUIRED FOR GRANTING A SPECIAL EXCEPTION [Sec. 70-373(c), LDR pages 19 & 20]

It is the Applicant's responsibility to convince the Board of Adjustment that approval of the proposed special exception is justified. Specifically, the Applicant should provide in his/her application and presentation sufficient explanation and documentation to convince the Board of Adjustment to find that:

- 1. The use is not contrary to the Comprehensive Plan requirements.
- 2. The use is specifically authorized as a special exception use in the zoning district.
- 3. The use will not have an adverse effect on the public interest.
- 4. The use is appropriate for the proposed location, is reasonably compatible with adjacent uses and is not detrimental to urbanizing land use patterns.
- 5. The use will not adversely affect property values or living conditions, nor be a deterrent to the development of adjacent property.
- 6. The use may be required to be screened from surrounding uses to reduce the impact of any nuisance or hazard to adjacent uses.
- 7. The use will not create a density pattern that will overburden public facilities such as schools, streets, and utility services.
- 8. The use will not create traffic congestion, flooding or drainage problems, or otherwise affect public safety.

The City staff will, in the Staff Report, address the request and evaluate it and the Applicant's submission in light of the above standards and required findings and offer a recommendation for approval or denial.

NOTE: AN APPROVAL OF A SPECIAL EXCEPTION EXPIRES IF A BUILDING PERMIT APPLICATION HAS NOT BEEN SUBMITTED WITHIN TWO YEARS OF THE APPROVAL [Sec. 70-348(4)]

Standards for Granting a Special Exception [Sec. 70-373(b), LDR page CD70:19]

Applicants are required by Sec. 70-373(b) to address the following issues in his/her presentation before the Board of Adjustment. Staff strongly recommends that the Applicant include, in his/her application, materials that address each of these issues in order to allow Staff and the Board of Adjustment sufficient time to adequately consider the Applicant's request.

1. Demonstrate that the proposed location and site are appropriate for the use.

The proposed tower will be located within the industrial zoning district on parcel 3-16-37-35-0160-00110-0010 owned by CSX Transportation, Inc. Section 90-602 of the LDR states that new freestanding communication towers are a permitted use within the Industrial zoning districts. The intent of the city policy is to locate towers in largely industrial zones away from residential areas; the proposed tower complies with this policy. The proposed location will locate the tower inside of an industrial zoned area which will cause less visual impact to surrounding residential properties.

2. Demonstrate how the site and proposed buildings have been designed so they are compatible with the adjacent uses and the neighborhood, or explain why no specific design efforts are needed.

The proposed location will locate the tower inside of an industrial zoned area which will cause less visual impact to surrounding residential properties and is compatible with surrounding similar uses as light and heavy industry.

3. Demonstrate any landscaping techniques to visually screen the use from adjacent uses; or explain why no visual screening is necessary.

The proposed tower will be located in an area which is already industrial in nature, with little to no screening for any other industrial use in the area. On the southern portion of the railroad rightof-way adjoining the proposed tower site is an existing treeline which will provide visual buffering between the tower location and the nearest residential properties as shown in those enclosed Site Images.

4. Demonstrate what is proposed to reduce the impact of any potential hazards, problems or public nuisance generated by the use; or explain how the nature of the use creates no such potential problems.

The intent of the city policy is to locate towers in largely industrial zones away from residential areas; the proposed tower complies with this policy. The proposed location will locate the tower inside of an industrial zoned area which will cause less visual impact to surrounding residential

properties. In addition, the tower is designed such that, in the event of a catastrophic failure, the tower would collapse within the tower compound. The presence of the tower would be a value add to public welfare by allowing additional carriers to collocate antennas onto the proposed tower to provide additional coverage to first responders, the community, and its citizens, especially in an emergency event. The proposed use will not be injurious to the area or public welfare since such proposed use will not emit noise, dust, odor, or fumes, and will not significantly increase traffic.

5. Demonstrate how the utilities and other service requirements of the use can be met.

The only utility the proposed tower will require is power, which will be run from the existing power pole in the public right-of-way, NW 9th St, as shown on sheet C-1 of the enclosed zoning drawings.

6. Demonstrate how the impact of traffic generated will be handled, off site and on site.

The proposed tower will be unmanned and will not significantly increase traffic as the only traffic will be from the initial tower construction and thereafter only monthly routine maintenance.

FINDINGS REQUIRED FOR GRANTING A SPECIAL EXCEPTION [Sec. 70-373(c), LDR pages 19 & 20]

It is the Applicant's responsibility to convince the Board of Adjustment that approval of the proposed special exception is justified. Specifically, the Applicant should provide in his/her application and presentation sufficient explanation and documentation to convince the Board of Adjustment to find that:

1. The use is not contrary to the Comprehensive Plan requirements.

Section 90-602 of the LDR states that new freestanding communication towers are a permitted use within the Industrial zoning districts. The intent of the city policy is to locate towers in largely industrial zones away from residential areas; the proposed tower complies with this policy.

2. The use is specifically authorized as a special exception use in the zoning district.

Section 90-602 of the LDR states that new freestanding communication towers are a permitted use within the Industrial zoning districts. In addition, Section 90-603(e) allows for a waiver from the required minimum separation distances in subsections (c) and (d) through the special exception process. CitySwitch is requesting a waiver to the setback to a residentially zoned property as further described in that Statement of Compliance enclosed.

3. The use will not have an adverse effect on the public interest.

The presence of the tower would be a value add to public welfare by allowing additional carriers to collocate antennas onto the proposed tower to provide additional coverage to first responders, the community, and its citizens, especially in an emergency event. The proposed use will not be injurious to the area or public welfare since such proposed use will not emit noise, dust, odor, or fumes, and will not significantly increase traffic.

4. The use is appropriate for the proposed location, is reasonably compatible with adjacent uses and is not detrimental to urbanizing land use patterns.

Section 90-602 of the LDR states that new freestanding communication towers are a permitted use within the Industrial zoning districts. The intent of the city policy is to locate towers in largely industrial zones away from residential areas; the proposed tower complies with this policy.

5. The use will not adversely affect property values or living conditions, nor be a deterrent to the development of adjacent property.

The intent of the city policy is to locate towers in largely industrial zones away from residential areas; the proposed tower complies with this policy. The presence of the tower would be a value add to public welfare by allowing additional carriers to collocate antennas onto the proposed tower to provide additional coverage to first responders, the community, and its citizens, especially in an emergency event. The proposed use will not be injurious to the area or public welfare since such proposed use will not emit noise, dust, odor, or fumes, and will not significantly increase traffic.

6. The use may be required to be screened from surrounding uses to reduce the impact of any nuisance or hazard to adjacent uses.

The intent of the city policy is to locate towers in largely industrial zones away from residential areas; the proposed tower complies with this policy. The proposed use will not be injurious to the area or public welfare since such proposed use will not emit noise, dust, odor, or fumes, and will not significantly increase traffic. On the southern portion of the railroad right-of-way adjoining the proposed tower site is an existing treeline which will provide visual buffering between the tower location and the nearest residential properties as shown in those enclosed Site Images.

7. The use will not create a density pattern that will overburden public facilities such as schools, streets, and utility services.

The proposed tower will be unmanned and will not significantly increase traffic as the only traffic will be from the initial tower construction and thereafter only monthly routine maintenance.

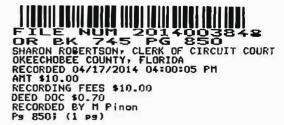
8. The use will not create traffic congestion, flooding or drainage problems, or otherwise affect public safety.

The proposed use will not be injurious to the area or public welfare since such proposed use will not emit noise, dust, odor, or fumes, and will not significantly increase traffic. In addition, the site will maintain positive drainage on site at all times.

Prepared By and Return to John D. Cassels, Jr. Esq. Cassels & McCall P.O. Box 968 Okeechobee, Florida 34973

Parcel ID Number:3-16-37-35-0160-00110-0010

Rec 10.00



SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED, made this <u>IH day</u> of April, 2014, between FT. DRUM CORPORATION, a Florida corporation, of 269 NW 9th Avenue, Okeechobee, FL 34972, GRANTOR, and CSX TRANSPORTATION, INC., a Virginia corporation, of 500 Water Street, Jacksonville, FL 32202 GRANTEE;

WITNESSETH, that said Grantor, for and in consideration of the sum of TEN (\$10.00) DOLLARS, and other good and valuable consideration to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said Grantee, and Grantee's successors and assigns forever, the following described land, situate, lying and being in Okeechobee County, Florida, to-wit:

A PARCEL OF LAND LYING IN SECTION 16, TOWNSHIP 37 SOUTH, RANGE 35 EAST, OKEECHOBEE COUNTY, FLORIDA, AND LYING IN AND CONTAINING A PORTION OF THAT CERTAIN PARCEL OF LAND AS RECORDED IN OFFICIAL RECORDS BOOK 379, PAGE 1216 OF THE PUBLIC RECORDS OF OKEECHOBEE COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

ALL OF BLOCKS 11 AND 12; ALL OF N.W. 11^{TH} AVENUE (70 FEET IN WIDTH) LYING BETWEEN SAID BLOCKS 11 AND 12; ALL OF N.W. 12^{TH} AVENUE (35 FEET IN WIDTH) LYING WEST OF AND CONTIGUOUS WITH SAID BLOCK 11; ALL OF NORTH FOURTEENTH STREET (NAME PER PLAT) (60 FEET IN WIDTH) LYING SOUTH OF AND CONTIGUOUS WITH THE ABOVE DESCRIBED PROPERTY; ALL LYING IN THE NORTH WEST ADDITION TO OKEECHOBEE, FLA. ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 25 OF THE PUBLIC RECORDS OF OKEECHOBEE COUNTY, FLORIDA.

AND the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that Grantor will warrant and defend the property conveyed against the lawful claims and demands of all persons claiming by, through, or under Grantor, but against none other.

IN WITNESS WHEREOF, Grantor has hereunto set Grantors' hand and seal the day and year first above written.

SIGNED, SEALED and DELIVERED FT. DRUM CORFORATION, a Florida corporation in our presence: BY alpole, Vice President Witness Jay Print Na (Seal) Witness eu Print Name: STATE OF FLORIDA COUNTY OF OKEECHOBEE The foregoing instrument was acknowledged before me this 44 day of April, 2014 by Jay Walpole as Vice President of FT. DRUM CORPORATION, & who is personally known to me or D who has produced as identification. Notary Public State of Florida mmoi Karin Ammons ignature of Notary Public ty Commission EE119767 Printed name of Notary: 65 08/07/2015

Book745/Page850 CFN#2014003848

My commission expires:

[6709-158660.WPD]

CITY OF OKEECHOBEE 55 SE 3rd Avenue Okeechobee, FL 34974 Tele: 863-763-3372 Fax: 863-763-1686

Name of Property Ov	CSX Transportatio	on INC.
Mailing Address:	500 Water St, J-180, Jacks	sonville, FL 32202
Home Telephone:	Work: 904.2	279.3806 Cell:
Property Address:	1117 NW 9th St. Okeecho	bee, FL, 34972
Parcel ID Number:	31637350160001100010	C 3
Name of Applicant:	CitySwitch II-A, LLC (Age	ent: Ignite Wireless / Kyle Lotze)
Home Telephone:	Work: 470-23	39-0846 Cell: 770-862-1034
that conditions, limitation Misstatements upon a exception or variance. of the special exception	ons and restrictions may be pla pplication or in any hearing r This power of attorney will be te or granting of variances is receive OF THE UNDERSIGNED HAVE	s of the Planning Department. It is understood ace upon the use or operation of the property may result in the termination of any special erminated once approval of the required granting ed. SET THEIR HAND AND SEALS THIS <u>3</u>
DAY OF May	2022	5111-
OWNER		WITNESS
OWNER		
OWNER	,	WITNESS
STATE OF FLORIDA		WITNESS
STATE OF FLORIDA COUNTY OF The foregoing instrumen notarization, this <u>3/</u>	Day of 10 cm , 20 CC	by means of <i>L</i> physical presence or <u>onlin</u> , by <u>Cather</u> , <u>Add Kins</u> , (Name of Person)
STATE OF FLORIDA COUNTY OF	Day of 10 cm , 20 CC	by means of X physical presence or _onlin , by Catherine Adkins ,
STATE OF FLORIDA COUNTY OF The foregoing instrumen notarization, this <u>3/</u>	Day of 10 cm , 20 CC	by means of <i>L</i> physical presence or <u>onlin</u> , by <u>Cather</u> , <u>Add Kins</u> , (Name of Person)

CSX TRANSPORTATION, INC.

OFFICER'S CERTIFICATE

The undersigned hereby certifies that he is Vice President - General Counsel of

CSX Transportation, Inc., a Virginia corporation (the "Corporation"), and is familiar with the

Corporation's records and seal and that:

- The authorized officers, employees and agents of the Corporation are subject to a Chart of Authority made effective as of June 2010, and revised as of September 2016, which defines the limits of authority vested in various positions of responsibility within the Corporation and establishes the types and maximum amount of obligations, transactions and payments that may be approved by such authorized officers, employees and agents of the Corporation (the "Chart of Authority").
- Pursuant to the Chart of Authority, Catherine E. Adkins, Director Real Estate Corridor Services, is authorized to approve, execute and deliver, on behalf of the Corporation, leases, contracts, agreements, and other real property documents pertaining to real property transactions to which the Corporation is a party, whenever the consideration for such real property transactions does not exceed the amount of two hundred fifty thousand dollars (\$250,000).

Witness my hand and seal of the Corporation this 25th day of January, 2022.

CSX TRANSPORTATION, INC.

BV: DocuSigned by: Michael S. Burns

> Michael S. Burns Vice President – General Counsel

(corporate seal)

Attest:

DocuSigned by: Mark Austin

Mark D. Austin, Assistant Corporate Secretary CSX Corporation



Department of State / Division of Corporations / Search Records / Search by Enlity Name /

Detail by Entity Name

Foreign Profit Corporation CSX TRANSPORTATION, INC.

Filing Information

111191111111		
Document Number	806099	
FEI/EIN Number	54-6000720	
Date Filed	03/26/1946	
State	VA	
Status	ACTIVE	
Last Event	CORPORATE MERGER	
Event Date Filed	12/23/1992	
Event Effective Date	NONE	
Principal Address		
500 WATER STREET		
JACKSONVILLE, FL 32202	2	
Changed: 01/22/2010		
Mailing Address		
500 WATER STREET		
C-160		
JACKSONVILLE, FL 32202	2	
Changed: 01/22/2010		
Registered Agent Name & A	<u>ddress</u>	
C T CORPORATION SYST	EM	
1200 SOUTH PINE ISLAND	D ROAD	
PLANTATION, FL 33324		
Name Changed: 09/19/2016		
Address Changed: 09/19/20	016	
Officer/Director Detail		
Name & Address		
Title Director, EVP and CFC)	

Pelkey, SEAN R.

500 WATER STREET JACKSONVILLE, FL 32202

Title Assistant Corporate Secretary

ARMBRUST, STEVE C. 500 WATER STREET JACKSONVILLE, FL 32202

Title Corporate Secretary

Burns, Michael S. 500 WATER STREET JACKSONVILLE, FL 32202

Title Director, EVP and Chief Legal Officer

Goldman, Nathan D. 500 WATER STREET C-160 JACKSONVILLE, FL 32202

Title President, CEO

Foote, James M. 500 WATER STREET C-160 JACKSONVILLE, FL 32202

Title SVP - Network Planning

Barr, Brian 500 WATER STREET C-160 JACKSONVILLE, FL 32202

Title EVP - Operations

Boychuk, Jamie 500 WATER STREET C-160 JACKSONVILLE, FL 32202

Title EVP and Chief Administrative Officer

Sorfleet, Diana B. 500 WATER STREET C-160 JACKSONVILLE, FL 32202

Title VP and Chief Accounting Officer

Detail by Entity Name

Williams, Angela C. 500 WATER STREET C-160 JACKSONVILLE, FL 32202

Title Director, EVP - Sales and Marketing

Boone, Kevin S. 500 WATER STREET JACKSONVILLE, FL 32202

Title SVP and Chief Strategy Officer

Bezar, Farrukh A. 500 WATER STREET JACKSONVILLE, FL 32202

Title SVP of Sales

Adams, Arthur L. 500 WATER STREET JACKSONVILLE, FL 32202

Title VP - Asset Utillzation

Albright, William C 500 WATER STREET JACKSONVILLE, FL 32202

Title VP and General Counsel

Burns, Michael S. 500 WATER STREET JACKSONVILLE, FL 32202

Title SVP - Engineering and Mechanical

Johnson, Ricky E. 500 WATER STREET JACKSONVILLE, FL 32202

Title VP - Intermodal & Automotive

Kenney, Maryclare T. 500 WATER STREET JACKSONVILLE, FL 32202

Title VP - Energy

Longson, Adam

500 WATER STREET JACKSONVILLE, FL 32202

Title VP - Total Rewards

Mullen, Michelle A. 500 WATER STREET JACKSONVILLE, FL 32202

Title VP - Human Resources and Chief Diversity Officer

Noel, Stephanie W. 500 WATER STREET JACKSONVILLE, FL 32202

Title VP - Safety

Schwichtenberg, James 500 WATER STREET JACKSONVILLE, FL 32202

Title VP - Corporate Communications

Tucker, Bryan A. 500 WATER STREET JACKSONVILLE, FL 32202

Title VP - Asset Management

Vierling, Jack R. 500 WATER STREET JACKSONVILLE, FL 32202

Title VP - Labor Relations

Wall, Jeffrey D. 500 WATER STREET JACKSONVILLE, FL 32202

Title VP - Operations

Juggernauth, Gregory 500 WATER STREET C-160 JACKSONVILLE, FL 32202

Title VP - Network Systems

Bittner, Deborah T. 500 WATER STREET JACKSONVILLE, FL 32202 Title VP of Technology and Chief Information Security Officer

Eppinger, Gary 500 WATER STREET JACKSONVILLE, FL 32202

Title VP - Finance and Treasury

Slater, William D. 500 WATER STREET JACKSONVILLE, FL 32202

Annual Reports

Report Year	Filed Date
2020	03/19/2020
2021	04/08/2021
2022	05/01/2022

Document Images

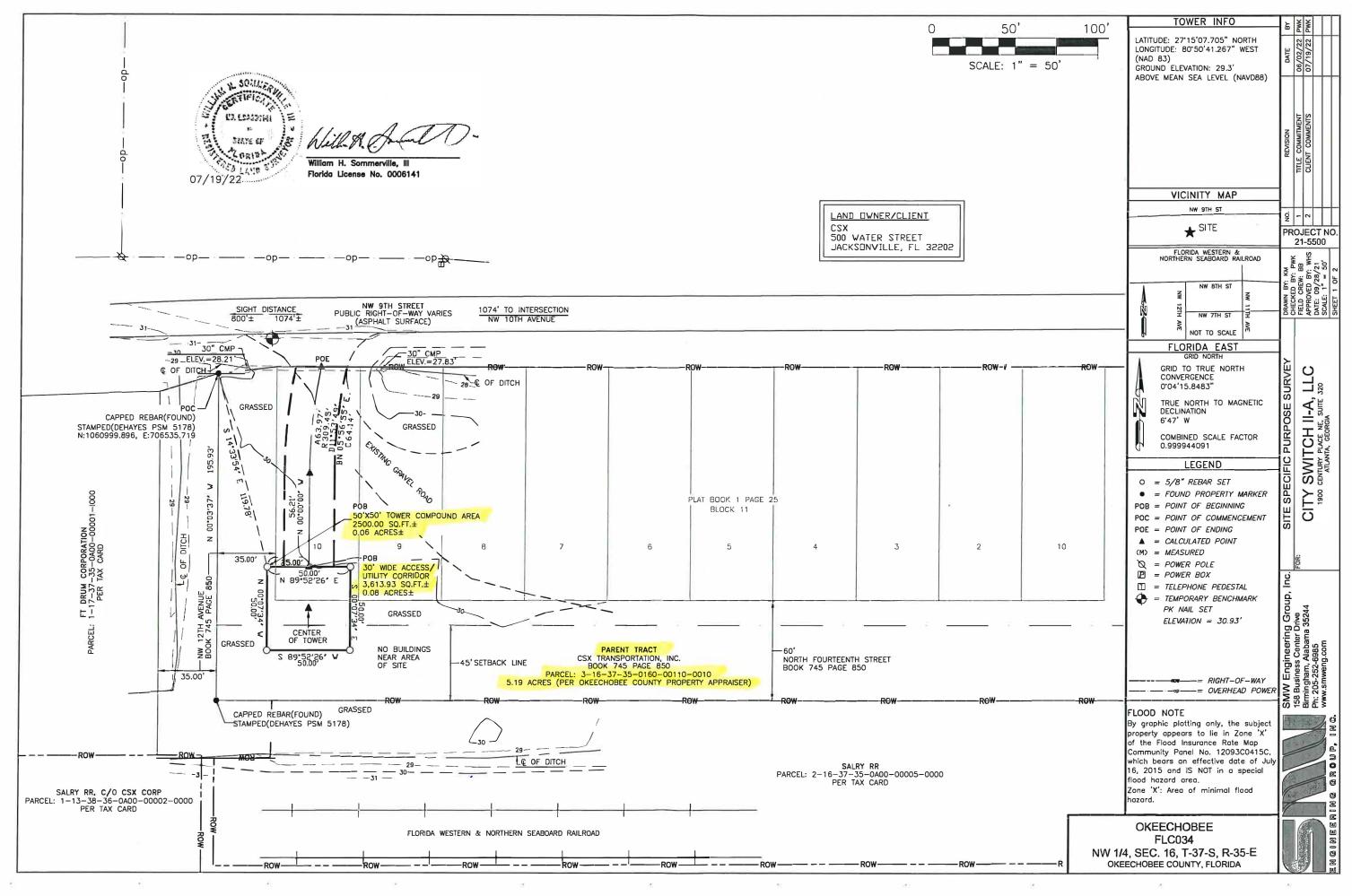
View image in PDF format
View image in PDF format

7/14/22, 12:55 PM

Detail by Entity Name

<u>05/04/1999 ANNUAL REPORT</u>	View image in PDF format
<u>05/18/1998 ANNUAL REPORT</u>	View image in PDF format
<u> 05/08/1997 ANNUAL REPORT</u>	View image in PDF format
04/27/1996 ANNUAL REPORT	View image in PDF format
05/01/1995 ANNUAL REPORT	View image in PDF format

Florida Department of State, Division of Corporations



#22

SURVEYOR'S NOTES

1. This is a Site Specific Purpose Survey, made an the ground under the supervision of a Florida Registered Land Surveyor. Date of field survey is September 14, 2021.

2. The following surveying instruments were used at time of field visit: Topcon GM-55 and Topcon Hiper SR G.P.S. receiver, (R.T.K. network capable).

3. Bearings are based on Florida East State Plane Coordinates NAD 83 by GPS observation.

As underground utilities, underground encroachments or building foundations were measured or located as a port of this survey, unless otherwise shown. Trees and shrubs not located, unless otherwise shown.
 Benchmark used is a GPS Continuously Operating Reference Station, PID DE9138. Onsite benchmark is as shown hereon. Elevations shown ore in feet and refer to NAVD 88.

6. This survey was conducted for the purpose of a Site Specific Purpose Survey only, and is not intended to delineate

the regulatory jurisdiction of any federal, state, regional or local agency, board, commission or other similar entity. 7. Attention is directed to the fact that this survey may have been reduced or enlarged in size due to reproduction. This

should be taken into consideration when obtaining scaled data.
8. This Survey was conducted with the benefit of an Abstract Title search.
9. Surveyor hereby states the Geodetic Coordinates and the elevation shown for the proposed centerline of the tower ore accurate to within +/-20 feet horizontally and to within +/-3 feet vertically (FAA Accuracy Code 1A).

10. Survey shown hereon conforms to the Minimum Requirements as set forth by the State Boord for o Class "A" Survey. 11. Field data upon which this mop or plot is based hos o closure precision of not less than one-foot in 15,000 feet

(1':15,000') and an angular error that does not exceed 10 seconds times the square root of the number of angles

turned. Field traverse was not adjusted. 12. This survey is not valid without the original signature and the original seal of a state licensed surveyor.

13. This is a Site Specific Purpose Survey and does not include the entire parent parcel.

14. Zoning: (as supplied by client)

Zoning Jurisdiction: City Zoning Land Use: A – Active

- 1. PARENT TRACT CSX TRANSPORTATION, INC. BOOK 745 PAGE 850 PARCEL: 3-16-37-35-0160-00110-0010 PER TAX CARD
- 2. SALRY RR PARCEL: 2-16-37-35-0A00-00005-0000 PER TAX CARD
- 3. FT DRUM CORPORATION
- PARCEL: 1-17-37-35-0A00-00001-1000 PER TAX CARD
- 4. ERVIN LEVERN PARCEL: 1-15-37-35-0010-00430-0120 PER TAX CARD

PARENT TRACT OVERVIEW NOT TO SCALE NW 9TH STREET POC 1 1 T H 4. BLUCK 11 BLOCK 12 3. AVE Ň NUE NORTH FOURTEEN STREET 1. 2. FLORIDA WESTERN & NORTHERN SEABOARD RAILROAD

,

PARENT TRACT (BOOM

A parcel of land lyir containing a portion Records of Okeechol All of Block 11 and 12th Avenue (35 fee per Plat)(60 feet in Addition to Okeechot of Okeechobee Coun

Okeechobee County 5.19 Acres (per Oke

50' x 50' TOWER COM

A portion of the CS Circuit Court for Oke said Okeechobee Cou

Commencing at a ca Florida East State Pla feet to a set 5/8" point; thence run S 50.00 feet to a poir compound area cont

30' WIDE ACCESS &

A portion of the CSX Circuit Court for Oke said Okeechobee Cou

Commencing at a co Florida East State Pl feet to a set 5/8" Access & Utility Con run N 00'00'00" W 1 radius of 309.45 fee along said arc for 6 right—of—way and the

	BY PWK
TRACT (BOOK 745 PAGE 850) el of land lying in Section 16, Township 37 South, Range 35 East, Okeechobee County, Florida, and lying in and ing a portion of that certain parcel of Land as recorded in Official Records Book 379, Page 1216 of the Public s of Okeechobee County, Florida, and being more particularly described as follows: Block 11 and 12; all of N.W. 11th Avenue (70 feet in width) lying between said Blocks 11 and 12; all of N.W. renue (35 feet in width) lying West of and contiguous with said Block 11; all of North Fourteenth Street (Name t)(60 feet in width) lying South of and contiguous with the above described property; all lying in the North West	047E 06/02/22 07/19/22
n to Okeechobee, Fla. according to the Plat thereof as recorded in Plat Book 1, Page 25 of the Public Records echobee County, Florida. obee County Parcel No.: 3-16-37-35-0160-00110-0010 cres (per Okeechobee County Property Appraiser)	REVISION TITLE COMMITMENT CLIENT COMMENTS
O'TOWER COMPOUND AREA (AS-SURVEYED) on of the CSX Transportation, Inc. tract described in Book 745, Page 850 as recorded in the Office of Clerk of Court for Okeechobee County, Florida, lying in the Northwest 1/4, Section 16, Township 37 South, Range 35 East, seechobee County, Florida and being more particularly described as follows:	
ncing at a capped rebar, stamped DEHAY NS PSM 5178, found marking the Northwest corner of said tract, having East State Plane coordinates: N:1060999.896, E:706535.719; thence run S 14*33*54" E for a distance of 119.78 a set 5/8" rebar and the Point of Beginning; thence run N 89*52*26" E for a distance of 50.00 feet to a hence run S 00°07*34" E for a distance of 50.00 feet to a point; thence run S 89*52*26" W for a distance of feet to a point; thence run N 00°07*34" W for a distance of 50.00 feet to the Point of Beginning. Said tower and area contains 2,500.00 square feet or 0.06 acres, more or less.	PROJECT NO. 21-5500 Mag Bin 25 (2) (2) (2) (2) (2) (2) (2) (2) (2) (2)
DE ACCESS & UTILITY CORRIDOR (AS-SURVEYED) on of the CSX Transportation, Inc. tract described in Book 745, Page 850 as recorded in the Office of Clerk of Court for Okeechobee County, Florida, lying in the Northwest 1/4, Section 16, Township 37 South, Range 35 East, eechobee County, Florida and being more particularly described as follows:	DRAWN BY: KM CHECKED BY: PW FIELD CREW: BB APPROVED BY: WH APPROVED BY: WH DATE: 09/28/21 SHEET 2 OF 2 SHEET 2 OF 2
ncing at a capped rebar, stamped DEHAYES PSM 5178, found marking the Northwest corner of said tract, having East State Plane coordinates: N:1060999.896, E:706535.719; thence run S 14'33'54" E for a distance of 119.78 a set 5/8" rebar; thence run N 89'52'26" E for a distance of 25.00 feet to the Point of Beginning; of an & Utility Corridor being 30 feet in width and lying 15 feet each side of the following described centerline; thence D0'00'00" W for a distance of 56.21 feet to a point; the beginning of an arc turning to the right having a of 309.45 feet, having a chord bearing and distance of N 05'56'55" E for a distance of 64.14 feet; thence run aid arc for 64.26 feet to a point on the Southerly right-of-way of NW 9th Street, a variable public f-way and the Point of Ending. Said easement contains 3,613.93 square feet or 0.08 acres, more or less. PLOTTABLE EXCEPTIONS Fidelity National Title Insurance Company Commitment for Title Insurance Order No. 10373162 Date April 14, 2022 @ 8:00 om Schedule B, Section II	ECIFIC PURPOSE SURVEY ' SWITCH II-A, LLC CRUTURY PLACE VE, SUITE 320 ATLANTA, GEORGIA
Exception No. Instrument Comment 1-5.7-8 Standard exceptions. Contain no survey matters.	CITY SWI
6 Book 731, Poge 1040 Document Affects Parent Tract but contains Book 737, Page 1215 Insufficient information to plot, show, or determine affects on subject Lease Area or Ingress/Egress & Utility Easement.	Group, Inc. S we 5244 For:
SURVEYOR'S CERTIFICATION	g Grouj Drive 35244
I certify that all parts of this survey and drawing hove been completed in accordance with the best of my knowledge, information, and belief.	SMW Engineering Gro SMW Engineering Gro Birmingham, Alabama 3524 Ph: 205-252-6985 www.smweng.com
OKEECHOBEE FLC034 NW 1/4, SEC. 16, T-37-S, R-35-E OKEECHOBEE COUNTY, FLORIDA	



22.003-SE

PARCEL NUMBER	OWNER	ADDRESS 1	ADDRESS 2	CITY	STATE	ZIP
1-13-38-36-0A00-00002-0000	SALRY RR	C/O CSX CORP	500 WATER STREET J910	JACKSONVILLE	FL	33202
1-17-37-35-0010-0000D-0130	MORA ENRIQUE	2694 SE CROTON WAY		STUART	FL	34997-6690
1-17-37-35-0A00-00001-A000	FT DRUM CORPORATION	BOX 1177		OKEECHOBEE	FL	34973-1177
1-17-37-35-0A00-00001-AA00	FT DRUM CORPORATION	BOX 1177		OKEECHOBEE	FL	34973-1177
1-17-37-35-0A00-00001-1000	FT DRUM CORPORATION	BOX 1177		OKEECHOBEE	FL	34973-1177
1-17-37-35-0A00-00001-J000	FT DRUM CORPORATION	BOX 1177		OKEECHOBEE	FL	34973-1177
1-17-37-35-0A00-00001-0000	OKEECHOBEE COUNTY					
2-16-37-35-0A00-00005-0000	SALRY RR	C/O CSX CORP	500 WATER STREET J910	JACKSONVILLE	FL	33202
3-15-37-35-0010-00420-0110	ONROUTE EXPRESS SERVICES LLC	C/O JEAN M CHARLES SR	9164 BIRMINGHAM DR	PALM BEACH GARDENS	FL	33410-5922
3-15-37-35-0010-00420-0130	EPANOPTIX INC	7806 NW 40TH CT		CORAL SPRINGS	FL	33065
3-15-37-35-0010-00420-0140	ERVIN MATTIE	920 NW 9TH STREET		OKEECHOBEE	FL	34972-2002
3-15-37-35-0010-00420-0150	KOCHER KIMBERLY	918 NW 9TH ST		OKEECHOBEE	FL	34972
3-15-37-35-0010-00420-0170	GRANT PATRICIA ANN	916 NW 9TH ST		OKEECHOBEE	FL	34972-2002
3-15-37-35-0010-00430-0080	RODGERS LINDA FAYE	11435 BRIGHTON KNOLL LOOP		RIVERVIEW	FL	33579-2110
3-15-37-35-0010-00430-0100	MINONDO MICHAEL A	917 NW 9TH ST		OKEECHOBEE	FL	34972-2001
3-15-37-35-0010-00430-0120	ERVIN LEVERN	919 NW 9TH ST		OKEECHOBEE	FL	34972-2001
3-15-37-35-0010-00430-0140	DALE MASSEY	315 SW 11TH AVE		OKEECHOBEE	FL	34974-4017
3-15-37-35-0010-00670-0010	FROM INVESTMENTS LLC	PO BOX 1209		OKEECHOBEE	FL	34973-1209
3-15-37-35-0010-00670-0110	FROM INVESTMENTS LLC	PO BOX 1209		OKEECHOBEE	FL	34973-1209
3-16-37-35-0160-00010-0050	FORT DRUM CORPORATION	PO BOX 1177		OKEECHOBEE	FL	34973-1177
3-16-37-35-0160-00090-0010	ESTREMERA ALEJANDRO & JANET	P O BOX 337		OKEECHOBEE	FL	34973-0337
3-16-37-35-0160-00090-0040	LYONS BASIL	1303 TERRASOL RDG SW		LILBURN	GA	30047-3097
3-16-37-35-0160-00130-0010	TOTAL ROADSIDE SERVICE CENTER	PO BOX 147		OKEECHOBEE	FL	34973-0147
3-16-37-35-0160-00130-0070	WILSON DENNIS R	1102 NW 7TH CT	·•	OKEECHOBEE	FL	34972-2429
3-16-37-35-0160-00140-0010	WILSON DENNIS R	1102 NW 7TH CT		OKEECHOBEE	FL	34972
3-16-37-35-0160-00140-0060	GUERRERO JUDY LYNN	1104 NW 7TH CT		OKEECHOBEE	FL	34972
3-16-37-35-0160-00140-0080	FLETCHER JUDITH D	1106 NW 7TH CT		OKEECHOBEE	FL	34972
3-16-37-35-0160-00140-0100	SRBEK YVONA	1108 NW 7TH CT		OKEECHOBEE	FL	34972



Affidavit Attesting to the Completeness and Accuracy of the List of Surrounding Property Owners

I hereby certify under the penalty of law or the revocation of the requested approval sought that to the best of my knowledge and belief, the attached list constitutes the complete and accurate list of the property owners, addresses, and parcel identification numbers of all parcels and tracts within three hundred (300) feet not including intervening streets, alleys, or waterways, of the perimeter of the lands which are subjects of, or are contiguous to but held under the same ownership as, the lands subject to the application for a change in land use or zoning, said list constituting a portion of that application. This affidavit is made based upon an inspection of the tax rolls of the Property Appraiser of Okeechobee County as of $\underline{Jw}/\underline{y}$, $\underline{J}/\underline{J}$, $\underline{J}(\underline{b},\underline{c},\underline{c})$, and the Assertions made to me by members of that Office that the information reviewed constitutes the most recent

(; *I*^m

information available to that office. I therefore attest to this ____

02

02) Date

day of

Signature of Applicant

Name of Applicant (printed or typed)

STATE OF FLORIDA GEOGAN COUNTY OF Faisyth

	l before me by means of physical presence or online <u>, 20 ふえ</u> by <u>Kyle しっすこと</u> , who is personally known_
to me or produced	as identification.
	EXPIRES GEORGIA 9-11-2023 Notary Public Signature



SITE SUMMARY		
SITE TYPE:	NEW SITE DESIGN	
TOWER TYPE:	MONOPOLE	
TOWER HEIGHT:	150'-0"	
APPURTENANCE HEIGHT:	160'-0"	
GROUND ELEVATION:	29.3' ±	
WIND SPEED:	145 MPH	
TYPE OF OCCUPANCY:	TELECOMMUNICATIONS	
TOWER LATITUDE:	27° 15' 07.7"N (27.252140°)	
TOWER LONGITUDE:	80° 50' 41.3"W (-80.844796°)	
ZONING JURISDICTION:	CITY OF OKEECHOBEE	
COUNTY:	OKEECHOBEE	
APN #:	3-16-37-35-0160-00110-0010	
ZONING:	INDUSTRIAL	
PARCEL SIZE:	226,076± SQ. FT. (5.19 ACRES)	
LEASE AREA SIZE:	2,500 SQ.FT (0.06± ACRES)	
POWER COMPANY:	TBD	
TELEPHONE COMPANY:	ТВО	

PROJECT DIRECTORY		
LAND OWNER:	CSX TRANSPORTATION. INC.	
51	C/O TAX DEPT. J910	
	500 WATER STREET, SUITE 1208	
	JACKSONVILLE, FL 32202	
	CONTACT: THOMAS PAULY	
1	PHONE: (904) 279-3837	
	EMAIL: THOMAS_PAULY@CSX.COM	
APPLICANT:	CSX TRANSPORTATION, INC.	
	C/O TAX DEPT. J910	
	500 WATER STREET, SUITE 1208	
	JACKSONVILLE, FL 32202	
	CONTACT: THOMAS PAULY	
	PHONE: (904) 279-3837	
	EMAIL: THOMAS_PAULY@CSX.COM	
SITE DESIGN/ENGINEER:	FDH INFRASTRUCTURE SERVICES	
	6521 MERIDIEN DRIVE	
1	RALEIGH, NC 27616	
	CONTACT: JAMES R. BILLUPS, PE, CFM	
	PHONE: (919) 755-1012	
SURVEYOR:	SMW ENGINEERING GROUP, INC	
	158 BUSINESS CENTER DRIVE	
	BIRMINGHAM, AL 35244	
	CONTACT:	
	PHONE: (205) 252-6985	

ZONING DRAWINGS



CITY SWITCH SITE ID: FLC034 CITY SWITCH SITE NAME: OKEECHOBEE SITE ADDRESS: 1117 NW 9TH ST **OKEECHOBEE, FL 34972**

NOTE: ANY CHANGES TO THE APPROVED PLANS MUST BE APPROVED BY THE PROPERTY OWNER.

DIRECTIONS

FROM PALM BEACH INTERNATIONAL AIRPORT, PALM BEACH, FL:

HEAD EAST ON WELLINGTON RD TOWARD N FLORIDA MANGO RD. IN 367 FT, TURN RIGHT ONTO NFLORIDA MANGO RD. IN 249 FT, TURN LEFT ONTO WORTHINGTON RD. IN 0.2 MI. TURN LEFT ONTO SAUSTRALIAN AVE. IN 1.0 MI. TURN LEFT ONTO THE OKEECHOBEE BOULEVARD. W RAMP. IN 0.2 MI, MERGE ONTO OKEECHOBEE BLVD. IN 0.3 MI, USE THE RIGHT 2 LANES TO MERGE ONTO 1-95 N VIA THE RAMP TO DAYTONA BCH. IN 5.7 MI, TAKE EXIT 76 FOR FL-708/BLUE HERON BLVD. IN 0.3 MI, USE THE LEFT 3 LANES TO TURN LEFT ONTO FL-708 W/W BLUE HERON BLVD (SIGNS FOR VA MEDICAL CNTR). IN 1.0 MI, SLIGHT RIGHT ONTO FL-710 W. IN 53.2 MI, USE ANY LANE TO TURN LEFT ONTO FL-70 W/NE PARK ST. IN 2.4 MI, TURN RIGHT AFTER ADVANCE AUTO PARTS (ON THE LEFT). IN 0.6 MI, TURN LEFT ONTO NW 9TH ST. DESTINATION WILL BE ON THE LEFT.

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING:

- FLORIDA BUILDING CODE 2020
- ANSI/TIA-222-H NATIONAL ELECTRIC CODE 2017

GENERAL NOTES

THE FACILITY IS UNMANNED AND NOT FOR

HUMAN HABITATION, THEREFORE HANDICAP

ACCESS IS NOT REQUIRED A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE

MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE: NO SANITARY SEWER SERVICE

POTABLE WATER, OR TRASH DISPOSAL IS

REQUIRED AND NO COMMERCIAL SIGNAGE IS

PROPOSED.

- LOCAL BUILDING CODE CITY/COUNTY ORDINANCES 2020 FLORIDA FIRE PREVENTION CODE 5. 6





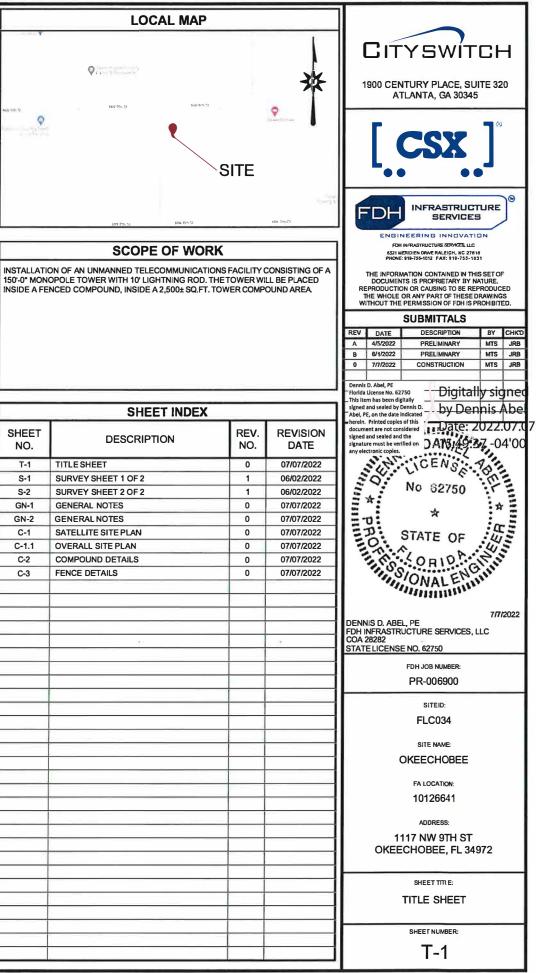
LEGAL DESCRIPTION

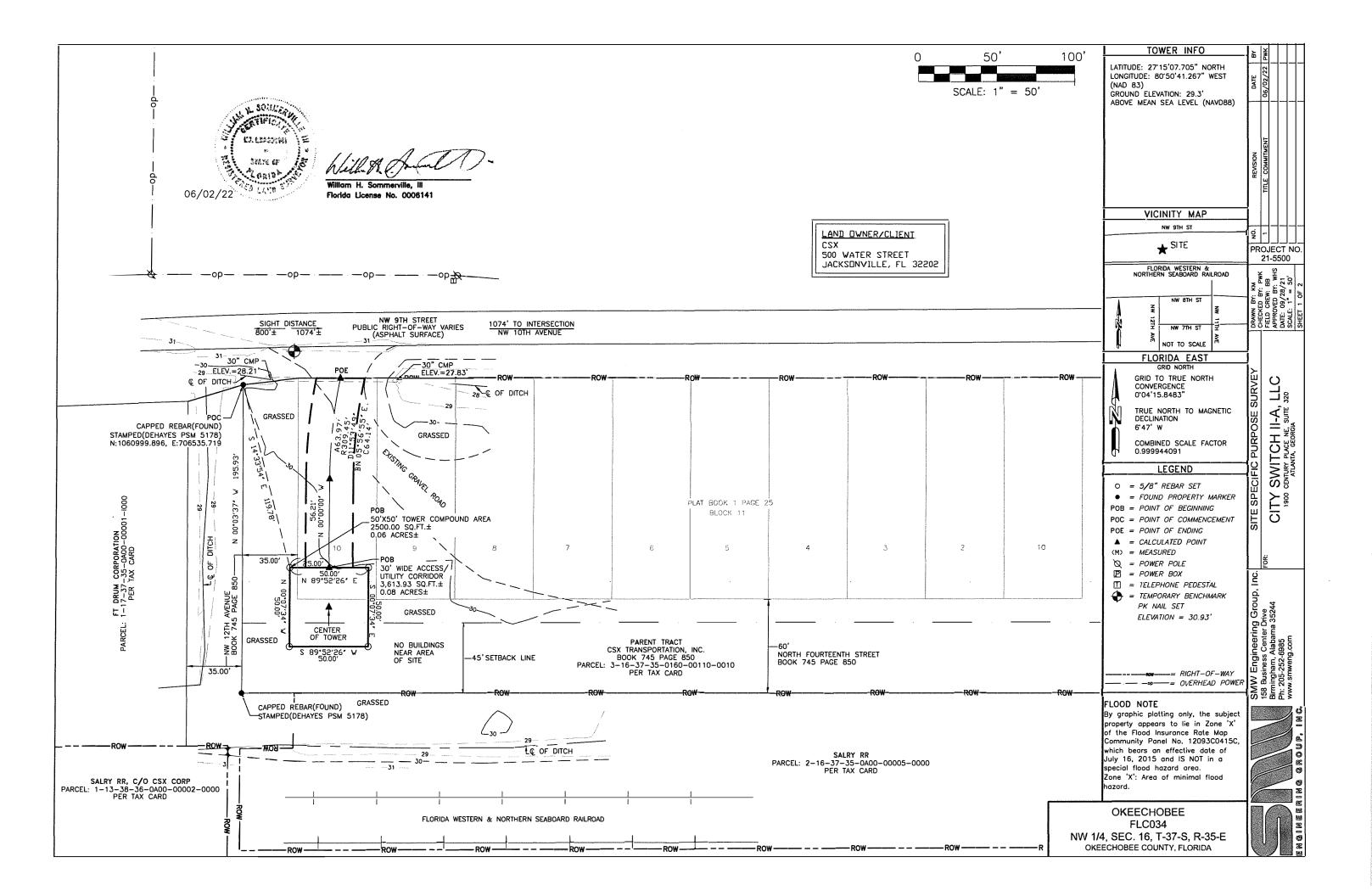
REFER TO TOPOGRAPHICAL SURVEY AND SITE PLAN FOR LEGAL DESCRIPTION OF PARENT PARCEL AND LEASE AREA.

	LOCA
	Q
NAV VID S	N# %5.5
	300 £35 54

	SHEET
SHEET NO.	DESCRIPTIO
T-1	TITLE SHEET
S-1	SURVEY SHEET 1 OF 2
S-2	SURVEY SHEET 2 OF 2
GN-1	GENERAL NOTES
GN-2	GENERAL NOTES
C-1	SATELLITE SITE PLAN
C-1.1	OVERALL SITE PLAN
C-2	COMPOUND DETAILS
C-3	FENCE DETAILS

0114	OFNEDAL NOTES
GN-1	GENERAL NOTES
GN-2	GENERAL NOTES
C-1	SATELLITE SITE PLAN
C-1.1	OVERALL SITE PLAN
C-2	COMPOUND DETAILS
C-3	FENCE DETAILS
	1.1
-	
/	





SURVEYOR'S NOTES

1. This is a Site Specific Purpose Survey, made on the ground under the supervision of a Florida Registered Land Surveyor. Date of field survey is September 14, 2021.

2. The following surveying instruments were used at time of field visit: Topcon GM-55 and Topcon Hiper SR G.P.S. receiver, (R.T.K. network capable).

3. Begrings are based on Florida East State Plane Coordinates NAD 83 by GPS observation.

4. No underground utilities, underground encroachments or building foundations were measured or located as a part of this survey, unless otherwise shown. Trees and shrubs not located, unless otherwise shown.

5. Benchmark used is a GPS Continuously Operating Reference Station, PID DE9138. Onsite benchmark is as shown

6. This survey was conducted for the purpose of a Site Specific Purpose Survey only, and is not intended to delineate the regulatory jurisdiction of any federal, state, regional or local agency, boord, commission or other similar entity. 7. Attention is directed to the fact that this survey may have been reduced or enlarged in size due to reproduction. This

This Survey was conducted with the benefit of an Abstract Title search.

9. Surveyor hereby states the Geodetic Coordinates and the elevation shown for the proposed centerline of the tower are accurate to within +/-20 feet horizontally and to within +/-3 feet vertically (FAA Accuracy Code 1A).

10. Survey shown hereon conforms to the Minimum Requirements as set forth by the State Board for a Class "A" Survey. 11. Field data upon which this mop or plat is based hos a closure precision of not less than one-foot in 15,000 feet (1':15,000') and on angular error that does not exceed 10 seconds times the square root of the number of angles turned. Field traverse was not adjusted.

12. This survey is not valid without the original signature and the original seal of a state licensed surveyor.

13. This is a Site Specific Purpose Survey and does not include the entire parent parcel.

14. Zoning: (as supplied by client)

Zoning Jurisdiction: City Zoning Land Use: A - Active

1. PARENT TRACT CSX TRANSPORTATION, INC. BOOK 745 PAGE 850 PARCEL: 3-16-37-35-0160-00110-0010 PER TAX CARD

- 2. SALRY RR PARCEL: 2-18-37-35-0400-00005-0000 PER TAX CARD
- 3. FT DRUM CORPORATION PARCEL: 1-17-37-35-0400-00001-1000 PER TAX CARD
- 4. ERVIN LEVERN PARCEL: 1-15-37-35-0010-00430-0120 PER TAX CARD

PARENT TRACT OVERVIEW NOT TO SCALE NW 9TH STREET POC 1 1 T H 4. BLEICK BLOCK 3. AVE NORTH FOURTEEN STREET ЧE FLORIDA WESTERN & NORTHERN SEABOARD RAILROAD

PARENT TRACT (BOOK 745 PAGE 850)

A parcel of land lying in Section 16, Township 37 South, Range 35 East, Okeechobee County, Florida, and lying in and containing a portion of that certain parcel of Land as recorded in Official Records Book 379, Page 1216 of the Public Records of Okeechobee County, Florida, and being more particularly described as follows: All of Block 11 and 12; all of N.W. 11th Avenue (70 feet in width) lying between said Blocks 11 and 12; all of N.W. 12th Avenue (35 feet in width) lying West of and contiguous with said Block 11; all of North Fourteenth Street (Name per Plat)(60 feet in width) lying South of and contiguous with the above described property; all lying in the North West Addition to Okeechobee, Fla. according to the Plat thereof as recorded in Plat Book 1, Page 25 of the Public Records of Okeechobee County, Florida,

50' × 50' TOWER COMPOUND AREA (AS-SURVEYED)

A portion of the CSX Transportation, Inc. tract described in Book 745, Page 850 as recorded in the Office of Clerk of Circuit Court for Okeechobee County, Florida, lying in the Northwest 1/4, Section 16, Township 37 South, Range 35 East, said Okeechobee County, Florida and being more particularly described as follows:

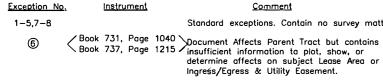
Commencing at a capped rebar, stamped DEHAYES PSM 5178, found marking the Northwest corner of said tract, having Florida East State Plane coordinates: N:1060999.896, E:706535.719; thence run S 14'33'54" E for a distance of 119.78 feet to a set 5/8" rebar and the Point of Beginning; thence run N 89'52'26" E for a distance of 50.00 feet to a point; thence run S 00'07'34" E for a distance of 50.00 feet to a paint; thence run S 89'52'26" W for a distance of 50.00 feet to a point; thence run N 00°07'34" W for a distance of 50.00 feet to the Point of Beginning. Said tower compound area contains 2,500.00 square feet or 0.06 acres, more or less.

30' WIDE ACCESS & UTILITY CORRIDOR (AS-SURVEYED)

A portion of the CSX Transportation, Inc. tract described in Book 745, Page 850 as recorded in the Office of Clerk of Circuit Court for Okeechobee County, Florida, lying in the Northwest 1/4, Section 16, Township 37 South, Range 35 East, said Okeechobee County, Florida and being more particularly described as follows:

Commencing at a capped rebar, stamped DBHAYES PSM 5178, found marking the Northwest corner of said tract, having Florida East State Plane coordinates: N:1060999.896, E:706535.719; thence run S 14*33'54" E for a distance of 119.78 feet to a set 5/8" rebar; thence run N 89°52′26" E for a distance of 25.00 feet to the Point of Beginning; of an Access & Utility Corridor being 30 feet in width and lying 15 feet each side of the following described centerline; thence run N 00'00'00" W for a distance of 56.21 feet to a point; the beginning of an arc turning to the right having a radius of 309.45 feet, having a chord bearing and distance of N 05'56'55" E for a distance of 64.14 feet; thence run along said arc for 64.26 feet to a point on the Southerly right-of-way of NW 9th Street, a variable public right-of-way and the Point of Ending. Said easement contains 3,613.93 square feet or 0.08 acres, more or less.

PLOTTABLE EXCEPTIONS
Fidelity National Title Insurance Com Commitment for Title Insurance Order No.
Date April 14, 2022 @ 8:00 am
Schedule B, Section II



SURVEYOR'S CERTIFICATION



I certify that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Florida to the best of my knowledge, information, and belief.

William H. Sommerville. Florida License No. 0006141 npany 10373162

Standard exceptions. Contain no survey matters



810

OKEECHOBEE FLC034 NW 1/4, SEC. 16, T-37-S, R-35-E OKEECHOBEE COUNTY, FLORIDA

<u>GENERAL NOTES:</u>	9. ANY SUBSTITUTIONS OF MATERIALS AND/OR EQUIPMENT, MUST BE APPROVED BY OWNER'S		ABBF
. EVERY EFFORT HAS BEEN MADE IN THE CONSTRUCTION DOCUMENTS TO PROVIDE A	REPRESENTATIVE.	A/C	AIR CONDITIONING
COMPLETE SCOPE OF WORK. MINOR DISCREPANCIES IN THE DRAWINGS AND/OR		AFF	ABOVE FINISHED FLOOR
SPECIFICATIONS SHALL NOT EXCUSE CONTRACTORS FROM COMPLETING THE PROJECT AND	10. DOCUMENT ALL CHANGES MADE IN THE FIELD BY MARKING UP THE APPROVED	AGL	ABOVE GROUND LEVEL.
IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS.	CONSTRUCTION DRAWINGS AND SUBMITTING THE REDLINED SET TO OWNER'S	AUL	ABOVE GRADE LEVEL
BIDDING REQUIREMENTS	REPRESENTATIVE UPON COMPLETION. DOCUMENT ALL WORK PERFORMED WITH	41410	
a. PRIOR TO THE SUBMISSION OF BIDS, VISIT THE JOB SITE TO BECOME FAMILIAR WITH	PHOTOGRAPHS TO BE SUBMITTED WITH REDLINED CONSTRUCTION DRAWINGS.	AWS	ADVANCED WIRELESS SERVICE
ALL CONDITIONS AFFECTING THE PROPOSED PROJECT. VISIT THE SITE WITH THE		BBU	BATTERY BACKUP UNIT
CONSTRUCTION DOCUMENTS TO VERIFY FIELD DIMENSIONS AND CONDITIONS TO	11. PROVIDE SUPPORTS FOR CABLES TO THE ELEVATION OF ALL INITIAL AND FUTURE	BLDG	BUILDING
CONFIRM THAT THE PROJECT WILL BE ACCOMPLISHED AS SHOWN.	ANTENNAS IN ACCORDANCE WITH ALL MANUFACTURER'S REQUIREMENTS.	BLK	BLOCKING
b. PROVIDE NOTIFICATION TO OWNER'S REPRESENTATIVE IN WRITING OF ANY CONFLICTS,		CLG	CEILING
ERRORS. OR OMISSIONS PRIOR TO SUBMISSION OF PRICE PROPOSAL. IN THE EVENT	12. A STRUCTURAL ANALYSIS AND A MOUNT ANALYSIS (IF REQUIRED) TO DETERMINE THE	CLR	CLEAR
OF DISCREPANCIES, PRICE THE MORE COSTLY OR EXTENSIVE WORK, UNLESS	STRUCTURAL CAPACITY TO SUPPORT THIS PROPOSED EQUIPMENT WAS PERFORMED	CONC	CONCRETE
DIRECTED OTHERWISE.	OUTSIDE THE SCOPE OF THIS PROJECT.	CONT	CONTINUOUS
c. WHEN TOWER IS OWNED BY A THIRD PARTY, CONTACT TOWER OWNER		D	DEPTH
REPRESENTATIVE FOR PARTICIPATION IN BID WALK.	13. CONFIRM THAT THE REQUIREMENTS OF THE STRUCTURAL ANALYSIS, MOUNT ANALYSIS AND	DBL	DOUBLE
d. WHERE ANCHORING TO A CONCRETE ROOF SLAB, CONFIRM (PRIOR TO SUBMITTING	ANY ASSOCIATED MODIFICATIONS HAVE BEEN FOLLOWED AND COMPLETED AS REQUIRED TO	DEG	DEGREE
BID) THE PRESENCE OF POST TENSION TENDONS. INCLUDE PROVISIONS FOR X-RAY	SUPPORT THE EQUIPMENT ASSOCIATED WITH THIS PROJECT.		DIAMETER
PROCEDURES TO LOCATE THE TENDONS PRIOR TO CONSTRUCTION.		Ø, DIA	
	SPECIAL INSPECTIONS:	DIAG	DIAGONAL
DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS TAKE PRECEDENCE.	1. WHEN REQUIRED, PROVIDE SPECIAL INSPECTIONS PERFORMED BY AN INDEPENDENT	DN	DOWN
CONSTRUCTION DOCUMENTS ARE INTENDED FOR DIAGRAMMATIC PURPOSES ONLY, UNO.	INSPECTOR, APPROVED BY OWNER'S REPRESENTATIVE AND THE LOCAL JURISDICTION.	DET	DETAIL
	THE EVEN AT NOTE OF CHARTERS RETRESENTATIVE AND THE EVENE JURISDICTION.	DWG	DRAWING
FURNISH ALL MATERIALS, EQUIPMENT, LABOR, AND ANY REQUIREMENTS NECESSARY TO	A THE OPENING INCOMPANY PROVIDE & CODY OF THE OPENING OF	E	EXISTING
COMPLETE PROJECT AS DESCRIBED IN THE CONSTRUCTION DOCUMENTS.	2. THE SPECIAL INSPECTOR SHALL PROVIDE A COPY OF THE REPORT TO THE OWNER'S	EA	EACH
	REPRESENTATIVE, STRUCTURAL ENGINEER, CONTRACTOR, AND BUILDING OFFICIAL.	ELEV, EL	ELEVATION
SUPERVISE AND DIRECT THE PROJECT DESCRIBED IN THE CONSTRUCTION DOCUMENTS.		ELEC	ELECTRICAL
PROVIDE ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND		EQ	EQUAL
PROCEDURES FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.		EQUIP	EQUIPMENT
		EXT	EXTERIOR
ALL WORK PERFORMED ON THE PROJECT AND MATERIALS INSTALLED SHALL BE IN STRICT		FIF	FIBER INTERFACE FRAME.
ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. GIVE ALL		r ir	FACILITY INTERFACE FRAME
NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL		E INI	
ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS,		FIN	FINISH
AND LOCAL AND STATE JURISDICTIONAL CODES APPLICABLE TO THE WORK.		FLUOR	FLUORESCENT
		FLR	FLOOR
CONSTRUCTION COORDINATION REQUIREMENTS		FT	FOOT, FEET
a. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO START OF		GA	GAUGE
WORK.		GALV	GALVANIZED
b. OBTAIN ALL PERMITS. SCHEDULE AND COORDINATE ALL INSPECTIONS.		GC	GENERAL CONTRACTOR
c. PROVIDE, AT THE PROJECT SITE, A FULL, CURRENT SET OF CONSTRUCTION		GRND	GROUND
DOCUMENTS FOR USE BY ALL PERSONNEL INVOLVED WITH THE PROJECT.		GSM	GLOBAL SYSTEM MOBILE
d. RECEIVE WRITTEN AUTHORIZATION TO PROCEED WITH CONSTRUCTION PRIOR TO		GYP	GYPSUM BOARD
STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION		HORZ	HORIZONTAL
DOCUMENTS.		HR	HOUR
e. PERFORM WORK DURING OWNER'S PREFERRED HOURS TO AVOID DISTURBING NORMAL			
BUSINESS.		HT	HEIGHT
f. PROVIDE FALL PROTECTION IN ACCORDANCE WITH FEDERAL, STATE, LOCAL, AND		ID	INSIDE DIAMETER
OWNER REQUIREMENTS.		IN	INCH, INCHES
g. IF FAA LIGHTING AND MARKING IS PRESENT ON SITE AND IS POWERED BY		INSUL	INSULATION
ELECTRICAL SERVICE THAT IS TO BE INTERRUPTED, MAINTAIN THE NECESSARY LIGHTS		INT	INTERIOR
DURING CONSTRUCTION AND NOTIFY THE PROPER AUTHORITIES IN THE EVENT OF A		L	LENGTH
DISRUPTION.			
h. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A			
OR 2-A10BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF PROJECT AREA DURING CONSTRUCTION.			
	÷		
i. STRUCTURAL COMPONENTS OF ADJACENT FACILITIES SHALL NOT BE ALTERED BY THIS CONSTRUCTION PROJECT. UNO. ENSURE THAT EXCAVATION DOES NOT AFFECT			
ADJACENT STRUCTURES.	185		
i. SEAL ALL PENETRATIONS THROUGH FIRE-RATED AREAS WITH U.L. LISTED OR FIRE			
MARSHALL-APPROVED MATERIALS, IF APPLICABLE.			
k. BURIED UTILITIES MAY EXIST IN THE AREA AND UTILITY INFORMATION SHOWN MAY NOT			
BE COMPLETE. CONTACT THE UTILITY LOCATE SERVICE A MINIMUM OF 48 HOURS			
PRIOR TO CONSTRUCTION.			
I. COORDINATE ALL POWER INSTALLATION WITH POWER COMPANY AS REQUIRED, REPORT			
POWER INSTALLATION COORDINATION SOLUTION(S) TO OWNER'S REPRESENTATIVE.			
m. PROTECT EXISTING IMPROVEMENTS, EASEMENTS, PAVING, CURBING, ETC. DURING			
CONSTRUCTION LIPON COMPLETION OF WORK DEDAID ANY DAMAGE THAT MAY HAVE			
CONSTRUCTION. UPON COMPLETION OF WORK, REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.			

- n. KEEP GENERAL WORK AREA CLEAN AND HAZARD FREE DURING CONSTRUCTION AND DISPOSE OF ALL DIRT, DEBRIS, AND RUBBISH. REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY OR PREMISES. SITE SHALL BE LEFT IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE.
- o. MAINTAIN THE INTEGRITY OF THE BUILDING ENVELOPE AND CONSTRUCT BARRIERS IN THE AREA OF WORK TO PREVENT DAMAGE FROM WEATHER AS WELL AS FROM CONSTRUCTION DUST AND DEBRIS.
- 8. INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO MANUFACTURER'S SPECIFICATIONS, UNO, OR WHERE LOCAL CODES OR ORDINANCES DIRECT OTHERWISE.

				1
BBREVIATIO	DNS			
	LBS	POUNDS		
	LTE	LONG TERM EVOLUTION		
	MAX	MAXIMUM		CITYSWITCH
	MECH	MECHANICAL		
CE	MTL	METAL		1900 CENTURY PLACE, SUITE 320
	MFR	MANUFACTURE		ATLANTA, GA 30345
	MGR	MANAGER		
	MIN	MINIMUM		iii)
	MIN	MINIMUM		
	NA	NOT APPLICABLE		
	NA			
		NOT IN CONTRACT		
	NO			
	NTS	NOT TO SCALE)@
	OC OD	ON CENTER OUTSIDE DIAMETER		INFRASTRUCTURE
				SERVICES
	PCS	PERSONAL COMMUNICATIO	Л	ENGINEERING INNOVATION
		SERVICE	T	FOH INFRASTRUCTURE BERVICES, LLC
	PDU	POWER DISTRIBUTION UN	11	6521 MERIDIEN DRAVE RALEIGH, NC 27616 PHONE: 919-755-1012 FAX: 919-765-1031
	PROJ	PROJECT		THE INFORMATION CONTAINED IN THIS SET OF
	PROP	PROPERTY		DOCUMENTS IS PROPRIETARY BY NATURE. REPRODUCTION OR CAUSING TO BE REPRODUCED
	PT	PRESSURE TREATED		THE WHOLE OR ANY PART OF THESE DRAWINGS
	PVC	POLYVINYL CHLORIDE		WITHOUT THE PERMISSION OF FDH IS PROHIBITED.
	REQ	REQUIRED		SUBMITTALS
	RF	RADIO FREQUENCY		REV DATE DESCRIPTION BY CHKD
	RM	ROOM	1	A 4/5/2022 PRELIMINARY MTS JRB
	RO	ROUGH OPENING		B 6/1/2022 PRELIMINARY MTS JRB 0 7/7/2022 CONSTRUCTION MTS JRB
	RRH	REMOTE RADIO HEAD		
	SHT	SHEET	1	
	SIM	SIMILAR	Dennis D. Abel, Pi Florida License No	
	SPEC	SPECIFICATION	This item has been	n digitally
	SF	SQUARE FOOT	signed and sealed Abel, PE, on the d	ate indicated
	SS	STAINLESS STEEL	herein. Printed co document are not	
	STL	STEEL	signed and sealed	and the St. G LANE
	SUSP	SUSPENDED	signature must be any electronic cop	
	TMA	TOWER MOUNTED AMPLIF		1
	TND	TINNED		N● 62750
	TYP	TYPICAL		
	UMTS	UNIVERSAL MOBILE		E * * E
		TELECOMMUNICATION SER	VICE	
	UNO	UNLESS NOTED OTHERWIS	SE	STATE OF
	VERT	VERTICAL		
	w/	WITH		10 × 0 R 10
	w/o	WITHOUT		SOMALAL EN SIN
	WCS	WIRELESS COMMUNICATION	N	CORIDA. CHUN
		SERVICE		
	WP	WATER PROOF		7/7/2022
				DENNIS D. ABEL, PE FDH INFRASTRUCTURE SERVICES, LLC
				COA 28282
				STATE LICENSE NO. 62750
				FOH JOB NUMBER:
				PR-006900
				PTC-000900
				SITEID
				SITE ID:
				SITE ID: FLC034
				FLC034
				FLC034
				FLC034
				FLC034 SITE NAME OKEECHOBEE
				FLC034 SITE NAME: OKEECHOBEE FA LOCATION:
				FLC034 SITE NAME OKEECHOBEE
				FLC034 site name: OKEECHOBEE fa location: 10126641
				FLC034 SITE NAME: OKEECHOBEE FA LOCATION:
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				FLC034 SITE NAME: OKEECHOBEE FA LOCATION: 10126641 ADDRESS:
				FLC034 SITE NAME: OKEECHOBEE FA LOCATION: 10126641 ADDRESS: 1117 NW 9TH ST
				FLC034 SITE NAME: OKEECHOBEE FA LOCATION: 10126641 ADDRESS: 1117 NW 9TH ST OKEECHOBEE, FL 34972
				FLC034 SITE NAME: OKEECHOBEE FA LOCATION: 10126641 ADDRESS: 1117 NW 9TH ST
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				FLC034 SITE NAME OKEECHOBEE FA LOCATION: 10126641 ADDRESS: 1117 NW 9TH ST OKEECHOBEE, FL 34972 SHEET TIILE: GENERAL NOTES SHEET NUMBER:
				FLC034 SITE NAME OKEECHOBEE FA LOCATION: 10126641 ADDRESS: 1117 NW 9TH ST OKEECHOBEE, FL 34972 SHEET TIILE: GENERAL NOTES SHEET NUMBER:
				FLC034 SITE NAME OKEECHOBEE FA LOCATION: 10126641 ADDRESS: 1117 NW 9TH ST OKEECHOBEE, FL 34972 SMEET TIILE: GENERAL NOTES

SITE NOTES:

- 1. CLEAR AND GRUB SITE OF ALL VEGETATION, PAVING, GRAVEL BASE AND OTHER DEBRIS NOT TO REMAIN. SUBGRADES ARE TO BE SET PRIOR TO LANDSCAPE INSTALLATION.
- 2. PROVIDE ELEVATION OF SUBGRADE WITHIN 0.10 FOOT OF ELEVATIONS SHOWN ON PLAN MINUS DEPTH OF TOPSOIL, FILL, AND MULCH.
- 3. ROUGH GRADE ALL AREAS WITHIN 1 FOOT OF ELEVATIONS INDICATED BEFORE PLANTING. PROVIDE POSITIVE DRAINAGE AWAY FROM EQUIPMENT SLABS, BUILDINGS AND THROUGH ALL PLANTER AREAS TO AVOID LOW SPOTS AND STANDING WATER.
- 4. REWORK (DRY, SCARIFY, ETC.) ALL MATERIAL NOT SUITABLE FOR SUB GRADE IN ITS PRESENT STATE. AFTER REWORKING, IF THE MATERIAL REMAINS UNSUITABLE, UNDERCUT AND REPLACE WITH SUITABLE MATERIAL AT CONTRACTOR'S EXPENSE. ALL SUB GRADES AND AGGREAGATE BASE COURSES SHALL BE PROOF ROLLED WITH A FULLY LOADED TANDEM DUMP TRUCK, AND ANY SOFT SPOTS SHALL BE REWORKED OR REPLACED UNTIL PASSING PROOF ROLL.
- 5. BLEND NEW GRADES NATURALLY INTO EXISTING GRADES.
- 6. MAINTAIN POSITIVE DRAINAGE ON THE SITE AT ALL TIMES, INCLUDING KEEPING ALL EXISTING AND NEW DITCHES, PIPES AND OTHER DRAINAGE STRUCTURES FREE FROM OBSTRUCTION. ANY DAMAGE RESULTING FROM FAILURE TO COMPLY SHALL BE REMEDIED BY CONTRACTOR
- 7. IF REQUIRED, MAINTAIN CONTINUOUS EROSION CONTROL ON THE DOWNSTREAM SIDE OF THE SITE.
- 8. IN LANDSCAPE AREAS, FINISH GRADES ARE TO FOLLOW THE GRADES AND EDGE DETAILS INDICATED AND BE MOUNDED 6 INCHES IN THE CENTER OF THE BED ABOVE THE EDGE OF THE LANDSCAPE AREA.
- 9. DO NOT PLACE FILL OR EMBANKMENT MATERIAL ON FROZEN GROUND. DO NOT PLACE FROZEN MATERIALS, SNOW OR ICE IN ANY FILL OR EMBANKMENT.
- 10. NOTIFY OWNER'S REPRESENTATIVE IF MODIFICATIONS TO THE PROPOSED GRADING SEEM NECESSARY AND OBTAIN APPROVAL PRIOR TO START OF WORK.
- 11. FOOTINGS SHALL BEAR ON FIRM, NATURAL, UNDISTURBED SOIL, OR ON ENGINEERED FILL (COMPACTED TO 95% ASTM D698). ENSURE THAT EXCAVATIONS ARE FREE OF ORGANIC MATERIAL, DEBRIS, OR OTHER FOREIGN MATERIAL. NOTIFY OWNER'S REPRESENTATIVE IF ANY UNUSUAL CONDITIONS ARE ENCOUNTERED.
- FILL AND SLAB BASE MATERIAL SHALL BE 3/4" MINUS CRUSHED ROCK PLACED IN 8" (MAXIMUM) LOOSE LIFTS AND COMPACTED TO 98% ASTM D698.

CONCRETE NOTES:

1. CONCRETE AND REINFORCING SHALL CONFORM TO THE FOLLOWING REQUIREMENTS: CONCRETE CONSTRUCTION ACI 318 CEMENT ASTM C150, PORTLAND CEMENT TYPE II, UNO REINFORCING STEEL ASTM 4615 (INCLUDING SUPPLEMENT S1), CRADE

 REINFORCING STEEL
 ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60, fy=60 Ksi, UNO

 WELDED WIRE FABRIC
 ASTM A185

 SPIRAL REINFORCEMENT
 ASTM A615, GRADE 60, fy=60 KSI

 ANCHOR BOLTS
 ASTM A307

 GRADE 60 REBAR WELDING
 ASTM A706

NOTES: ANY BARS SO NOTED ON THE DRAWINGS SHALL BE GRADE 60, fy=60 KSI. REINFORCING COMPLYING WITH ASTM A615(S1) MAY BE WELDED ONLY IF MATERIAL PROPERTY REPORTS INDICATING CONFORMANCE WITH WELDING PROCEDURES SPECIFIED IN A.W.S. D14 ARE SUBMITTED.

- 2. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS: FOOTINGS AND OTHER UNFORMED SURFACES, EARTH FACE 3"
- FORMED SURFACES EXPOSED TO EARTH OR WEATHER (\geq #6 BARS)2"FORMED SURFACES EXPOSED TO EARTH OR WEATHER (\leq #5 BARS)1-1/2"SLABS AND WALLS(INTERIOR FACE)3/4"
- 3. AIR ENTRAIN ALL CONCRETE WITH SURFACES EXPOSED TO WEATHER WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260, C494, C618, C989 AND C1017. AIR ENTRAIN CONCRETE EXPOSED TO FREEZING AND THAWING WHILE MOIST IN ACCORDANCE WITH ACI 318, SECTION 4.4.1.
- 4. DETAIL REINFORCING STEEL (INCLUDING HOOKS AND BENDS) IN ACCORDANCE WITH ACI 315 AND 318. LAP ALL CONTINUOUS REINFORCEMENT AT LEAST 30 BAR DIAMETERS OR A MINIMUM OF 2'-O". PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP CORNER BARS AT LEAST 30 BAR DIAMETERS OR A MINIMUM OF 2'-O". LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.
- 5. PERFORM WELDING OF GRADE 60 REINFORCING BARS (IF REQUIRED) USING LOW HYDROGEN ELECTRODES. PERFORM WELDING OF GRADE 40 REINFORCING BARS (IF REQUIRED) USING E70 XX ELECTRODES. DO NOT WELD WITHIN 4" OF COLD BENDS IN REINFORCING STEEL.
- 6. DO NOT FIELD BEND REINFORCING PARTIALLY EMBEDDED IN CONCRETE UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE ENGINEER.
- 7. SUPPORT BARS ON CHAIRS OR DOBIE BRICKS.
- 8. FURNISH NON-SHRINK GROUT BY AN APPROVED MANUFACTURER. MIX AND PLACE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS. GROUT STRENGTH SHALL BE AT LEAST EQUAL TO THE MATERIAL ON WHICH IT IS PLACED (3 KSI, MINIMUM).
- 9. ALL EXPANSION ANCHORS TO BE HILTI BRAND, UNO. TEST ADHESIVE ANCHORS TO CONFIRM CAPACITY UNLESS WAIVED BY ENGINEER AND LOCAL JURISDICTION.

STRUCTURAL STEEL NOTES:

1. STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

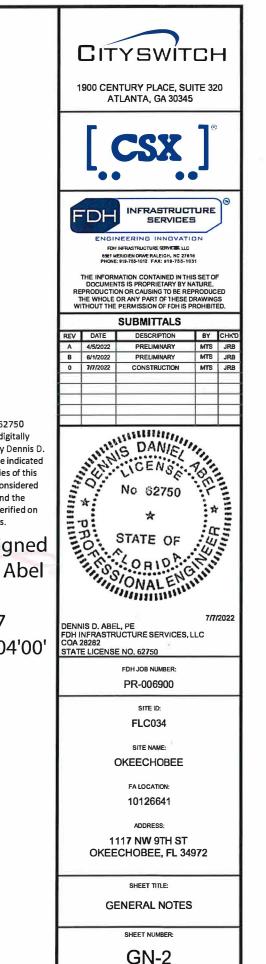
WIDE FLANGE SHAPES	A
SHAPES, PLATES, ANGLES, & RODS	A
SPECIAL SHAPES AND PLATES	A
PIPE COLUMNS	A
STRUCTURAL TUBING	A
ANCHOR BOLTS	A
CONNECTION BOLTS	A

ASTM A992, GRADE 50 ASTM A36, Fy 36 KSI ASTM A572, Fy 50 KSI ASTM A53, Fy 35 KSI ASTM A500, Fy 46KSI ASTM A307 ASTM A325 TWIST-OFF

- BASE STRUCTURAL STEEL DESIGN, FABRICATION AND ERECTION (INCLUDING FIELD WELDING, HIGH STRENGTH FIELD BOLTING, EXPANSION BOLTS, AND THREADED EXPANSION ANCHORS) ON THE AISC "SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS" LATEST EDITION.
- 3. HOT DIP GALVANIZE AFTER FABRICATION PER A123/A123M-00 ALL STEEL EXPOSED TO WEATHER AND WHERE NOTED.
- 4. CONFORM TO ALL AISC AND AWS STANDARDS FOR WELDING. PERFORM WELDING BY ANSI/AWS D1.1 CERTIFIED WELDERS USING E70 XX ELECTRODES. USE ONLY PRE-QUALIFIED WELDS AS DEFINED BY AWS.
- 5. PROVIDE COLD-FORMED STEEL FRAMING MEMBERS OF THE SHAPE, SIZE, AND GAGE SHOWN ON THE PLANS. PROVIDE MINIMUM SECTION PROPERTIES INDICATED. ALL COLD-FORMED STEEL FRAMING SHALL CONFORM TO THE AISI "SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS."
- FOR BOLTED CONNECTIONS, USE 3/4" DIA., BEARING-TYPE, A325 BOLTS WITH A MINIMUM OF TWO BOLTS, UNO.
- 7. FOR NON-STRUCTURAL CONNECTIONS FOR STEEL GRATING, USE 5/8" DIA. A307 BOLTS, UNO.
- 8. PREPARE AND PAINT IN ACCORDANCE WITH THE PAINT MANUFACTURERS WRITTEN INSTRUCTIONS, UNO.
- TOUCH UP ALL FIELD DRILLING, WELDING AND CUT SURFACES WITH 2 COATS OF GALVACON (ZINC RICH PAINT) OR APPROVED EQUAL.

SITE SPECIFIC SOIL MANAGEMENT PLAN:

1. SOIL MATERIALS EXCAVATED BY THE CONTRACTOR FROM WITHIN RAIL RIGHT-OF-WAY (ROW) SHALL BE RE-USED AS BACKFILL AT THE POINT OF ORIGIN OR SHALL BE RE-DISTRIBUTED ON THE ROW IN THE NEAR VICINITY OF THE POINT OF ORIGIN.



Dennis D. Abel, PE Florida License No. 62750 This item has been digitally signed and sealed by Dennis D. Abel, PE, on the date indicated herein. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

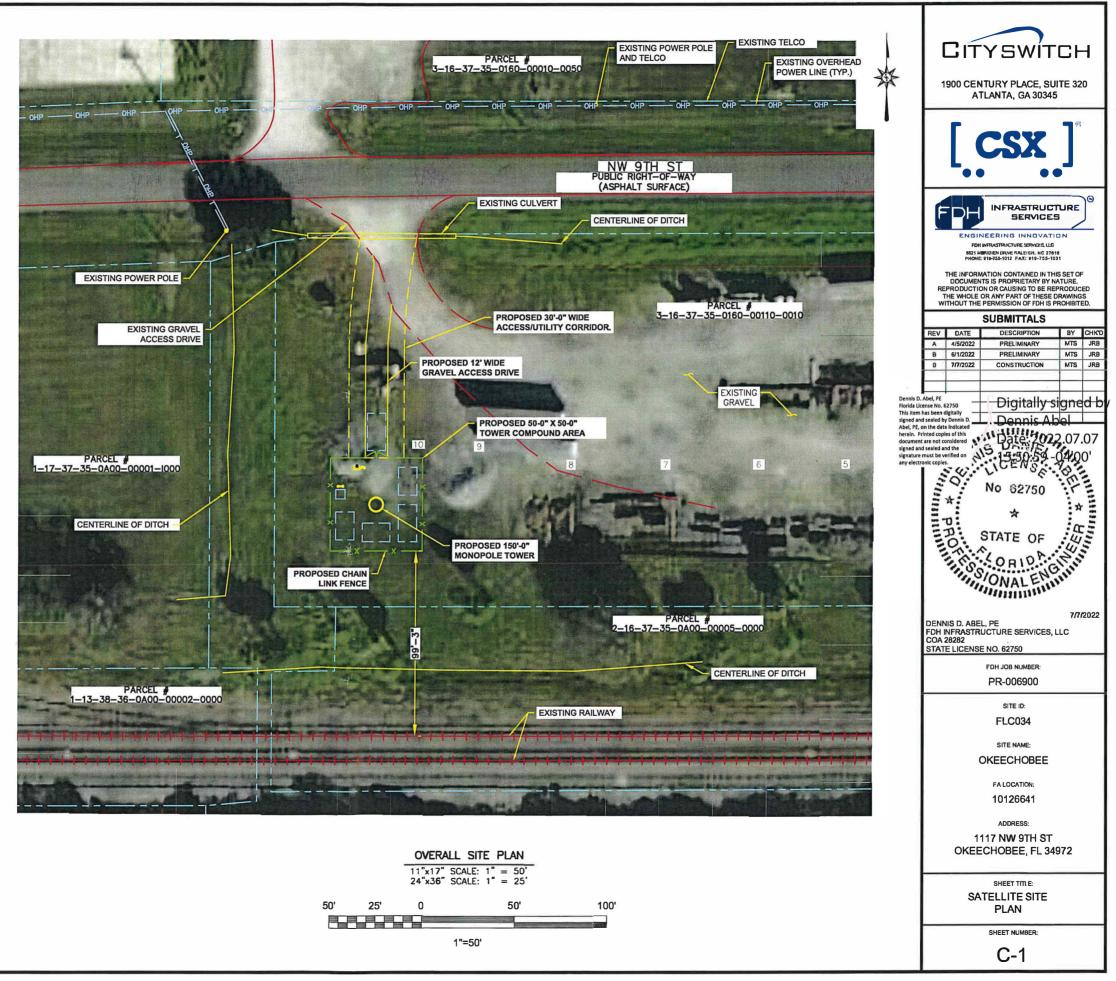
Digitally signed by Dennis Abel Date: 2022.07.07 15:50:31 -04'00'

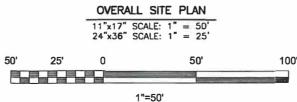
NOTES:

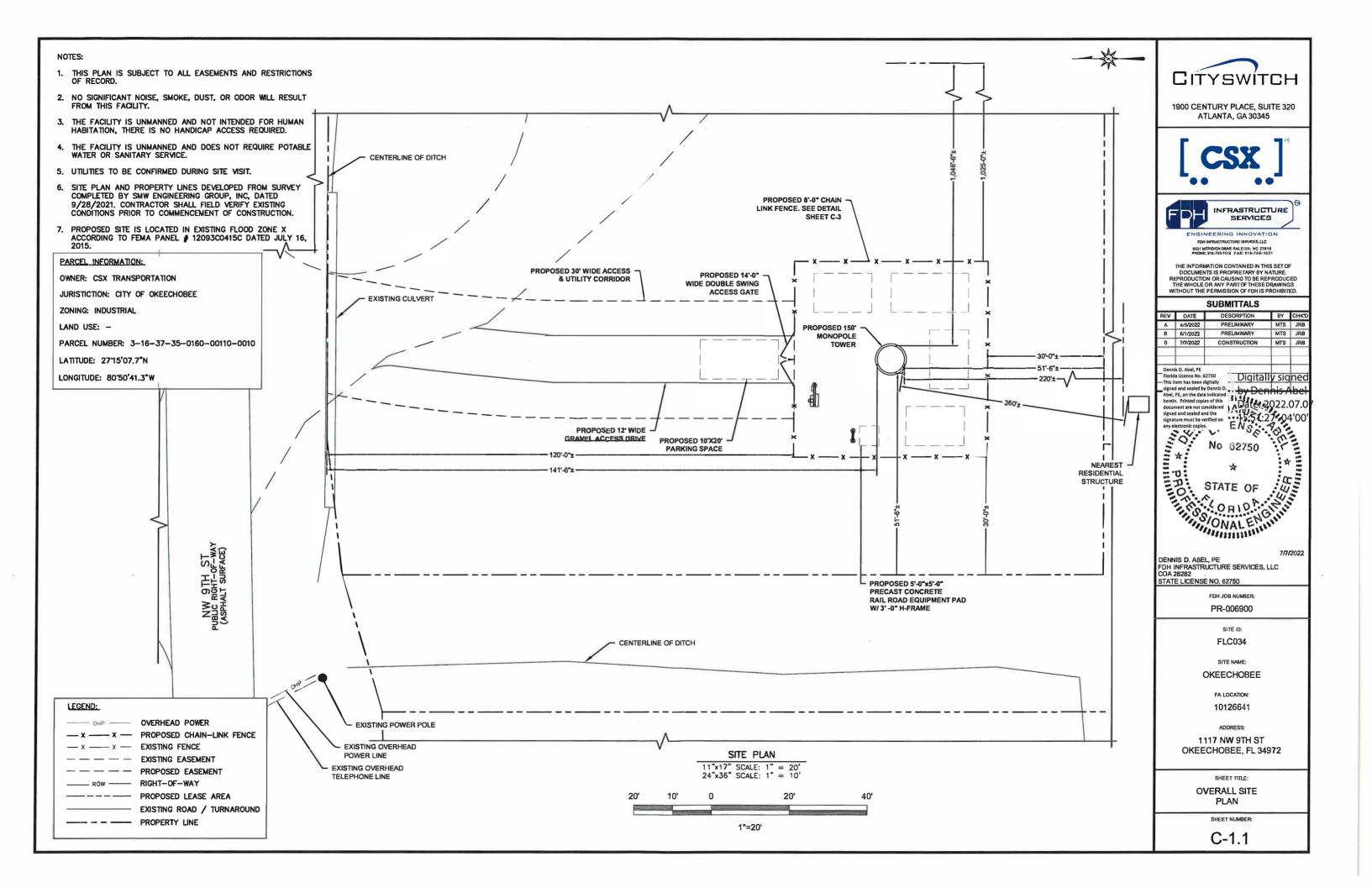
- 1. THIS PLAN IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD
- 2. NO SIGNIFICANT NOISE, SMOKE, DUST, OR ODOR WILL RESULT FROM THIS FACILITY.
- 3. THE FACILITY IS UNMANNED AND NOT INTENDED FOR HUMAN HABITATION, THERE IS NO HANDICAP ACCESS REQUIRED.
- 4. THE FACILITY IS UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SANITARY SERVICE.
- 5. UTILITIES TO BE CONFIRMED DURING SITE VISIT.
- 6. SITE PLAN AND PROPERTY LINES DEVELOPED FROM SURVEY COMPLETED BY SMW ENGINEERING GROUP, INC, DATED 9/28/2021. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 7. PROPOSED SITE IS LOCATED IN EXISTING FLOOD ZONE X ACCORDING TO FEMA PANEL # 12093C0415C DATED JULY 16, 2015.
- 8. CONTRACTOR WILL NOT START CONSTRUCTION UNTIL AFTER THEY HAVE RECEIVED THE PRE-CON PACKAGE AND HAVE A PRE-CON WALK WITH THE PROJECT MANAGER.
- 9. CONTRACTOR TO HIRE PUBLIC (811) AND PRIVATE LOCATING SERVICE IN ORDER TO LOCATE AND PROTECT ALL SUB-SURFACE UTILITES. DO NOT SCAL OFF THESE PLANS FOR ANY BELOW GRADE UTILITIES.
- 10. CONTRACTOR SHALL VERIFY ALL EXISTING BURIED AND OVERHEAD UTILITES PIOR TO EXCAVATION. CONTRACTOR SHALL REPAIR ALL DAMAGED UTILITES AT HIS OWN COST AND COORDINATE ANY REPAIRS WITH RESPECTIVE UTILITY COMPANY.
- 11. CONTRACTOR TO VERIFY ALL HEIGHTS AND AZIMUTHS IN FIELD PRIOR TO CONSTRUCTION, CONTRACTOR SHALL NOTIFY CARRIER AND ENGINEERING FIRM OF ANY DISCREPANCIES BEFORE PROCEEDING.
- 12. CONTRACTOR SHALL RESTORE AND REPAIR ANY DAMAGED AREAS CAUSED BY CONSTRUCTION.

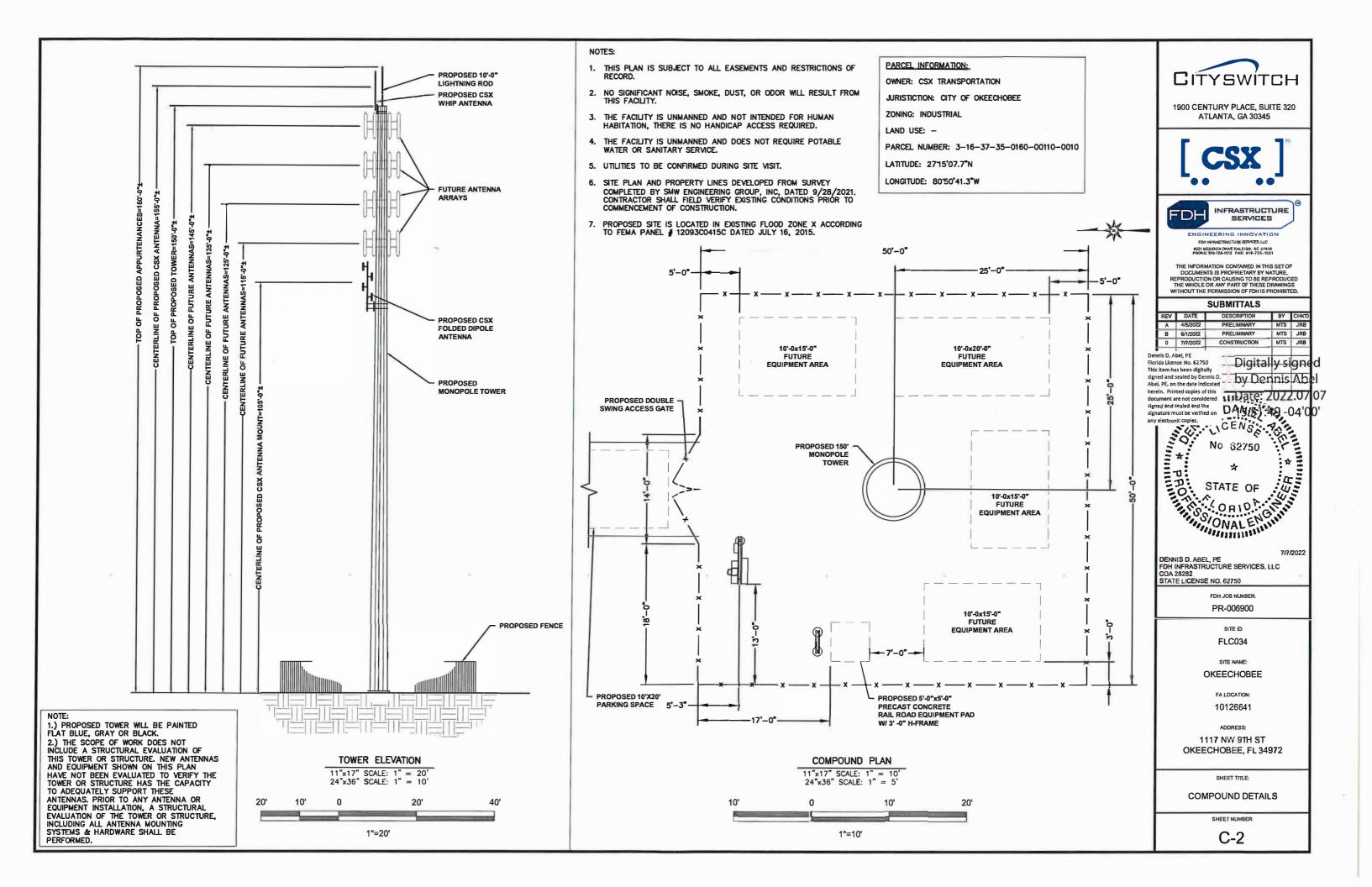
PARCEL INFORMATION: OWNER: CSX TRANSPORTATION JURISTICTION: CITY OF OKEECHOBEE ZONING: INDUSTRIAL LAND USE: -PARCEL NUMBER: 3-16-37-35-0160-00110-0010 LATITUDE: 27'15'07.7"N LONGITUDE: 80'50'41.3"W

LEGEND:	
OHP	OVERHEAD POWER
<u> </u>	PROPOSED CHAIN-LINK FENCE
— x — - x —	EXISTING FENCE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	RIGHT-OF-WAY
	PROPOSED LEASE AREA
	EXISTING ROAD / TURNAROUND
	PROPERTY LINE



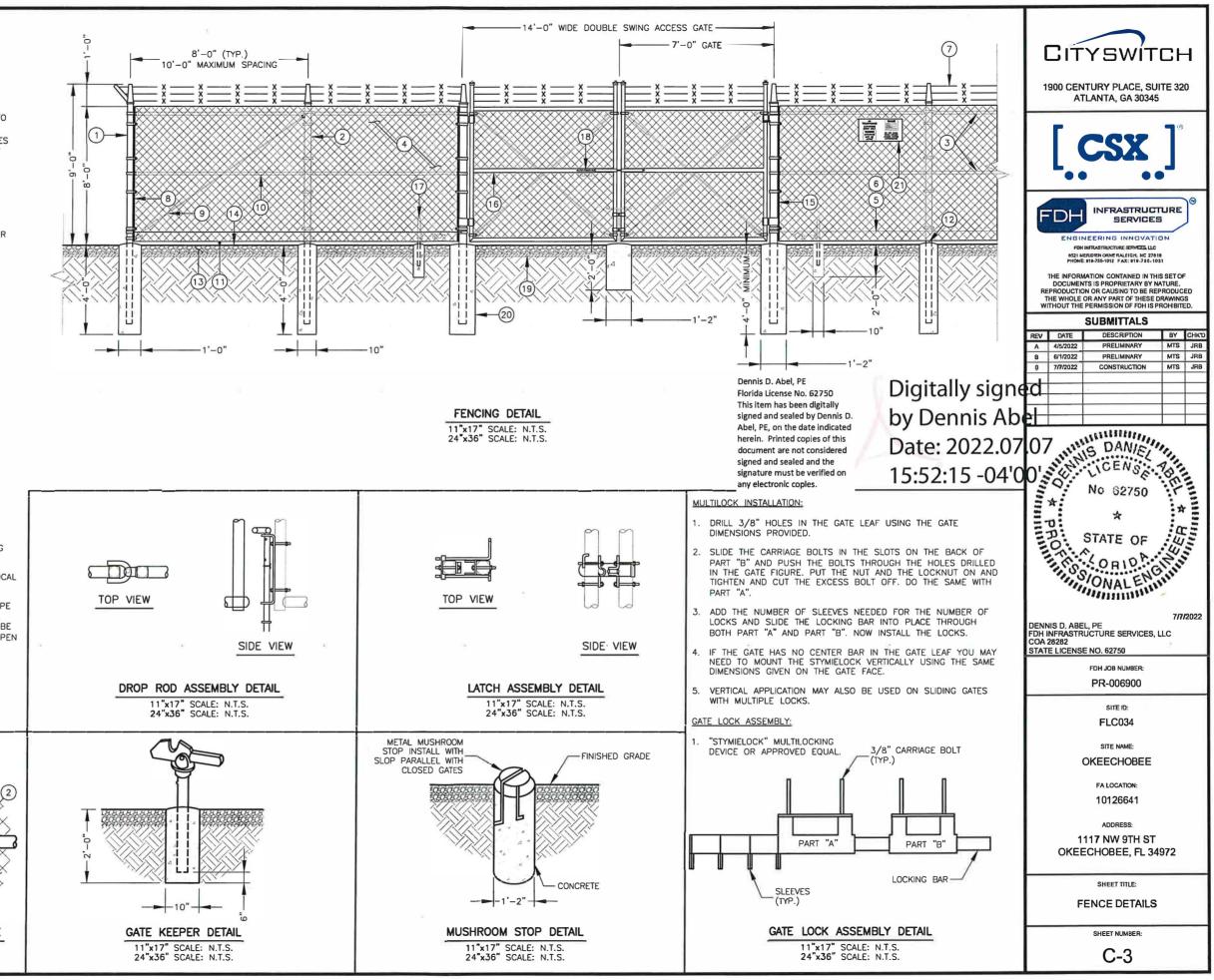






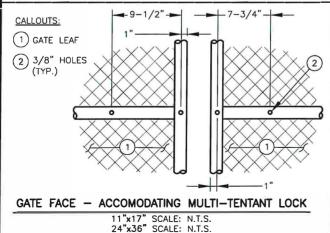
CALLOUTS:

- 3" O.D. GALVANIZED STEEL SCHEDULE 40 CORNER POSTS (PER ASTM-F1083).
- (2) 2-1/2" NOMINAL GALVANIZED STEEL, SCHEDULE 40 INTERMEDIARY LINE POSTS (PER ASTM-F1083). LINE POSTS SHALL BE EQUALLY SPACED AT MAXIMUM 10' O.C.
- 3 1–5/8" O.D. ROUND TOP RAIL & BRACE PIPE RAIL (PER ASTM-F1083).
- (4) 9 GAUGE FABRIC CORE WIRE WITH 2" MESH (TO CONFORM TO ASTM-A392).
- (5) 9 GAUGE ALUMINUM TIE WIRE. PROVIDE HOG RING FABRIC TIES SPACED 12" O.C. FOR POSTS AND GATES AND 24" O.C. FOR RAILS AND WIRE.
- 6 9 GAUGE ALUMINUM TENSION WIRE.
- $\overbrace{\bigcirc}$ 3 strands 14 gauge barbed wire with 4 point barbs. $\overbrace{\bigcirc}$ space barbs approximately 5" 0.C.
- 8 3/16"x3/4" STRETCHER BAR; TO EXTEND FULL HEIGHT OF FENCE.
- 3/8" DIAGONAL ROD WITH GALVANIZED STEEL TURNBUCKLE OR DIAGONAL THREADED ROD.
- 10 1-5/8" DIAMETER CORNER POST BRACE.
- (1) MAINTAIN A 1" MAXIMUM CLEARANCE FROM FINISHED GRADE.
- PROVIDE CROWNED/PITCHED FINISH FOR FENCE POST PIER POUNDATIONS; TO EXTEND 1" ABOVE GRADE.
- (13) 6" CRUSHED STONE (TYP.).
- (14) FINISHED GRADE SHALL BE UNIFORM AND LEVEL.
- (15) 4" O.D. GALVANIZED STEEL SCHEDULE 40 GATE POSTS (PER ASTM-F1083).
- $\widehat{\mbox{16}}$ 1–1/2" Nominal PIPE FOR GATE FRAME BRACE RAIL (PER ASTM F-1083).
- DUCK BILL OPEN GATE HOLDER. CONTRACTOR TO VERIFY EXACT LOCATION PRIOR TO INSTALLATION.
- (18) MULTI-TENTANT LOCKING DEVICE.
- (19) PROPOSED GEOTEXTILE FABRIC.
- CONCRETE PIER FOUNDATION; TO ACHIEVE A MINIMUM STRENGTH OF 3000 PSI AT 28 DAYS. CONCRETE DEPTH TO BE A MINIMUM OF 6" BELOW FROST LINE (48" MINIMUM, TYP.).
- (2) 12"x24" NO TRESPASSING SIGN.



NOTES:

- 1. ALL FENCING TO BE INSTALLED PER ASTM F-567. ALL SWING GATES TO BE INSTALLED PER ASTM F-900.
- 2. BARBED WIRE PERMIT REQUIRED SHALL BE COMPLETED IF LOCAL ORDINANCE REQUIRES.
- 3. POST & GATE PIPE SIZES ARE INDUSTRY STANDARDS. ALL PIPE TO BE GALVANIZED (HOT DIP, ASTM A120 GRADE "A" STEEL). ALL GATE FRAMES SHALL BE WELDED. ALL WELDINGS SHALL BE COATED WITH (3) COATS OF GOLD GALV. (OR EQUAL). ALL OPEN POSTS SHALL HAVE END-CAPS.
- 4. ALL SIGNS MUST BE MOUNTED ON INSIDE OF FENCE FABRIC USING GALVANIZED HOG-RING WIRE.
- 5. MUSHROOM ANCHOR AND PLUNGER REQUIRED FOR GATE. GENERAL CONTRACTOR RESPONSIBLE FOR GATE LOCK.





June 24, 2022

Department of Planning & Zoning 55 SE 3rd Avenue, Room 101 Okeechobee, FL 34974

RE: Okeechobee/FLC034 -- STATEMENT OF COMPLIANCE WITH THE CITY OF OKEECHOBEE ZONING ORDINANCE

To whom it may concern:

In accordance with the requirements described in Chapter 90 of the Okeechobee Code of Ordinances, CitySwitch is required to obtain a waiver through a Special Exception Permit from the Okeechobee Board of Zoning Appeals and a Site Plan Development Review approval for a new one thirty (130') foot monopole wireless telecommunication facility and associated equipment. The proposed tower will be located within the industrial zoning district on parcel 3-16-37-35-0160-00110-0010 owned by CSX Transportation, Inc., which is located on NW 9th St. CitySwitch respectfully requests that the proposed wireless telecommunications tower be approved for both the special exception permit and site plan development review.

I. <u>Division 6. – Communication Towers and Communication Antennas</u> CitySwitch complies with the standards set forth in Chapter 90 of the Ordinance as follows:

Sec. 90-601. – Applicability of division provisions

- (a) All new communication towers and communication antennas, excluding replacement antennas to preexisting towers or to other preexisting nontower antenna placements in the city shall be subject to the regulations of this division and all other applicable regulations. For purposes of measurement, communication tower setbacks and separation distances as listed in section 90-603 shall be calculated and applied irrespective of municipal and county jurisdiction boundaries.
- (b) All communication towers legally existing or which have received land use or building permit approval by the city on the effective date of the ordinance from which this division is derived shall be considered permitted uses, and shall be allowed to continue their usage as they presently exist, including routine maintenance, such as the replacement of antennas which do not involve an increase in the number of providers or a substantial increase in tower load due to construction on an existing communication tower. However, any other construction including, but not limited to, structural modifications, shall comply with the requirements of this division, with the exception of separation distances.
- (c) All government towers with public safety systems or other communications equipment shall be exempt from the requirements of this section.
- (d) All new communication antennas which are not attached to communication towers shall comply with section 90-604.



• Acknowledged and agreed.

Sec. 90-602. - Permitted Uses

- (a) Any communication antenna which is not attached to a freestanding communication tower shall be a permitted ancillary use to any commercial, industrial, office, institution, or public utility structure.
- (b) Communication antennas located on existing buildings or other nontower type structures shall not be subject to the performance and construction standards for freestanding towers contained in section 90-603 pertaining to separation distances, fencing, landscaping, collocation, or any other standard only applicable to a freestanding tower.
- (c) New freestanding communication towers shall not be allowed unless the applicant:
 - 1) Proposes the communication facility within the permitted city zoning designations listed as follows:
 - a. Industrial;
 - b. Public; and
 - c. Heavy commercial (by special exception only).
- The proposed tower will be located within the industrial zoning district on parcel 3-16-37-35-0160-00110-0010 owned by CSX Transportation, Inc.
 - 2) Secures approval from the city council, through the normal development review and public hearing process upon showing:
 - a. Completion of application requirements:
 - 1. City application including legal description of site;
 - 2. Letter of intent of facility;
 - 3. Description of the tower, including technical reasons for its design;
 - 4. Site plan, including any accessory/shelter buildings, drawn to scale;
 - 5. Landscape buffering and fencing around proposed communication facility;
 - 6. General capacity of the tower;
 - 7. Proof of ownership of proposed site;
 - 8. Copies of any easements necessary; and
 - 9. Visual study of the area showing where within a one mile radius any portion of the proposed tower may be seen.
- Acknowledged and agreed. Please find enclosed in the application packet a completed Special Exception Application, a network objective statement from AT&T's Radio Frequency (RF) engineer, site drawings with fencing details and elevation drawing of the proposed facility, a copy of the redacted lease agreement, a copy of the Deed, and a photo simulation of the proposed tower from the surrounding area.

b. Demonstrated need or demand for the communication facility.

- Please find enclosed a copy of the network objective statement from AT&T's RF engineer showing the need for the tower to relocate equipment off an existing tower where rent has become exorbitantly high.
 - c. Compliance with FCC technical emission standards.
- Please find enclosed RF certification verifying the proposed tower's compliance with the FCC technical emission standards.



- d. Compliance with the performance and construction standards listed in section 90-603.
- Please find enclosed copy of engineering certification by Sabre Industries and signed by Robert E. Beacom, P.E., S.E.
 - e. Compliance with any additional requirements as set forth by the city council.
- Acknowledged and agreed.

Sec. 90-603. - Performance and construction standards.

- (a) Structural design. New communication towers and modifications to existing structures including, without limitation, the addition of height, antennas or providers, shall be constructed in accordance with all city building codes.
- Acknowledged and agreed. The tower will be designed and built in accordance with all building codes and Telecommunications Industry Association Standard ANSI/TIA 222-H-2017 as certified in that enclosed engineering certification by Sabre Industries dated May 3, 2022.
- (b) Setbacks. Communication tower setbacks shall be measured from the base of the tower, protruding building structure at the base of the tower, or the tower guy wires, whichever is closest to the property line of the parcel on which it is located. Communication towers and their accessory structures shall comply with the minimal setback requirements of the district in which they are located and the applicable street setbacks. In cases where there is a conflict between the minimal setback requirements and the street setbacks, the more restrictive shall apply. In addition, where there is a principal building housing a principal use located on the site, the communication tower and accessory structures to the tower shall be located behind the main building line. All communication tower supports and peripheral anchors shall be located entirely within the boundaries of the development site and shall be set back from the development site perimeter a minimum distance of five feet, or the minimum setback of the zoning district in which the communication tower is located, whichever is greater.
- The required district setbacks are 25' to the front, 15' to the sides, and 40' to the rear. The tower is currently setback greater than 50' from all property boundaries, exceeding the district boundaries as shown on sheet C-1.1 of the site drawings.
- (c) Separation from off-site uses.
 - Communication tower separation shall be measured from the base of the tower to the closest point of off-site uses and/or designated areas as specified in subsection (c)(2) of this section. For purposes of this requirement, global positioning system (GPS) coordinates for the center of the towers may be used.
 - 2) Separation requirements for communication towers from residentially zoned lands or residential uses shall comply with the following minimum standards:

Tower Type	Separation Distance
Monopole or camouflaged	300 percent height of tower, up to a
	maximum of 200 feet
Lattice	300 percent height of tower or 200 feet,
	whichever is greater

• The proposed tower is a 150' monopole tower which must be setback from a residentially zoned property 300% of tower height, up to a maximum of 200'. The tower is currently



proposed to be setback approximately 220' from the nearest residentially zoned property to the south of the proposed tower site and approximately 360' to the nearest residential structure as shown on sheet C-1.1 of the enclosed site drawings.

- (d) Separation distances between communication towers.
 - Separation distances between communication towers shall be applicable for and measured between the proposed tower and those towers that are existing and/or have received land use or building permit approval from the city or adjoining jurisdictions.
 - 2) The separation distances shall be measured by drawing or following a straight line between the base of the existing tower and the proposed base, pursuant to a site plan, of the proposed tower. For purposes of this requirement, GPS coordinates for the towers may be used.

Separation Distances Between Tower Types (including extrajurisdiction								
Proposed Tower Types	Lattice Self-	Monopole 75	Monopole Less					
	Supporting or	Feet in Height or	Than 75 Feet in					
	Guyed	Greater	Height					
Camouflaged or monopole 75 feet	500	500	250					
in height or greater								
Camouflaged or monopole less	250	250	250					
than 75 feet in height								
Lattice	1,500	500	250					
	And a second sec	A CONTRACT OF A DESCRIPTION OF A CONTRACT OF A DESCRIPTION OF A DESCRIPTIO	AND ADDRESS TO PERSON AND ADDRESS ADDRE					

3) The separation distances (listed in linear feet) shall be as follows:

- The proposed 150' monopole tower will not be within 500' of any existing towers in the surrounding area.
- (e) Waivers. A waiver from the minimum separation distances set forth in subsections (c) and (d) of this section may be approved through the special exception process in accordance with the procedures set forth in section 70-372 when the proposed communication tower conforms to two or more of the following criteria:
 - 1) Camouflaging techniques approved by the city are incorporated into the design of the communication tower.
 - 2) The tower is designed for the collocation of communication antennas for at least two communication service providers.
 - 3) The towers within the required separation distance are all located in an industrial zoning district as a supplemental use.
 - 4) The proposed location will minimize the visual impact of the proposed communication tower due to the bulk height, use, or appearance of the adjacent structures and surrounding area.
- The proposed tower is a 150' monopole tower which must be setback from a residentially zoned property 300% of tower height for a minimum of 450' setback. The tower is currently proposed to be setback approximately 220' from the nearest residentially zoned property to the south of the proposed tower site and approximately 360' to the nearest residential structure as shown on sheet C-1.1 of the enclosed site drawings. CitySwitch respectfully requests the separation requirement be reduced to 220' to residential districts as currently designed. The tower is designed for four full cell service provider arrays as well as two collocations for railroad equipment at the top of the tower and below the lowest antenna array as depicted on sheet C-2 of the site drawings. The tower will be of monopole design with flush mounted antennas and a galvanized steel gray finish to be as visually



unobtrusive as possible. In addition, the tower will be located in an industrial zone surrounded by properties that are industrial with current industrial uses in the immediately surrounding areas. The proposed tower design may be seen on sheet C-2 of the site drawings and further depicted in the enclosed Photo Simulations prepared by Ignite Wireless.

- (f) Fencing. A chainlink fence or wall not less than eight feet in height from finished grade shall be provided around each communication tower. Access to the tower shall be through a locked gate.
- The proposed tower will be enclosed by a chain link fence at a minimum height of 8' with 3 barbed wire strands to be utilized as anti-climbing devices for a total height of 9' with a gate secured by a multi-tenant lock as shown on sheet C-3 of the site drawings.
- (g) Landscaping. The visual impacts of a communication tower shall be mitigated for nearby viewers through landscaping or other screening materials at the base of the tower and ancillary structures. The following landscaping and buffering of communication towers shall be required around the perimeter of the tower and accessory structures. Landscaping shall be installed on the outside of fences. Further, the use of existing vegetation shall be preserved to the maximum extent practicable and may be used as a substitute of or in supplement towards meeting landscaping requirements:
 - 1) A row of trees a minimum of three inches at dbh (diameter at breast height) and a minimum of eight feet tall and a maximum of 25 feet apart shall be planted around the perimeter of the fence; and
 - 2) A contiguous hedge at least 30 inches high at planting capable of growing to at least 36 inches in height within 18 months shall be planted in front of the tree line referenced in subsection (g)(1) of this section.
- Due to the nature of railroad property and safety concerns, CSX will not allow for the addition of landscaping surrounding tower sites on their property. The proposed tower will be located in a largely industrial area toward the rear of the property to minimize visual impact from the public right-of-way. In addition, there is an existing hedgeline along the railroad right-of-way to the south that will remain and create a buffer between the tower site and the existing residential property to the south of the proposed tower site. CitySwitch respectfully requests relief from strict adherence to landscaping standards due to the generally industrial nature of the area and the presence of existing vegetation as a buffer between the railroad right-of-way and surrounding residential properties.
- (h) Height
 - 1) The total combined freestanding height of any communication tower and antenna shall not exceed 200 feet from ground level.
 - 2) Where installed on top of a building, no communication tower and antenna shall extend greater than 40 percent over the building height.
 - 3) An existing communication tower may be modified to a taller height not to exceed 20 feet over the tower's existing height, but only to a maximum combined tower and antenna height of 200 feet, to accommodate the collocation of an additional communication antenna.
 - a. The height change referred to in this subsection may only occur one time per communication tower.
 - b. The additional height referred to in this subsection shall not require an additional distance separation. The communication tower's premodification height shall be used to calculate such distance separations.
- The proposed height of the tower will be 150' with a 10' lightning rod, for a height of 160'



to the tower's highest appurtenance. The tower will be below the maximum 200' height limitation as shown on sheet C-2 of the site drawings.

- (i) Type of construction. Communication towers shall be monopole or lattice construction; provided, however, that camouflaged construction may be approved by the planning commission at a supplemental use hearing, upon consideration of the following factors in addition to those set forth in division 10 of article III of this chapter:
 - 1) Compatibility with adjacent properties;
 - 2) Architectural consistency with adjacent properties;
 - 3) Visual impact on adjacent properties, including visual access of adjacent properties to sunlight; and
 - 4) Design of accessory structures in order to be architecturally consistent with the existing structures on the site. A variance from the fencing and landscaping requirements of this section may be requested for such accessory structures.
- The proposed tower will be of monopole design as shown on sheet C-2 of the site drawings and enclosed Photo Simulations by Ignite Wireless.
- (j) Development criteria. The parent tract, upon which the site for communication tower/antenna/equipment is located, shall comply with the minimum development criteria of the district in which it is located.
- Agreed and acknowledged. There is no minimum lot width for industrial district zoned property. The tower site and existing development on the parent parcel will not exceed the maximum building coverage of 50% and maximum impervious surface of 85%.
- (k) Illumination. Communication towers/antennas shall not be artificially lighted except to ensure human safety or as required by the Federal Aviation Administration. At the time of construction in cases where there are residential uses within a distance 300 percent of the height of the tower, dual lighting shall be requested from the FAA.
- The proposed tower will not be lit and is not required to be lit by the FAA.
- (l) Collocation
 - 1) Monopole communication towers shall be engineered and constructed to accommodate at least two communication service providers.
- The monopole tower is designed for four full cell service provider arrays as well as two collocations for railroad equipment at the top of the tower and below the lowest antenna array as depicted on sheet C-2 of the site drawings.
 - 2) Lattice communication towers shall be engineered and constructed to accommodate at least two communication service providers.
- Not applicable.
 - 3) Camouflaged communication towers may be engineered and constructed without accommodating additional communication service providers.
- Not applicable.
 - 4) Communication towers located within electrical substations may be engineered and constructed without accommodating additional communication service providers. Such towers shall be monopole construction and shall be subject to all of the requirements of this section. The substation shall be located within the zoning category specified in section 90-602(c). All such supports and anchors shall also observe a minimum horizontal setback from any overhead utility lines of not less than ten feet.
- Not applicable.
 - 5) Proposed communication antennas may, and are encouraged to, collocate onto existing communication towers, provided that such collocation is accomplished in a manner consistent with this section.



- Not applicable.
 - 6) If determined by the city prior to construction that the proposed tower is situated in a location on public property which will benefit the city's communication systems, then the tower shall be engineered and constructed to accommodate the additional communication equipment beneficial to the public system at a cost to the city no greater than the actual expense of the provider in engineering and construction of the tower to meet the city's needs.
- Acknowledged and agreed.
 - 7) The city shall be considered a communication service provider for purposes of the collocation requirements of this division.
- Acknowledged and agreed.
 - 8) On-site location. A communication tower which is being rebuilt to accommodate the collocation of an additional communication antenna may be moved on-site within 50 feet of its existing location; however, the tower shall meet the setback requirements above in subsection (b) of this section. After the communication tower is rebuilt to accommodate collocation, only one tower may remain on the site.
- Not applicable.
 - 9) A relocated on-site communication tower shall continue to be measured from the original tower location for purposes of calculating separation distances between towers pursuant to subsection (d) of this section. The relocation of a tower in accordance with this subsection shall in no way be deemed to cause a violation of this section. The on-site relocation of a communication tower which comes within the separation distances to residentially zoned lands or residential uses shall require special exception approval.
- Not applicable.
 - 10) The modification or reconstruction of an existing communication tower to accommodate the collocation of two or more communication antennas shall be permitted without new or additional supplemental use permit approvals, provided that the communication antennas are owned or operated by more than one communication service provider, and the collocation is accomplished in a manner consistent with the following requirements:
 - a. Type of construction. The modification or reconstruction shall not change the communication tower from one type of tower to another except that any type of communication tower may be reconstructed as a monopole tower.
 - b. On-site location. The on-site relocation of a communication tower to a location within the minimum separation distance from residentially zoned property as set forth above in subsection (c) of this section shall only be permitted when notarized written consent is obtained from the owners of all residentially zoned property located within the minimum separation distance.
- Not applicable.
- (m)Noninterference. No communication tower or antenna shall interfere with public safety communication. Frequency coordination with the public safety system and/or public safety entities is required to ensure noninterference.
- Acknowledged and agreed.
- (n) Documentation. Documentation to demonstrate conformance with the requirement of this section shall be submitted by the applicant with all requests to construct, locate or modify a communication tower/antenna. A statement by the applicant as to how construction of



the communication tower will accommodate collocation of additional antennas for future users shall be included within the documentation.

- Acknowledged and agreed. Please see prior responses regarding additional collocations that will be provided for future users.
- (0) Signs and advertising. The use of any portion of a tower for sign or advertising purposes including, without limitation, company name, banner, or streamer is prohibited.
- Acknowledged and agreed.
- (p) Abandonment. If the use of any communication tower has been discontinued for a period of 180 consecutive days, the tower shall be deemed to have been abandoned. Determination of the date of abandonment shall be made by the zoning official who shall have the right to request documentation and/or affidavits from the communication tower owner/operator regarding the active use of the tower. Upon such abandonment, the owner/operator of the tower shall have an additional 180 days within which to:
 - 1) Reactivate the use of the tower or transfer the tower to another owner/operator who makes actual use of the tower; or
 - 2) Dismantle and remove the tower. The owner of the real property shall be ultimately responsible for all costs of dismantling and removal, and if the tower is not removed within 180 days of abandonment, the city may proceed to do so and assess the costs against the real property. The lien of such assessment shall bear interest, have priority and be collectable at the same rate and in like manner as provided for special assessments by state law. At the earlier of 181 days from the date of abandonment without reactivation or upon completion of dismantling and removal, any special exception, waiver and/or variance approval for the tower shall automatically expire.
- Acknowledged and agreed.
- (q) Finished color. Communication towers not requiring FAA painting/marking shall be painted a noncontrasting flat blue, gray, or black finish. The color should be selected so as to minimize the equipment's visibility.
- The finished color of the proposed tower will be a galvanized gray that will minimize the tower's visibility to surrounding properties as shown in the enclosed site drawings and Photo Simulations by Ignite Wireless.
- (r) Certification of compliance with FCC. Certification of compliance with current Federal Communication Commission (FCC) nonionizing electromagnetic radiation (NIER) shall be submitted prior to receiving final inspection by the building department.
- Agreed and acknowledged. Prior to the application of a building permit, CitySwitch will supply a NIER certification or report certifying compliance with current FCC standards.

Sincerely,

abby maggetti

Abby Mazzetti SVP & Chief Operating Officer CitySwitch II-A, LLC 1900 Century Pl NE, Suite 320 Atlanta, GA 30345 Phone: (404) 857-0858



July 27, 2022

Re: RF Justification for HRR Site FA 15611191, West Okee Relo

AT&T's RF department has been asked to provide RF coverage maps for proposed site West Okee Relo, the subject of this application. AT&T intends to remove its equipment from the SBA tower (West Okee) located at 2773 NW 8th Street in Okeechobee and install it on the proposed tower to be located at 1117 NW 9th St in Okeechobee.

Figure 1 below shows a predicted cellular coverage map for the AT&T network with the SBA site as the network exists today and Figure 2 shows the same predicted cellular coverage map view with the SBA site replaced by the proposed West Okee Relo site.

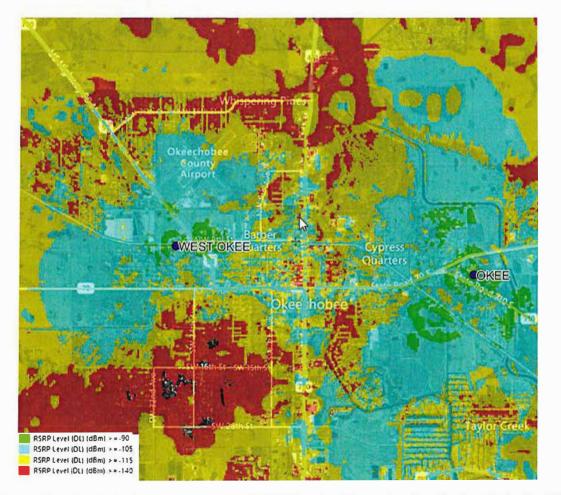


Figure 1 – Predicted coverage map of AT&T's Mobility network with the SBA site (West Okee) and its antennas at 120'

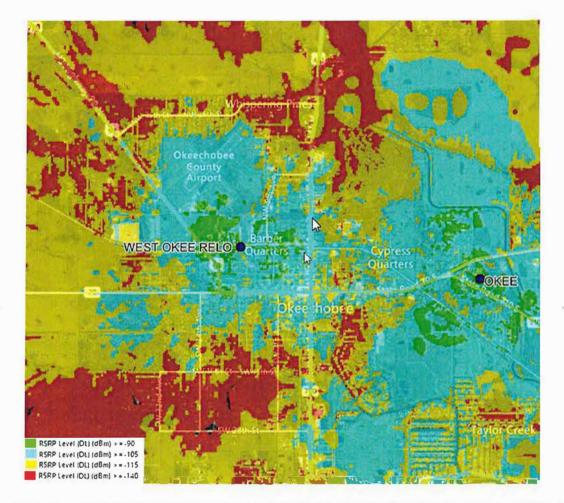


Figure 2 – Predicted coverage map of AT&T's Mobility network with proposed West Okee Relo site and its antennas at 145'

AT&T moving their cellular equipment from the SBA tower West Okee to the proposed West Okee Relo tower will enable AT&T to maintain existing service toward the west and improve indoor service levels in downtown Okeechobee where the area's structure density exists the most

Sincerely,

George Brosseau

George Brosseau Principal RF Design Engineer AT&T Mobility (561) 312-3000



May 3, 2022

Tim Cook CitySwitch, LLC 1900 Century Place NE, Suite 320 Atlanta, GA 30345

RE: Proposed 150' Sabre Monopole for Okeechobee, FL

Dear Mr. Cook,

Upon receipt of order, we propose to design and supply the above referenced Sabre monopole for an Ultimate Wind Speed of 145 mph without ice, Risk Category II, Exposure Category C, and Topographic Category 1, in accordance with the Telecommunications Industry Association Standard ANSI/TIA 222-H-2017 "Structural Standard for Antenna Supporting Structures and Antennas".

When designed according to this standard, the wind pressures and steel strength capacities include several safety factors. Therefore, it is highly unlikely that the monopole will fail structurally in a wind event where the design wind speed is exceeded within the range of the built-in safety factors. In addition, it is unlikely that loading effects due to extreme atmospheric icing would cause a structural failure, because monopoles are not ice-sensitive structures.

Should the wind speed increase beyond the capacity of the built-in safety factors, to the point of failure of one or more structural elements, the most likely location of the failure would be within the monopole shaft, above the base plate. Assuming that the wind pressure profile is similar to that used to design the monopole, the monopole will buckle at the location of the highest combined stress ratio within the monopole shaft. This is likely to result in the portion of the monopole above leaning over and remaining in a permanently deformed condition. This would effectively result in a fall radius within the 50' x 50' leased area at ground level. *Please note that this letter only applies to the above referenced monopole designed and manufactured by Sabre Industries.*

Sincerely,

Robert E. Beacom, P.E., S.I Engineering Manager





October 27, 2020

Edwin E. Walpole, III P.O. Box 1177 Okeechobee, FL 34973

Re: AT&T Cell Site Lease - 2773 NORTHWEST 8TH STREET, OKEECHOBEE, FL | FA: 10126641 | Site Name: WEST OKEE

Dear Landlord,

AT&T is in a very competitive space and we need to ensure that our lease terms and conditions are supportive of our current and future needs. AT&T has the option to either extend or terminate the above referenced lease ("Lease") in approximately three years. AT&T is instituting a new program to evaluate terms and conditions of all leases coming up for renewal, explore advance renegotiation options and consider possible alternative site locations. Our first choice is to create a new agreement that serves both parties well. Conditions we desire to implement in all new "go forward" leases include:

- "Real Estate Rights": In its simplest form, a lease right to utilize the entire RAD center without any "per touch" rent upcharges.
- Rents reduced to competitive rates.
- Reduced or no annual escalators (depending on other terms of the overall new deal).
- "Fair" early termination rights.

As you know, it takes time to negotiate, plan and execute a site relocation. That is why the AT&T's review process is starting now. Please review the specifics of our Lease agreement and advise if you are willing to enter into discussions regarding a new, modified contract. For new terms consistent with the above, AT&T will in turn consider additional term extensions.

AT&T will appreciate a reply within 60 days of receipt of this letter. A "no" or non-response will trigger AT&T's review of alternate locations. A positive response will be appreciated, but satisfactory terms and conditions negotiations must conclude within 90 days or AT&T will continue to evaluate alternative site locations. Responses may be emailed, standard mail, or a call as designated below. Please reference FA number 10126641 in your response so that AT&T may ensure your response is documented accordingly.

AT&T values its association with you and looks forward to continuing this relationship for the long term.

Sincerely,

Chegan D. Ohmer

Gregory D. Ohmer Director Network Planning

Email Responses to:

g04000@att.com with a Subject line of Partnership – FA 10126641

Mall Responses to:

AT&T Cell Site Partnership 2423 FA 10126641 Rm 3D22 1025 Lenox Park Blvd NE Atlanta, GA 30319 Attn: Kevin Diehl 866-354-5888

Telephone Number



Federal Aviation Administration

Notice of Proposed Construction or Alteration - Off Airport

Add a New Case (Olf Airport) - Dosk Roference Guide V_2018.2.1

Add a New Case (Olf Alrport) for Wind Turbines - Met Towors (with WT Farm) - WT-Barge Crane - Desk Reference Guide V_2018.2.1

Project Name: PALM--000723067-22

Sponsor: Paim-Tech Consulting, LLC

Details for Case : Okeechobee FLC034

Show Project Summary

Case Status								
ASNI	2022-ASO-20378-OE			Date Accepted:	05/24/2022			
Status: Add Letter				Date Determined:				
				Lotters:	05/25/2022	ADD ADD		
				Documents:	None			
Public Comments:	None							
					Project Docu None	Intents;		
Construction / Alter	ation Information			Structure Summ	агу			
Notice Of:	Construction	Structure Type:	Structure Type: TOWER Antenna Tower					
Duration:	Permanent			Structure Name:	Okeechobee	Fl.C034		
if Temporary :	Months: Days:			FDC NOTAM:				
Work Schedule - Start:				NOTAM Number:				
Work Schedule - End:				FCC Number:				
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State Filing:	Not filed with State							
Structure Details				Proposed Freque	ncy Bands			
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Previous Back to Next

.



City of Okeechobee Planning & Zoning Department 55 SE 3rd Avenue, Room 101 Okeechobee, Florida 34974

RE: AT&T RF Emission Statement for Proposed Site in Okeechobee, Florida

Dear Sir or Madam:

Section 90-602.(c).2.c of the City of Okeechobee's Zoning Ordinance requires:

Compliance with FCC technical emission standards с.

AT&T operates a wireless network authorized by the Federal Communications Commission (FCC) to provide tower collocation access for wireless carriers throughout the nation, including the City of Okeechobee, Florida. AT&T's operation and network are licensed and regulated by the FCC. The FCC rules governing the operation of wireless telecommunications facilities are designed to protect co-channel and adjacent licenses against harmful interference. The FCC has exclusive jurisdiction over these requirements. The proposed tower facility is in compliance with all applicable FCC requirements.

Sincerely, 7/27/22 George Brossen

Printed Name: RF Engineer for AT&T

<u>EXHIBIT A</u> CSX813551148 FLC034

OPTION AND SITE AGREEMENT

THIS OPTION AND SITE AGREEMENT made and entered into as of this 15 day of NO.14 MUC, 2021, by and between CSX TRANSPORTATION, INC., a Virginia corporation, ("Railroad"), whose mailing address is 500 Water Street (Attn: Real Property, Inc., J180), Jacksonville, Florida 32202, and, CITYSWITCH II-A, LLC, a Georgia limited liability company, ("CS"), whose mailing address is 3355 Lenox Rd. NE, Suite 975, Atlanta, GA 30326:

WHEREAS Railroad and CS entered into that MASTER TOWER SITE AGREEMENT (the "Master Agreement") dated March 18th, 2016, which terms and conditions are incorporated herein by reference, Railroad agreed, upon approval by Railroad, to permit to CS, the right to use and occupy certain real property under a Site Agreement, as defined in the Master Agreement.

WHEREAS, CS desires to incorporate an option period, which is the earlier of the receipt of all Governmental Approvals, as defined in the Master Agreement, needed to construct, install and/or use the WCS Facilities, as defined in the Master Agreement, or one (1) year from the date of this Option and Site Agreement (the "Option Period"), to allow CS time to secure all Governmental Approvals, as defined in the Master Agreement, needed to construct, install and/or use the WCS Facilities prior to exercising rights of the Site Agreement, as defined in the Master Agreement and this Option and Site Agreement.

NOWTHERFORE, the parties agree as follows:

1. OPTION.

(a) CS shall have the option ("Option") to exercise the right to use and occupy real property (the "Site"), located in the City of Okeechobee, County of Okeechobee, State of Florida having a Latitude of 27.252114 and Longitude of -80.844774 as further described or shown on Exhibit A-1 attached hereto and made a part hereof., under this Site Agreement as defined in the Master Agreement.

(b) During the Option Period, CS agrees to diligently pursue all Governmental Approvals for the Tower and shall have access to the Site, as provided under but not limited to Sections 2.1, 8.4, Section 9 and all subsections, Section 12 and all subsections, Section 13 and all subsections, Section 17 and all subsections, and Section 21 of the Master Agreement.

(c) Unless CS exercises the Option Period as indicated above, this Option and Site Agreement shall terminate upon the expiration of the Option Period.

2. SITE AGREEMENT.

(a) Upon CS exercising the Option, and subject to and upon the terms and conditions set forth in that MASTER TOWER SITE AGREEMENT (the "Master Agreement") dated March 18th, 2016, which terms and

conditions are incorporated herein by reference, Railroad does hereby agree to permit to CS, the right to use and occupy the Site, described above.

(b) CS agrees to pay to Railroad an annual Site Agreement Fee in accordance with Exhibit A of the Master Tower Site Agreement, as amended. Should the site be deemed an AP Site in accordance with the Second Amendment dated March 2, 2021, CS agrees to pay to Railroad an annual Site Agreement Fee of **Second** per annum, which includes up to 2 Permitted Sublicensees; upon installation of a 3rd Permitted Sublicensee the annual rent shall include of the gross rent due to CS for the 3rd Permitted Sublicensee and each additional Permitted Sublicensee thereafter. Should the site not be deemed an AP Site, CS agrees to pay to Railroad an annual Site Agreement Fee of the greater of of the gross rent due to CS from the anchor sublicensee and any future co-locates from Permitted Sublicensees or a base rental of **Second** per annum, in accordance with the Master Agreement.

(c) The Term of this Site Agreement shall commence on the date in which the anchor sublicensee receives the Notice to Proceed order (the "Rental Commencement Date") and each Site Agreement shall have an initial term of ten (10) years. CS will have an option to extend term of Site Agreement for three (3) additional five (5) year terms. Each Extended Term option shall be exercised automatically unless CS delivers notice to Railroad, giving no less than six (6) months prior to the expiration of the Initial Term or subsequent Extended Term, as applicable, of its intention not to extend the term of the Site Agreement, unless sooner terminated in accordance with the provisions of the Master Agreement.

(d) Prior to the Commencement Date (as defined in the corresponding Memorandum of Agreement), Railroad reserves the right to modify the Site or terminate this Option and Site Agreement, in its sole discretion, upon written notice to CS.

(e). Prior to Railroad's co-location pursuant to Section 2.4 of the Master Agreement, Railroad will be responsible for complying with then current requirements and processes necessary for such colocation.

IN WITNESS WHEREOF, Railroad and CS have duly executed this Option and Site Agreement as of the date first above written.

Witness(es):

CSX TRANSPORTATION, INC.

By: Print Name: Print Title:

CITYSWITCH IF-LLC By: Robert Print Name President & CEO Print Title:_

<u>EXHIBIT A</u> TO SITE AGREEMENT

DESCRIPTION OF SITE

[FOLLOWS ON NEXT PAGE]

CSx813551148

Exhibit A

CSX Transportation (CSX) General Notes - Towers:

- 1) Work schedule is subject to the approval of all required construction submittals by the CSXT Construction Representative, verification that proposed work will not conflict with any CSXT U.G. Facilities, and the availability of CSXT Flagging and Protection Services. Construction submittals will be based upon the proposed scope of work and may include, but are not limited to; proposed work plan, project schedule, means and methods, site access, dewatering, temporary excavation/shoring, soil disposition/management, track monitoring, concrete placement work, structural lifting/rigging plans for hoisting operations, substructure construction plans, steel erection plans, roadwork plans, etc. No work may begin on, over, or adjacent to CSXT property, or that could potentially impact CSXT property, operations or safety without the prior completion and approval of the required aforementioned information and approvals.
- 2) CSX owns its right-of-way for the primary purpose of operating a railroad, and shall maintain unrestricted use of its property for current and future operations. In the event that relocation of facilities becomes necessary to accommodate the movement of rail traffic, Licensee, at its sole risk and expense, shall be required to relocate and/or remove facilities from the rail corridor of Licensor within a time frame mutually agreed.
- 3) CSX's consent applies to the design and construction of the utility located solely in the right-of-way owned by CSX. It is the utility Owner's (Licensee.) responsibility to get permission from the property owner that is other than CSX to access and construct on their property.
- 4) For additional information and support for utility encroachment onto CSX's property, please refer to the CSX's <u>"Design & Construction Standard Specifications Wireline Occupancies</u>" revised December 16, 2016 and <u>"Design & Construction Standard Specifications Pipeline Occupancies</u>" revised June 5, 2018.
- 5) No entry or construction on CSX's railroad corridor is permitted until the utility encroachment review and approval process is completed, you are in receipt of a fully executed license agreement and you have obtained authority from the local Road Master.
- 6) CSX's signal facilities and/or warning devices at the proposed facility crossing, i.e. cantilevers, flashers, and gates are to be located prior to installation.
- 7) CSX does not grant or convey an easement for this installation.
- 8) Final construction drawings stamped by a licensed professional engineer are to be submitted to CSX's assigned representative prior to construction.
- 9) A safety action plan is to be submitted to CSX's assigned representative prior to construction.
- 10) A construction means and methods plan is to be submitted to CSX's assigned representative prior to construction.
- 11) Soil that cannot be used or disposed on CSX's right-of-way must be properly disposed at a CSX approved disposal facility. A spoils disposal plan is to be submitted to CSX's assigned representative prior to construction.
- 12) An erection plan (lift plan) is to be submitted to CSX's assigned representative prior to construction.
- 13) Service utility plans are to be submitted to CSX's assigned representative prior to construction.
- 14) Use of construction safety fencing is required when a CSX flagman is not present. Distance of safety fence from nearest rail to be determined by CSX Roadmaster and is to be removed upon completion of project.
- 15) Blasting is not permitted on CSX's property.

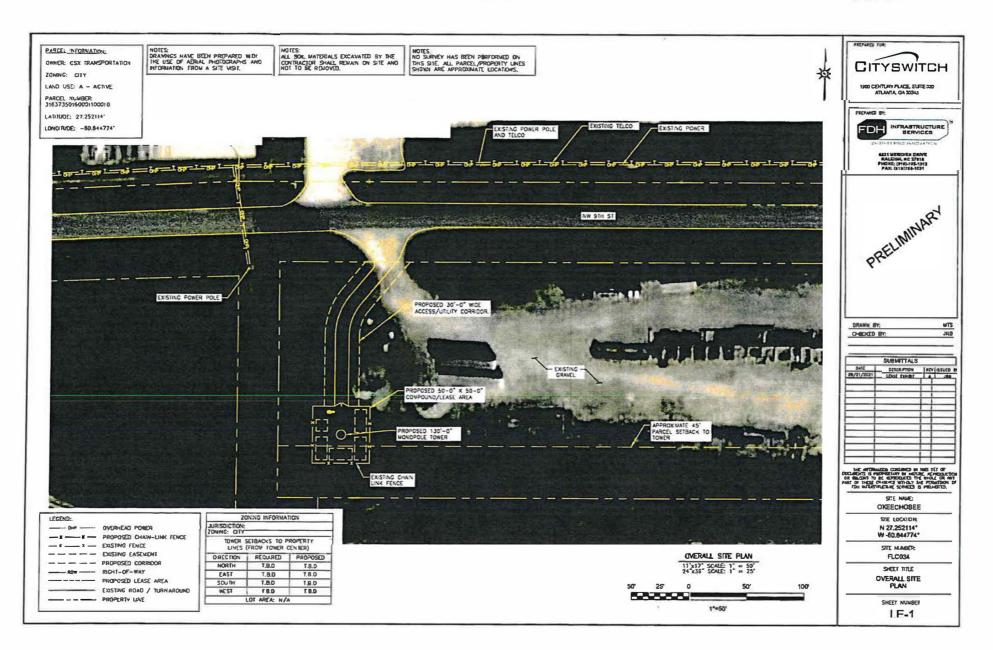
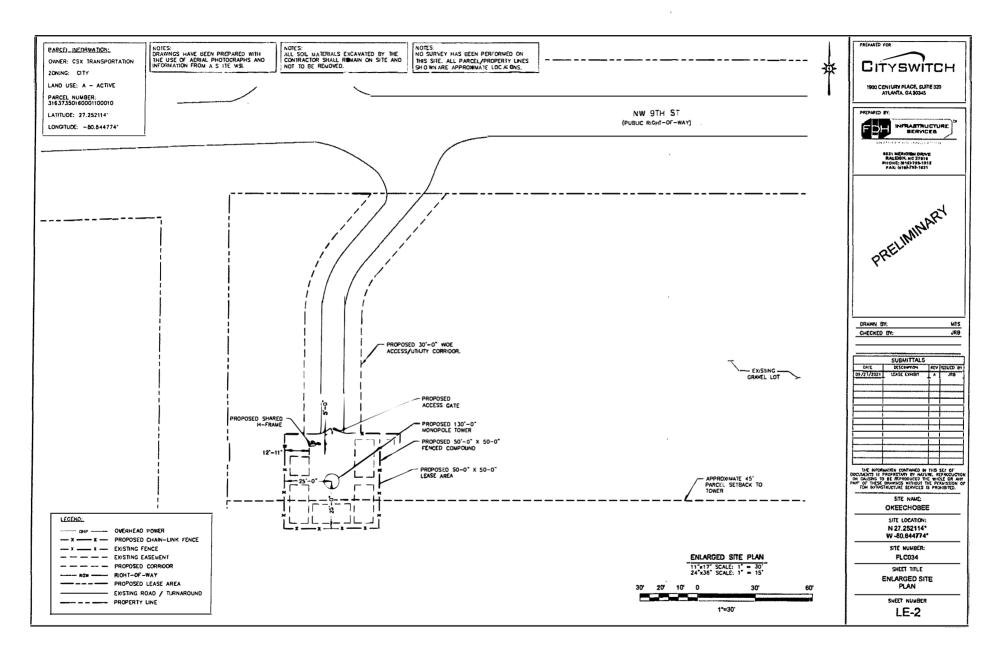
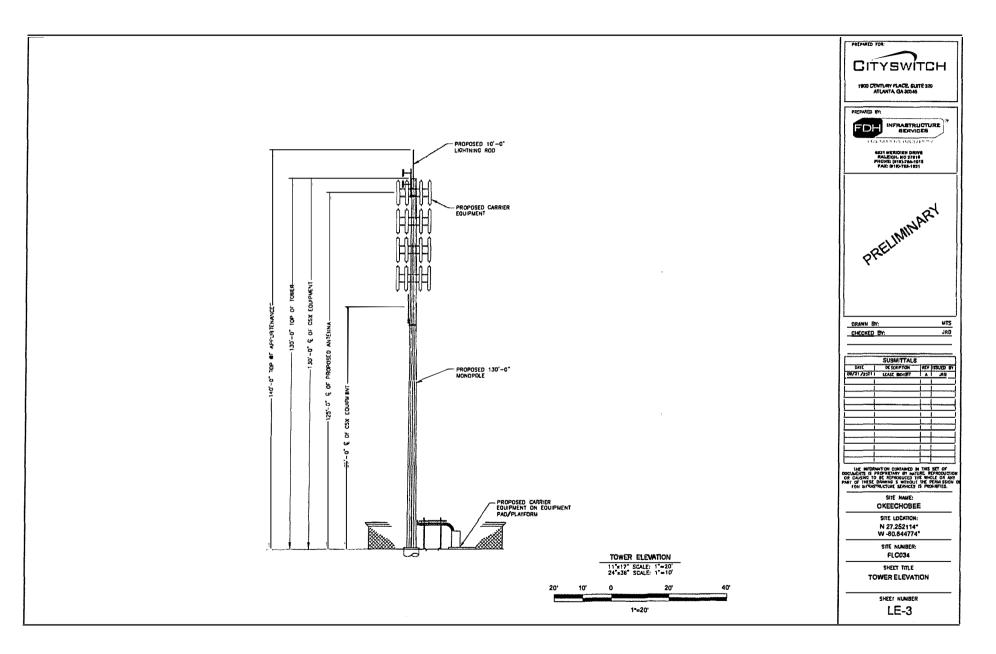


Exhibit A

9/28/2021



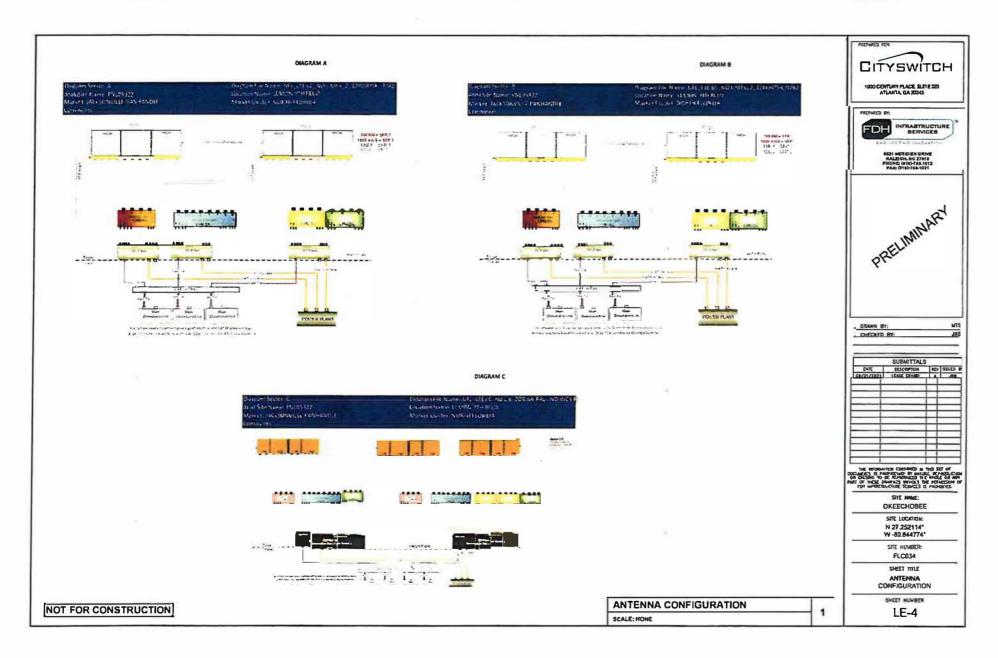
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Page 4 of 5

Exhibit A

9/28/2021



Page 5 of 5

Site Images





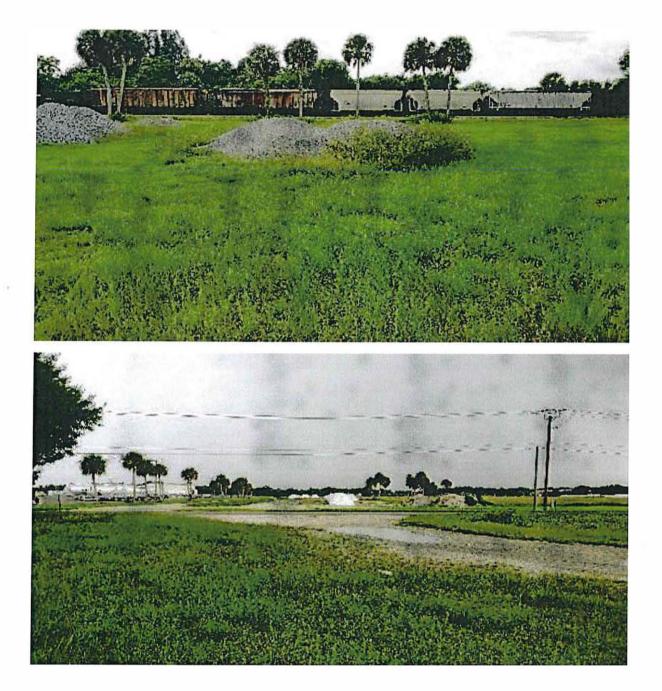


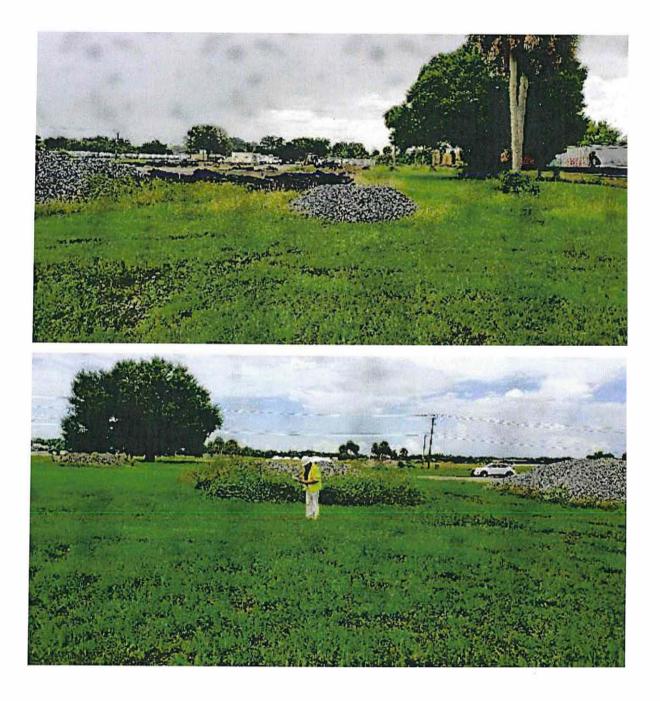


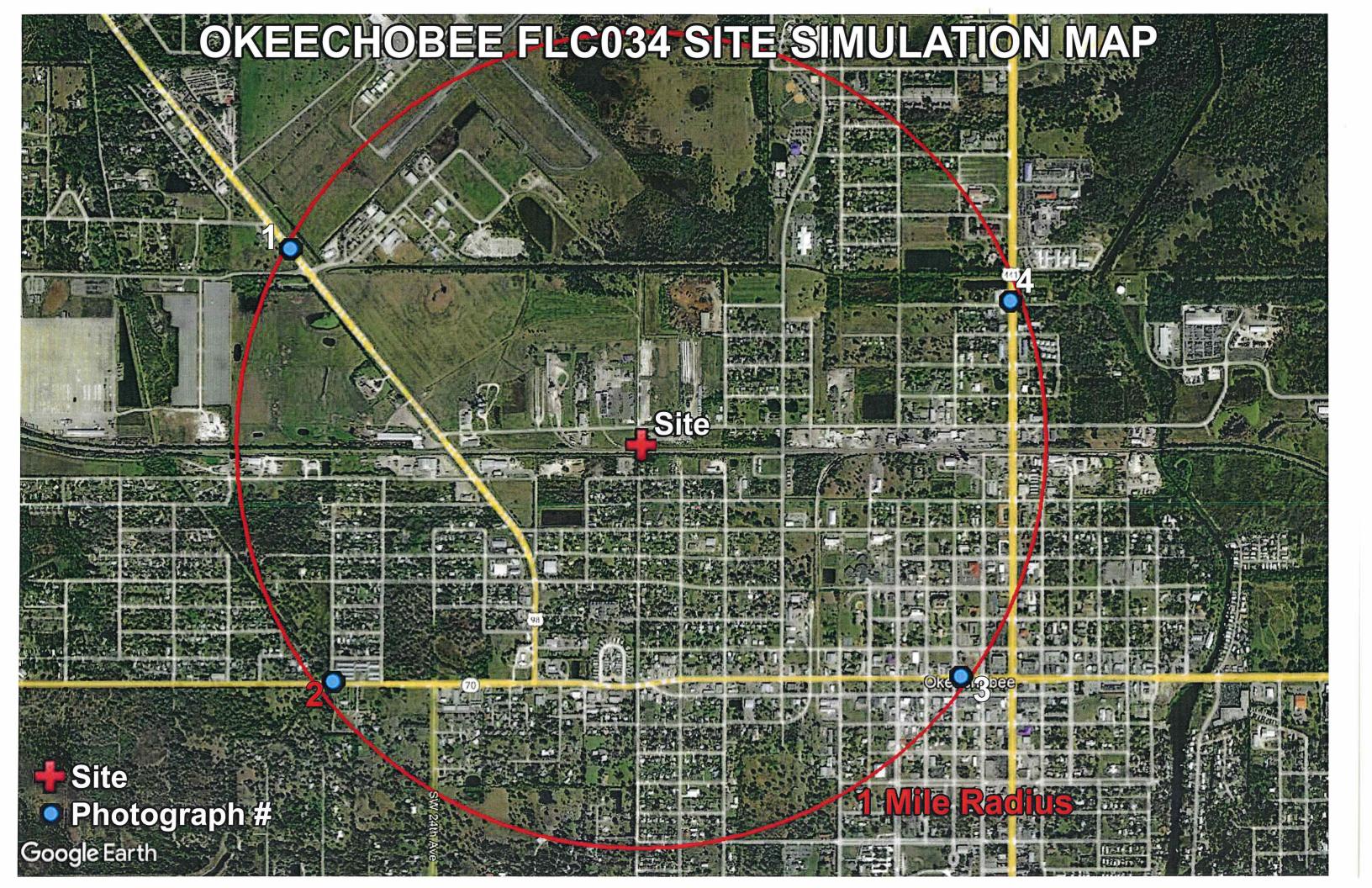










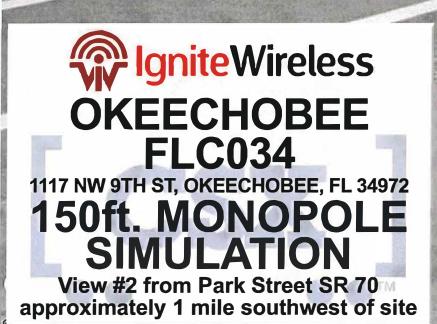








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Existing View





FLCO34 THT NW 9TH ST, OKEECHOBEE, FL 34972 **150ft. MONOPOLE SINULATION** Wiew #3 from NW Park Street SR 70 approximately 1 mile southeast of site

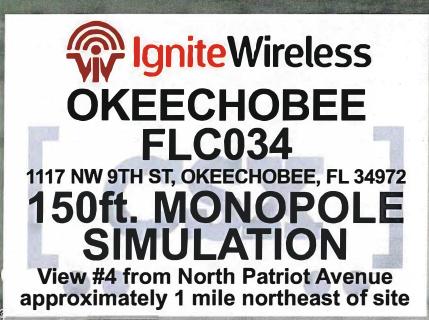
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Revenue co	de. Please contact of for zoning info.	cription for this parcel	HWV12	711)CT					
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Sale Date	Sale Price	Book/Page	Deed	V/I	Qualification (Codes)	RCode
4/14/2014	\$100	0745/0850	SW	V	U	
6/21/1996	\$0	0379/1220	WD	V	U	02 (Multi-Parcel Sale) - show

2, 12:52 PM			· *		OK	eechobee County	Property App		4
6/21/1996 \$0 0379/1216		0379/1216	WD	V	U		02 (Multi-Parc	el Sale) - show	
11/1/1990	0	\$0	0319/0132	WD	WD V Q				
4/1/1988 \$0 0294/1908		0294/1908	FJ	V	Q				
7/8/198	\$0 0273/0690		0273/0690	WD	V	U	U		3
7/8/1985 \$0 0270/1716		0270/1716	WD	V	Q				
4/1/1973	4/1/1973 \$0 0146/0693		0146/0693	WD	V	Q			
 Building 	Character	ristics	5			alian yan			
Bldg Sl	ketch		Description*	Year Blt Base SF		Actual SF	Bldg Value		
					1	NONE	A.	4.	
Extra Fe	atures & C	Dut B	uildings (Cod	les)					
Code	Descrip	otion	Year	Bit	Value	Units	Dims	Condition	n (% Good)
, _					I	NONE			
Land B	reakdown				-				
Code	De	scriptio	on	Units		Adjustments		Eff Rate	Land Value
061ID3	RR VIC	INITY	(MKT)	1.000 AC		1.0000/1.0000 1.0000/		\$50,000 /AC	\$50,000
961ID1	REMAIN	EMAIN ACRE (MKT)		2.569 AC		1.0000/1.0000 1.0000//		\$21,000 /AC	\$53,949
961ID1 REMAIN ACRE (MKT)		ACRE	E (MKT)	1.621 /	AC	1.0000/1.000	0 1.0000//	\$21,000 /A0	\$34,041
					Foorek	Result: 3 of 11			

PETITION #22-003-SE, ADDITIONAL DOCUMENTS: Construction Drawings, 22 Pages Submitted to City Staff on 10-20-2022 at the BOA PUBLIC HEARING

DOCUMENT Reed @ BOA Meeting (10-20-22)



SITE SUMMARY SITE ADDRESS: 1117 NW 9TH ST OKEECHOBEE, FL 34972 TOWER LATITUDE: 27°15'07.7"N (27.252140°) TOWER LONGITUDE: 80°50'41.3"N (-80.844796') GROUND ELEVATION: 29.3'± ZONING JURISDICTION: CITY OF OKEECHOBEE ZONING JURISDICTION CONTACT: PATTY BURNETTE (863) 763-9824 COMMITMENT NUMBER: TED ZONING: INDUSTRIAL PARCEL/MAP NUMBER: 3-16-37-35-0160-00110-0010 LAND OWNER/CLIENT: CSX TRANSPORTATION, INC. C/O TAX DEPT. J910 500 WATER STREET, SUITE 1208 JACKSONVILLE, FL 32202 CSX TRANSPORTATION, INC. C/O TAX DEPT. J910 APPLICANT: 500 WATER STREET, SUITE 1208 JACKSONVILLE, FL 32202 TOWER TYPE: MONOPOLE TOWER HEIGHT: 150'-0" 160'-0" APPURTENANCE HEIGHT:

PROJECT DIRECTORY

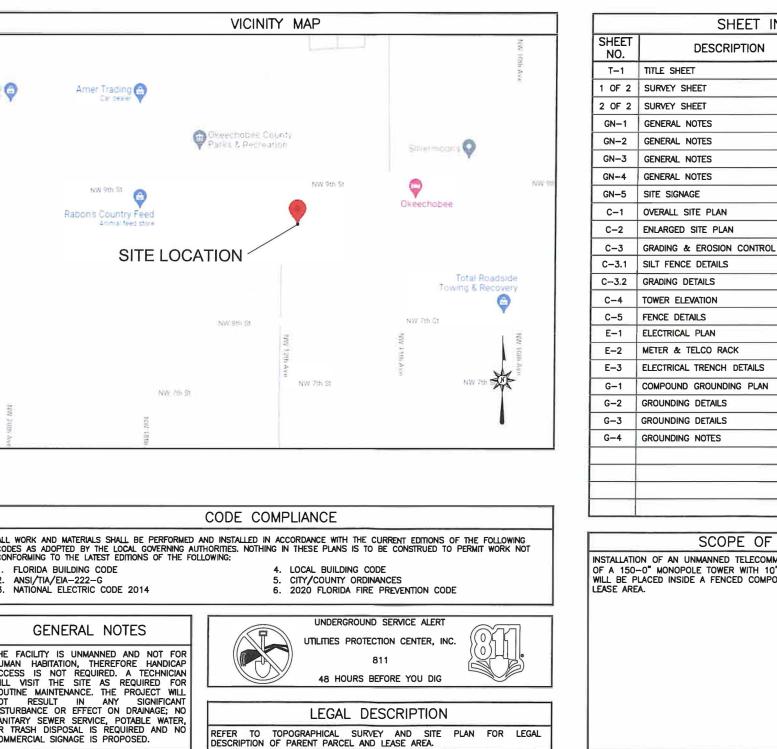
			ALL WURK AND MAILRIALS SHALL DE PI
	APPLICANT/LANDOWNER:	CSX TRANSPORTATION, INC. C/O TAX DEPT. J910 500 WATER STREET, SUITE 1208 JACKSONVILLE, FL 32202 CONTACT: THOMAS PAULY PHONE: (904) 279-3837 EMAIL: THOMAS_PAULY@CSX.COM	CODES AS ADOPTED BY THE LOCAL GOV CONFORMING TO THE LATEST EDMONS (1. FLORIDA BUILDING CODE 2. ANSI/TIA/EIA-222-G 3. NATIONAL ELECTRIC CODE 2014
1			
	PROJECT MANAGEMENT TEAM:	IGNITE WIRELESS, INC. 102 MARY ALICE PARK RD, SUITE 505	GENERAL NOTES
		CUMMING, GA 30040 PHONE: (470) 239–0846 FAX: –	THE FACILITY IS UNMANNED AND NO HUMAN HABITATION, THEREFORE HA ACCESS IS NOT REQUIRED. A TEC WILL VISIT THE SITE AS REQUIRE
	SITE DESIGN:	FDH INFRASTRUCTURE SERVICES 6521 MERIDIEN DRIVE RALEIGH, NC 27616 CONTACT: JAMES R. BILLUPS, PE, CFM PHONE: (919) 755-1012	ROUTINE MAINTENANCE. THE PROJEC NOT RESULT IN ANY SIGN DISTURBANCE OR EFFECT ON DRAINA SANITARY SEWER SERVICE, POTABLE OR TRASH DISPOSAL IS REQUIRED A COMMERCIAL SIGNAGE IS PROPOSED.

CONSTRUCTION DRAWINGS

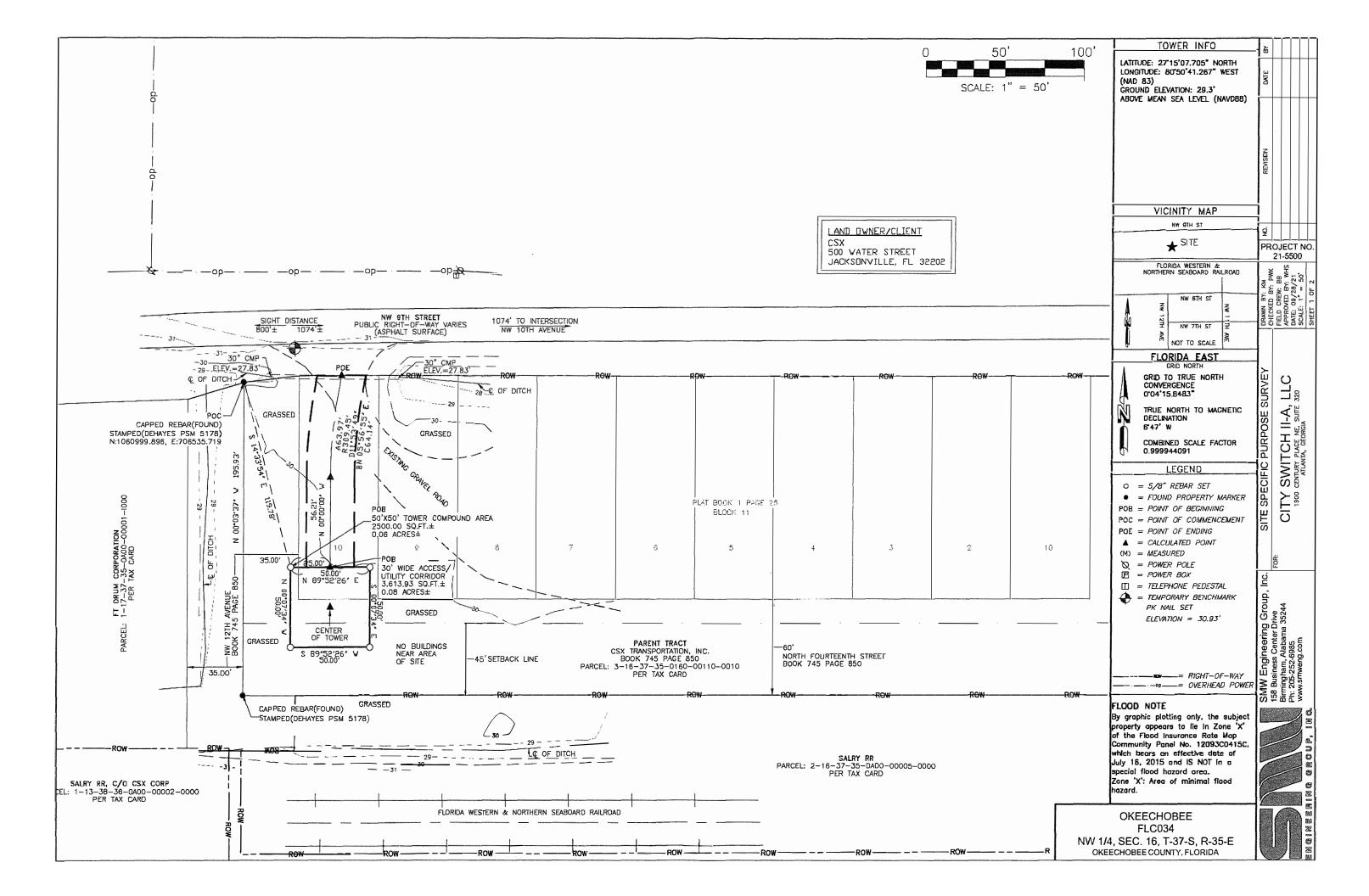
SITE ID: SITE NAME: SITE ADDRESS: FLC034 OKEECHOBEE

1117 NW 9TH ST OKEECHOBEE, FL

SHEET II



240-	70		CITYSWITCH 1900 CENTURY PLACE, SUITE 320 ATLANTA, GA 30345
3497	(2		
			ENGINEERING INNOVATION
NDEX	REV.	REVISION	FDH INFRASTRUCTURE SERVICES, LLC 6521 MERIDIEN DRIVER RALEIGN, NC 27616 PHONE: 918-755-1012 FAX: 919-755-1031
	NO.	DATE	THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE.
	0	11/29/2021	REPRODUCTION OR CAUSING TO BE REPRODUCED THE WHOLE OR ANY PART OF THESE DRAWINGS
	0	09/28/2021	WITHOUT THE PERMISSION OF FDH IS PROHIBITED.
	0	09/28/2021	SUBMITTALS
	0	11/29/2021	0 11/29/2021 CONSTRUCTION MTS JRB
	0	11/29/2021	
	0	11/29/2021	Dennis D. Abel, PE Digitally glassed by
	0	11/29/2021	Dennis 0. Abel, FF — Parkda ukrase No. 62750 This item has been digitally — Upined and sealed by Dennis 0. — Dennis Abel Med All Sealed by Dennis Abel
	0	11/29/2021	Abel, PE, on the date indicated Definition SADEI herein, Printed copies of this course are not considered Date: 2021.11.30
	0	11/29/2021	
	0	11/29/2021	Band and a set of a s
PLAN	0	11/29/2021	STURN CENSA 70
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	0	11/29/2021	
	0	11/29/2021	11/29/21 DENNIS D. ABEL, PE
	0	11/29/2021	FDH INFRASTRUCTURE SERVICES, LLC COA 28282
	0	11/29/2021	STATE LICENSE NO. 62750
			FDH JOB NUMBER: PR-006900
			SITE ID: FLC034
			SITE NAME:
WOR	<		OKEECHOBEE
		LITY CONSISTING	FA LOCATION:
		THE TOWER ,500± SQ.FT.	FA LUCATION:
			17
			ADDRESS:
			1117 NW 9TH ST OKEECHOBEE, FL 34972
			SHEET TITLE:
			TITLE SHEET
			SHEET NUMBER:
			T-1



SURVEYOR'S NOTES

This is a Site Specific Purpose Survey, made on the ground under the supervision of a Florida Registered Land Surveyor. Date of field survey is September 14, 2021.
 The following surveying instruments were used at time of field visit: Topcon GM-55 and Topcon Hiper SR G.P.S. receiver,

(R.T.K. network concide).

3. Bearings are based on Florida East State Plane Coordinates NAD 83 by GPS observation.

4. No underground utilities, underground encroachments or building foundations were measured or located as a part of this euryey, unless otherwise shown. Trees and enrubs not located, unless otherwise shown.

5. Benchmark used is a GPS Continuously Operating Reference Station, PID DE9138. Onsite benchmark is as shown hereon. Elevations shown are in feet and refer to NAVD 88.

6. This survey was conducted for the purpose of a Site Specific Purpose Survey only, and is not intended to delineate the regulatory jurisdiction of any federal, state, regional or local agency, board, commission or other elmilar entity. 7. Attention is directed to the fact that this survey may have been reduced or enlarged in size due to reproduction. This should be taken into consideration when obtaining scaled data. 8. This Survey was conducted without the benefit of an Abstract Title search.

9. Surveyor hereby states the Geodetic Coordinates and the elevation shown far the proposed centerline of the tower are accurate to within +/-20 feet horizontally and to within +/-3 feet vertically (FAA Accuracy Code 1A).

10. Survey enown hereon conforms to the Minimum Requirements as set forth by the State Board for a Class "A" Survey. 11. Field data upon which this map or plat is based has a closure precision of not less than one-foot in 15,000 feet (1':15,000') and an angular error that does not exceed 10 seconds times the square root of the number of angles

turned. Field traverse was not adjusted.

This is a Site Specific Purpose Survey and does not include the entire parent parcel.

14. Zoning: (as supplied by client) Zoning Jurisdiction: City

Zoning Land Use: A - Active

PARENT TRACT (BOOK 745 PAGE 850)

A parcel of land lying in Section 16, Township 37 South, Range 35 East, Okeechobee County, Florida, and lying in and containing a portion of that certain parcel of Land as recorded In Official Records Book 379, Page 1216 of the public records of Okeechobee County, Florida, and being more particularly described as follows: All of Block 11 and 12; all of N.W. 11th Avenue (70 feet in width) lying between said Blocks 11 and 12; all of N.W. 12th Avenue (35 feet in width) lying West of and contiguous with said Block 11; all of North Fourteenth Street (Name per Plat)(60 feet in width) lying South of and contiguous with the above described property; all lying in the North West Additian to Okeechobee, Fio. according to the Plat thereof as recorded in Plat Boak 1, Page 25 of the Public Records of Okeechobee County, Florida.

50' × 50' TOWER COMPOUND AREA (AS-SURVEYED)

A portion of the CSX Transportation, Inc. tract described in Book 745, Page 850 as recorded in the Office of Clerk af Circuit Caurt for Okeechobee County, Florida, lying in the Northwest 1/4, Section 16, Township 37 South, Range 35 East, said Okeechobee County, Flarida and being more particularly described as follows:

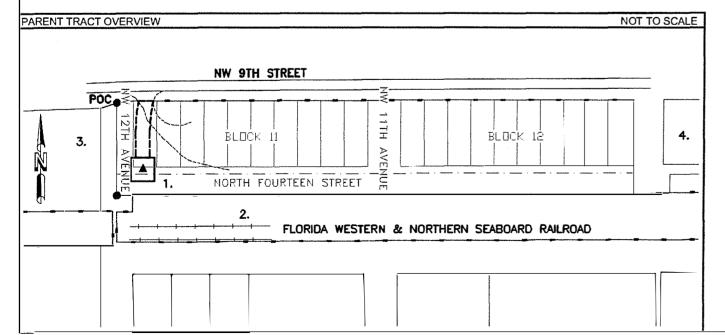
Commencing at a capped rebar, stamped DEHAYES PSM 5178, found marking the Northwest corner of said tract, having Florida East State Plane coordinates: N:1060999.896, E:706535.719; thence run S 14*33'54" E for a dietance of 119.78 feet to a set 5/8" rebar and the Paint of Beginning; thence run N 89'52'26" E for a distance of 50.00 feet to a point; thence run S 00'07'34" E for a distance of 50.00 feet to a paint; thence run S 89'52'26" W for a distance of 50.00 feet to a point; thence run N 00'07'34" W for a distance of 50.00 feet to the Point of Beginning. Said tower compound area contains 2,500.00 square feet or 0.06 acres, more or less.

30' WIDE ACCESS & UTILITY CORRIDOR (AS-SURVEYED)

KED BY: PWK KED BY: PWK CREW: BB OVED BY: WHS 005/28/21 03/28/21 A portion of the CSX Transportation, Inc. tract described in Book 745, Page 850 as recorded in the Office of Clerk of Circuit Court for Okeechobee County, Florida, lying in the Northwest 1/4, Section 16, Township 37 South, Range 35 DRAWN CHECK FIELD APPRO DATE: SCALE: C 22 C CENTURY PLACE NE, SUITE 3: ATLANTA, GEORGIA PURPOSE ۲<u>ا</u>‱ \overline{O} 0 ы Б SMW Engineering Group, Ir 158 Business Center Drive Birmingham, Alabama 35244 Phr. 205-252-8985 www.smwend.com SURVEYOR'S CERTIFICATION I certify that all ports of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Florida to the best of my knowledge, information, and belief. PRELIMINARY UNTIL FINALIZED WITH SIGNATURE AND SEAL William H. Sommerville, II Florida License No. 0006141 OKEECHOBEE FLC034 NW 1/4, SEC. 16, T-37-S, R-35-E OKEECHOBEE COUNTY, FLORIDA

East, said Okeechobee County, Florida and being more particularly described as follows: Commencing at a capped rebor, stamped DEHAYES PSM 5178, found marking the Northwest corner of said tract, having Florida East State Plane coordinates: N:1060999.896, E:706535.719; thence run S 14'33'54" E for a distance of 119.78 feet to a set 5/8" rebar; thence run N 89'52'26" E for a distance of 25.00 feet to the Point of Beginning; of an Access & Utility Corridor being 30 feet in width and lying 15 feet each side of the following described centerline; thence run N 00°00° W for a distance of 56.21 feet to a point; the beginning of an orc turning to the right having a radius of 309.45 feet, having a chord bearing and distance of N 05'56'55" E for a distance of 64.14 feet; thence run along said arc far 64.26 feet to a point an the Southerly right-of-way of NW 9th Street, a variable public right-of-way and the Point of Ending. Said easement contains 3,613.93 square feet or 0.08 acres, more or less.

- 17 TRACT RANSPORTATION, INC. 745 PACE 850 745 10-37-35-0160-00110-0010 PARCEL 3-16 PER TAX CARD
- 2. SALRY RR PARCEL: 2-16-37-35-0400-00005-0000 PER TAX CARD
- 3. FT DRUN CORPORATION PARCEL: 1-17-37-35-0A00-00001-1000 PER TAX CARD
- 4. ERVIN LEVERN PARCEL: 1-15-37-35-0010-00430-0120 PER TAX CARD



PROJECT NO

21-5500

GENERAL NOTES:

- 1. EVERY EFFORT HAS BEEN MADE IN THE CONSTRUCTION DOCUMENTS TO PROVIDE A COMPLETE SCOPE OF WORK, MINOR DISCREPANCIES IN THE DRAWINGS AND/OR SPECIFICATIONS SHALL NOT EXCUSE CONTRACTORS FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS.
- BIDDING REQUIREMENTS 2.
 - a. PRIOR TO THE SUBMISSION OF BIDS, VISIT THE JOB SITE TO BECOME FAMILIAR WITH ALL CONDITIONS AFFECTING THE PROPOSED PROJECT VISIT THE SITE WITH THE CONSTRUCTION DOCUMENTS TO VERIEY FIELD DIMENSIONS AND CONDITIONS TO CONFIRM THAT THE PROJECT WILL BE ACCOMPLISHED AS SHOWN.
 - b. PROVIDE NOTIFICATION TO OWNER'S REPRESENTATIVE IN WRITING OF ANY CONFLICTS, ERRORS, OR OMISSIONS PRIOR TO SUBMISSION OF PRICE PROPOSAL IN THE EVENT OF DISCREPANCIES, PRICE THE MORE COSTLY OR EXTENSIVE WORK, UNLESS DIRECTED OTHERWISE
 - c. WHEN TOWER IS OWNED BY A THIRD PARTY, CONTACT TOWER OWNER REPRESENTATIVE FOR PARTICIPATION IN BID WALK.
 - d. WHERE ANCHORING TO A CONCRETE ROOF SLAB, CONFIRM (PRIOR TO SUBMITTING BID) THE PRESENCE OF POST TENSION TENDONS. INCLUDE PROVISIONS FOR X-RAY PROCEDURES TO LOCATE THE TENDONS PRIOR TO CONSTRUCTION.
- DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS TAKE PRECEDENCE. 3. CONSTRUCTION DOCUMENTS ARE INTENDED FOR DIAGRAMMATIC PURPOSES ONLY, UNO.
- FURNISH ALL MATERIALS, EQUIPMENT, LABOR, AND ANY REQUIREMENTS NECESSARY TO COMPLETE PROJECT AS DESCRIBED IN THE CONSTRUCTION DOCUMENTS.
- 5. SUPERVISE AND DIRECT THE PROJECT DESCRIBED IN THE CONSTRUCTION DOCUMENTS. PROVIDE ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- ALL WORK PERFORMED ON THE PROJECT AND MATERIALS INSTALLED SHALL BE IN STRICT 6 ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES APPLICABLE TO THE WORK
- 7. CONSTRUCTION COORDINATION REQUIREMENTS
 - a. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO START OF WORK.
 - b. OBTAIN ALL PERMITS. SCHEDULE AND COORDINATE ALL INSPECTIONS.
 - c. PROVIDE, AT THE PROJECT SITE, A FULL, CURRENT SET OF CONSTRUCTION
 - DOCUMENTS FOR USE BY ALL PERSONNEL INVOLVED WITH THE PROJECT.
 - d. RECEIVE WRITTEN AUTHORIZATION TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DOCUMENTS.
 - e. PERFORM WORK DURING OWNER'S PREFERRED HOURS TO AVOID DISTURBING NORMAL BUSINESS.
 - f. PROVIDE FALL PROTECTION IN ACCORDANCE WITH FEDERAL, STATE, LOCAL, AND OWNER REQUIREMENTS.
 - g. IF FAA LIGHTING AND MARKING IS PRESENT ON SITE AND IS POWERED BY FLECTRICAL SERVICE THAT IS TO BE INTERRUPTED, MAINTAIN THE NECESSARY LIGHTS. DURING CONSTRUCTION AND NOTIFY THE PROPER AUTHORITIES IN THE EVENT OF A DISRUPTION
 - h. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A10BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF PROJECT AREA DURING CONSTRUCTION.
 - i. STRUCTURAL COMPONENTS OF ADJACENT FACILITIES SHALL NOT BE ALTERED BY THIS CONSTRUCTION PROJECT, UNO. ENSURE THAT EXCAVATION DOES NOT AFFECT ADJACENT STRUCTURES
 - j. SEAL ALL PENETRATIONS THROUGH FIRE-RATED AREAS WITH U.L. LISTED OR FIRE MARSHALL-APPROVED MATERIALS, IF APPLICABLE.
 - k. BURIED UTILITIES MAY EXIST IN THE AREA AND UTILITY INFORMATION SHOWN MAY NOT BE COMPLETE. CONTACT THE UTILITY LOCATE SERVICE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION.
 - I. COORDINATE ALL POWER INSTALLATION WITH POWER COMPANY AS REQUIRED. REPORT POWER INSTALLATION COORDINATION SOLUTION(S) TO OWNER'S REPRESENTATIVE.
 - m. PROTECT EXISTING IMPROVEMENTS, EASEMENTS, PAVING, CURBING, ETC. DURING CONSTRUCTION. UPON COMPLETION OF WORK, REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.
 - n. KEEP GENERAL WORK AREA CLEAN AND HAZARD FREE DURING CONSTRUCTION AND DISPOSE OF ALL DIRT, DEBRIS, AND RUBBISH. REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY OR PREMISES. SITE SHALL BE LEFT IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE.
 - o. MAINTAIN THE INTEGRITY OF THE BUILDING ENVELOPE AND CONSTRUCT BARRIERS IN THE AREA OF WORK TO PREVENT DAMAGE FROM WEATHER AS WELL AS FROM CONSTRUCTION DUST AND DEBRIS.
- 8. INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO MANUFACTURER'S SPECIFICATIONS. UNO. OR WHERE LOCAL CODES OR ORDINANCES DIRECT OTHERWISE.

9. ANY SUBSTITUTIONS OF MATERIALS AND/OR EQUIPMENT, MUST BE APPROVED BY OWNER'S REPRESENTATIVE.

- 10. DOCUMENT ALL CHANGES MADE IN THE FIELD BY MARKING UP THE APPROVED CONSTRUCTION DRAWINGS AND SUBMITTING THE REDLINED SET TO OWNER'S REPRESENTATIVE UPON COMPLETION. DOCUMENT ALL WORK PERFORMED WITH PHOTOGRAPHS TO BE SUBMITTED WITH REDLINED CONSTRUCTION DRAWINGS.
- 11. PROVIDE SUPPORTS FOR CABLES TO THE ELEVATION OF ALL INITIAL AND FUTURE ANTENNAS IN ACCORDANCE WITH ALL MANUFACTURER'S REQUIREMENTS.
- 12. A STRUCTURAL ANALYSIS AND A MOUNT ANALYSIS (IF REQUIRED) TO DETERMINE THE STRUCTURAL CAPACITY TO SUPPORT THIS PROPOSED FOUIPMENT WAS PERFORMED OUTSIDE THE SCOPE OF THIS PROJECT.
- 13. CONFIRM THAT THE REQUIREMENTS OF THE STRUCTURAL ANALYSIS, MOUNT ANALYSIS AND ANY ASSOCIATED MODIFICATIONS HAVE BEEN FOLLOWED AND COMPLETED AS REQUIRED TO SUPPORT THE EQUIPMENT ASSOCIATED WITH THIS PROJECT.

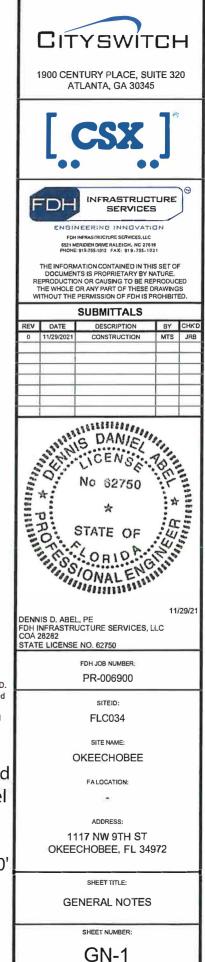
SPECIAL INSPECTIONS:

- 1. WHEN REQUIRED, PROVIDE SPECIAL INSPECTIONS PERFORMED BY AN INDEPENDENT INSPECTOR, APPROVED BY OWNER'S REPRESENTATIVE AND THE LOCAL JURISDICTION.
- 2 THE SPECIAL INSPECTOR SHALL PROVIDE A COPY OF THE REPORT TO THE OWNER'S REPRESENTATIVE, STRUCTURAL ENGINEER, CONTRACTOR, AND BUILDING OFFICIAL

	ABBREVIA	TIONS		Г
A/C	AIR CONDITIONING	LBS	POUNDS	
AFF	ABOVE FINISHED FLOOR	LTE	LONG TERM EVOLUTION	1
AGL	ABOVE GROUND LEVEL,	MAX	MAXIMUM	
	ABOVE GRADE LEVEL	MECH	MECHANICAL	ι.
AWS	ADVANCED WIRELESS SERVICE	MTL	METAL	
BBU	BATTERY BACKUP UNIT	MFR	MANUFACTURE	1
BLDG	BUILDING	MGR	MANAGER	i-
BLK	BLOCKING	MIN	MINIMUM	
CLG	CEILING	MISC	MISCELLANEOUS	
CLR	CLEAR	NA	NOT APPLICABLE	
CONC	CONCRETE	NIC	NOT IN CONTRACT	
CONT	CONTINUOUS	NO	NUMBER	
D	DEPTH	NTS	NOT TO SCALE	⊢
DBL	DOUBLE	OC	ON CENTER	Ι.
DEG	DEGREE	OD	OUTSIDE DIAMETER	
Ø, DIA	DIAMETER	PCS	PERSONAL COMMUNICATION	
DIAG	DIAGONAL		SERVICE	1
DN	DOWN	PDU	POWER DISTRIBUTION UNIT	1
DET	DETAIL	PROJ	PROJECT	
DWG	DRAWING	PROP	PROPERTY	
E	EXISTING	PT	PRESSURE TREATED	
EA	EACH	PVC	POLYVINYL CHLORIDE	
ELEV. EL	ELEVATION		REQUIRED	
	ELECTRICAL		RADIO FREQUENCY	RE
EQ	EQUAL	RM	ROOM	0
	EQUIPMENT		ROUGH OPENING	
EXT	EXTERIOR		REMOTE RADIO HEAD	
FIF	FIBER INTERFACE FRAME,		SHEET	L_
	FACILITY INTERFACE FRAME	SIM	SIMILAR	⊢
FIN	FINISH		SPECIFICATION	I-
	FLUORESCENT		SQUARE FOOT	
	FLOOR	SS	STAINLESS STEEL	
FT	FOOT, FEET		STEEL	
GA	GAUGE		SUSPENDED	
GALV	GALVANIZED		TOWER MOUNTED AMPLIFIER	
GC	GENERAL CONTRACTOR		TINNED	1.3
GRND	GROUND		TYPICAL	1
GSM	GLOBAL SYSTEM MOBILE		UNIVERSAL MOBILE	
GYP	GYPSUM BOARD		TELECOMMUNICATION SERVICE	1 -
HORZ	HORIZONTAL	UNO	UNLESS NOTED OTHERWISE	50
HR	HOUR		VERTICAL	
	HEIGHT	W/	WITH	
	INSIDE DIAMETER		WITHOUT	
IN	INCH, INCHES	,	WIRELESS COMMUNICATION	
		100		
INSUL	INSULATION	WP	SERVICE WATER PROOF	1
		¥¥ F	WATER PROOF	DE
L	LENGTH			FDF CO/
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			Dennis D. Abel, PE Florida License No. 62750	
			This item has been digitally	
			signed and sealed by Dennis D.	
			Abol Of an abo date 1 Provide	

Abel, PE, on the date indicated herein. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Digitally signed by Dennis Abel Date: 2021.11.30 08:04:55 -05'00'



SITE NOTES:

- 1. CLEAR AND GRUB SITE OF ALL VEGETATION, PAVING, GRAVEL BASE AND OTHER DEBRIS NOT TO REMAIN. SUBGRADES ARE TO BE SET PRIOR TO LANDSCAPE INSTALLATION.
- 2. PROVIDE ELEVATION OF SUBGRADE WITHIN 0.10 FOOT OF ELEVATIONS SHOWN ON PLAN MINUS DEPTH OF TOPSOIL, FILL, AND MULCH.
- 3. ROUGH GRADE ALL AREAS WITHIN 1 FOOT OF ELEVATIONS INDICATED BEFORE PLANTING. PROVIDE POSITIVE DRAINAGE AWAY FROM EQUIPMENT SLABS, BUILDINGS AND THROUGH ALL PLANTER AREAS TO AVOID LOW SPOTS AND STANDING WATER.
- 4. REWORK (DRY, SCARIFY, ETC.) ALL MATERIAL NOT SUITABLE FOR SUB GRADE IN ITS PRESENT STATE. AFTER REWORKING, IF THE MATERIAL REMAINS UNSUITABLE, UNDERCUT AND REPLACE WITH SUITABLE MATERIAL AT CONTRACTOR'S EXPENSE. ALL SUB GRADES AND AGGREAGATE BASE COURSES SHALL BE PROOF ROLLED WITH A FULLY LOADED TANDEM DUMP TRUCK, AND ANY SOFT SPOTS SHALL BE REWORKED OR REPLACED UNTIL PASSING PROOF ROLL.
- 5. BLEND NEW GRADES NATURALLY INTO EXISTING GRADES.
- 6. MAINTAIN POSITIVE DRAINAGE ON THE SITE AT ALL TIMES, INCLUDING KEEPING ALL EXISTING AND NEW DITCHES, PIPES AND OTHER DRAINAGE STRUCTURES FREE FROM OBSTRUCTION. ANY DAMAGE RESULTING FROM FAILURE TO COMPLY SHALL BE REMEDIED BY CONTRACTOR
- 7. IF REQUIRED, MAINTAIN CONTINUOUS EROSION CONTROL ON THE DOWNSTREAM SIDE OF THE SITE.
- 8. IN LANDSCAPE AREAS, FINISH GRADES ARE TO FOLLOW THE GRADES AND EDGE DETAILS INDICATED AND BE MOUNDED 6 INCHES IN THE CENTER OF THE BED ABOVE THE EDGE OF THE LANDSCAPE AREA.
- 9. DO NOT PLACE FILL OR EMBANKMENT MATERIAL ON FROZEN GROUND. DO NOT PLACE FROZEN MATERIALS, SNOW OR ICE IN ANY FILL OR EMBANKMENT.
- 10. NOTIFY OWNER'S REPRESENTATIVE IF MODIFICATIONS TO THE PROPOSED GRADING SEEM NECESSARY AND OBTAIN APPROVAL PRIOR TO START OF WORK.
- 11. FOOTINGS SHALL BEAR ON FIRM, NATURAL, UNDISTURBED SOIL, OR ON ENGINEERED FILL (COMPACTED TO 95% ASTM D698). ENSURE THAT EXCAVATIONS ARE FREE OF ORGANIC MATERIAL, DEBRIS, OR OTHER FOREIGN MATERIAL. NOTIFY OWNER'S REPRESENTATIVE IF ANY UNUSUAL CONDITIONS ARE ENCOUNTERED.
- 12. FILL AND SLAB BASE MATERIAL SHALL BE 3/4" MINUS CRUSHED ROCK PLACED IN 8" (MAXIMUM) LOOSE LIFTS AND COMPACTED TO 98% ASTM D698.

CONCRETE NOTES:

1. CONCRETE AND REINFORCING SHALL CONFORM TO THE FOLLOWING REQUIREMENTS: CONCRETE CONSTRUCTION ACI 318

CEMENT	ASTM C150, PORTLAND CEMENT TYPE II, UNO	
REINFORCING STEEL	ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60,	
	fy=60 Ksi, UNO	
WELDED WIRE FABRIC	ASTM A185	
SPIRAL REINFORCEMENT	ASTM A615, GRADE 60, fy=60 KSI	
ANCHOR BOLTS	ASTM A307	
GRADE 60 REBAR WELDING	ASTM A706	
NOTES: ANY BARS SO NOTED ON	N THE DRAWINGS SHALL BE GRADE 60, fy=60 KSI.	
DEINEODOINC CONDIVINO WITH A	ACTA ACIS(CI) MAY DE WELDED ONLY IE MATEDIAL	

REINFORCING COMPLYING WITH ASTM A615(S1) MAY BE WELDED ONLY IF MATERIAL PROPERTY REPORTS INDICATING CONFORMANCE WITH WELDING PROCEDURES SPECIFIED IN A.W.S. D14 ARE SUBMITTED.

- 2. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS: FOOTINGS AND OTHER UNFORMED SURFACES, EARTH FACE 3" FORMED SURFACES EXPOSED TO EARTH OR WEATHER (≥ #6 BARS) 2" FORMED SURFACES EXPOSED TO EARTH OR WEATHER (≤ #5 BARS) 1-1/2" SLARS AND WALLS (INTERIOR FACE) 3/4"
- 3. AIR ENTRAIN ALL CONCRETE WITH SURFACES EXPOSED TO WEATHER WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260, C494, C618, C989 AND C1017. AIR ENTRAIN CONCRETE EXPOSED TO FREEZING AND THAWING WHILE MOIST IN ACCORDANCE WITH ACI 318, SECTION 4.4.1.
- 4. DETAIL REINFORCING STEEL (INCLUDING HOOKS AND BENDS) IN ACCORDANCE WITH ACI 315 AND 318. LAP ALL CONTINUOUS REINFORCEMENT AT LEAST 30 BAR DIAMETERS OR A MINIMUM OF 2'-O". PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP CORNER BARS AT LEAST 30 BAR DIAMETERS OR A MINIMUM OF 2'-O". LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.
- 5. PERFORM WELDING OF GRADE 60 REINFORCING BARS (IF REQUIRED) USING LOW HYDROGEN ELECTRODES. PERFORM WELDING OF GRADE 40 REINFORCING BARS (IF REQUIRED) USING E70 XX ELECTRODES. DO NOT WELD WITHIN 4" OF COLD BENDS IN REINFORCING STEEL.
- 6. DO NOT FIELD BEND REINFORCING PARTIALLY EMBEDDED IN CONCRETE UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE ENGINEER.
- 7. SUPPORT BARS ON CHAIRS OR DOBIE BRICKS.
- 8. FURNISH NON-SHRINK GROUT BY AN APPROVED MANUFACTURER. MIX AND PLACE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS. GROUT STRENGTH SHALL BE AT LEAST EQUAL TO THE MATERIAL ON WHICH IT IS PLACED (3 KSI, MINIMUM).
- 9. ALL EXPANSION ANCHORS TO BE HILTI BRAND, UNO. TEST ADHESIVE ANCHORS TO CONFIRM CAPACITY UNLESS WAIVED BY ENGINEER AND LOCAL JURISDICTION.

STRUCTURAL STEEL NOTES:

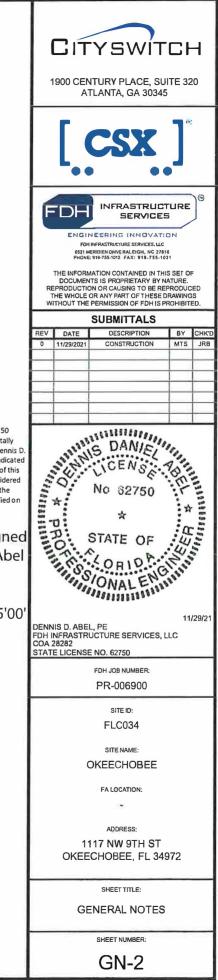
1. STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

WIDE FLANGE SHAPES	ASTM A992, GRADE 50
SHAPES, PLATES, ANGLES, & RODS	ASTM A36, Fy 36 KS
SPECIAL SHAPES AND PLATES	ASTM A572, Fy 50 KSI
PIPE COLUMNS	ASTM A53, Fy 35 KSI
STRUCTURAL TUBING	ASTM A500, Fy 46KSI
ANCHOR BOLTS	ASTM A307
CONNECTION BOLTS	ASTM A325 TWIST-OFF

- BASE STRUCTURAL STEEL DESIGN, FABRICATION AND ERECTION (INCLUDING FIELD WELDING, HIGH STRENGTH FIELD BOLTING, EXPANSION BOLTS, AND THREADED EXPANSION ANCHORS) ON THE AISC "SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS" LATEST EDITION.
- HOT DIP GALVANIZE AFTER FABRICATION PER A123/A123M-00 ALL STEEL EXPOSED TO WEATHER AND WHERE NOTED.
- 4. CONFORM TO ALL AISC AND AWS STANDARDS FOR WELDING. PERFORM WELDING BY ANSI/AWS D1.1 CERTIFIED WELDERS USING E70 XX ELECTRODES. USE ONLY PRE-QUALIFIED WELDS AS DEFINED BY AWS.
- 5. PROVIDE COLD-FORMED STEEL FRAMING MEMBERS OF THE SHAPE, SIZE, AND GAGE SHOWN ON THE PLANS. PROVIDE MINIMUM SECTION PROPERTIES INDICATED. ALL COLD-FORMED STEEL FRAMING SHALL CONFORM TO THE AISI "SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS."
- FOR BOLTED CONNECTIONS, USE 3/4" DIA., BEARING-TYPE, A325 BOLTS WITH A MINIMUM OF TWO BOLTS, UNO.
- 7. FOR NON-STRUCTURAL CONNECTIONS FOR STEEL GRATING, USE 5/8" DIA. A307 BOLTS, UNO.
- 8. PREPARE AND PAINT IN ACCORDANCE WITH THE PAINT MANUFACTURERS WRITTEN INSTRUCTIONS, UNO.
- TOUCH UP ALL FIELD DRILLING, WELDING AND CUT SURFACES WITH 2 COATS OF GALVACON (ZINC RICH PAINT) OR APPROVED EQUAL.

SITE SPECIFIC SOIL MANAGEMENT PLAN:

1. SOIL MATERIALS EXCAVATED BY THE CONTRACTOR FROM WITHIN RAIL RIGHT-OF-WAY (ROW) SHALL BE RE-USED AS BACKFILL AT THE POINT OF ORIGIN OR SHALL BE RE-DISTRIBUTED ON THE ROW IN THE NEAR VICINITY OF THE POINT OF ORIGIN.



Dennis D. Abel, PE Florida License No. 62750 This item has been digitally signed and sealed by Dennis D. Abel, PE, on the date indicated herein. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Digitally signed by Dennis Abel Date: 2021.11.30 08:05:09 -05'00'

ELECTRICAL NOTES

GENERAL

GENERAL CONDITIONS:

- A. CONTRACTOR SHALL INSPECT THE EXISTING SITE CONDITIONS PRIOR TO SUBMITTING BID. ANY QUESTIONS ARISING DURING THE BID PERIOD IN REGARD TO THE CONTRACTORS FUNCTIONS, THE SCOPE OF WORK, OR ANY OTHER ISSUE RELATED TO THIS PROJECT SHALL BE ISSUED TO CONSTRUCTION MANAGER IN WRITING FOR CLARIFICATION PRIOR TO SUBMITTAL OF BID AND CONTRACT AWARD
- B. THE CONTRACTOR SHALL OBTAIN PERMITS, LICENSES, MAKE ALL DEPOSITS, AND PAY ALL FEES REQUIRED FOR THE CONSTRUCTION OF WORK UNDER THIS SECTION.
- DRAWINGS SHOW THE GENERAL ARRANGEMENT OF ALL SYSTEMS AND COMPONENTS COVERED UNDER THIS SECTION. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS. DRAWINGS SHALL NOT BE SCALED TO DETERMINE DIMENSIONS.

LAWS, REGULATIONS, ORDINANCES, STATUTES AND CODES:

A. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC), AND ALL APPLICABLE LOCAL LAWS, REGULATIONS, ORDINANCES, STATUTES AND CODES. CONDUIT BENDS SHALL BE THE RADIUS BEND FOR THE TRADE SIZE OF CONDUIT IN COMPLIANCE WITH THE LATEST EDITIONS OF NEC.

REFERENCES

- THE PUBLICATIONS LISTED BELOW ARE PART OF THIS SPECIFICATION. EACH PUBLICATION SHALL BE A THE LATEST REVISION AND ADDENDUM IN EFFECT ON THE DATE. THIS SPECIFICATION IS ISSUED FOR CONSTRUCTION UNLESS OTHERWISE NOTED. EXCEPT AS MODIFIED BY THE REQUIREMENT SPECIFIED HEREIN OR THE DETAILS OF THE DRAWINGS, WORK INCLUDED IN THIS SPECIFICATION SHALL CONFORM TO THE APPLICABLE PROVISION OF THESE PUBLICATIONS.
 - 1. ANSI/IEEE (AMERICAN NATIONAL STANDARDS INSTITUTE)
- 2. ASTM (AMERICAN SOCIETY FOR TESTING AND MATERIALS)
- 3. ICEA (INSULATED CABLE ENGINEERS ASSOCIATION)
- 4. NEMA (NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION)
- 5. NFPA (NATIONAL FIRE PROTECTION ASSOCIATION)
- 6. OSHA (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION)
- 7. UL (UNDERWRITERS LABORATORIES. INC.)
- 8. AT&T GROUNDING AND BONDING STANDARDS, LATEST EDITION, AND COMPLY WITH AT&T GROUNDING CHECKLIST, LATEST VERSION

SCOPE OF WORK:

- A. WORK UNDER THIS SECTION SHALL CONSIST OF FURNISHING ALL LABOR, MATERIAL, AND ASSOCIATED SERVICES REQUIRED TO COMPLETE REQUIRED CONSTRUCTION AND BE OPERATIONAL.
- B. ALL ELECTRICAL EQUIPMENT UNDER THIS CONTRACT SHALL BE PROPERLY TESTED, ADJUSTED, AND ALIGNED BY THE CONTRACTOR
- C. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXCAVATING, DRAINING OF TRENCHES, BACKFILLING, AND REMOVAL OF EXCESS DIRT.
- D. THE CONTRACTOR SHALL PREPARE A COMPLETE SET OF AS-BUILT DRAWINGS, DOCUMENT ALL WIRING EQUIPMENT CONDITIONS, AND CHANGES WHILE COMPLETING THIS CONTRACT, THE AS-BUILT DRAWINGS SHALL BE SUBMITTED AT COMPLETION OF THE PROJECT.

PRODUCTS

GENERAL

- A. ALL MATERIALS AND EQUIPMENT SHALL BE UL LISTED, NEW, AND FREE FROM DEFECTS.
- B. ALL ITEMS OF MATERIALS AND EQUIPMENT SHALL BE ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION AS SUITABLE FOR THE USE INTENDED.
- C. ALL EQUIPMENT SHALL BEAR THE UNDERWRITERS LABORATORIES LABEL OF APPROVAL, AND SHALL CONFORM TO REQUIREMENT OF THE NATIONAL ELECTRICAL CODE.
- D. ALL OVERCURRENT DEVICES SHALL HAVE AN INTERRUPTING CURRENT RATING EQUAL TO OR GREATER THAN THE SHORT CIRCUIT CURRENT AVAILABLE, 10,000 AIC MINIMUM. VERIFY AVAILABLE SHORT CIRCUIT CURRENT DOES NOT EXCEED THE RATING OF ELECTRICAL EQUIPMENT.

MATERIALS AND EQUIPMENT:

- A. CONDUIT:
 - 1. RIGID METAL CONDUIT (RMC) SHALL BE HOT-DIPPED GALVANIZED INSIDE AND OUTSIDE INCLUDING ENDS AND THREADS AND ENAMELED OR LACQUERED INSIDE IN ADDITION TO GALVANIZING.
 - 2. LIQUID TIGHT FLEXIBLE METAL CONDUIT (LFMC) SHALL BE UL LISTED.
 - 3. CONDUIT CLAMPS, STRAPS AND SUPPORTS SHALL BE STEEL OR MALLEABLE IRON. ALL FITTINGS SHALL BE COMPRESSION AND CONCRETE TIGHT TYPE
 - 4. NONMETALLIC CONDUIT AND FITTINGS SHALL BE SCHEDULE 40 PVC UNLESS SCHEDULE 80 PVC IS SPECIFIED. INSTALL USING SOLVENT-CEMENT-TYPE JOINTS AS RECOMMENDED BY THE MANUFACTURER.

- B. CONDUCTORS AND CABLE:
- 1. CONDUCTORS AND CABLE SHALL BE FLAME-RETARDANT, MOISTURE AND HEAT RESISTANT THERMOPLASTIC. SINGLE CONDUCTOR, COPPER, TYPE THHN/THWN-2, 600 VOLT, SIZE AS INDICATED, #12 AWG SHALL BE THE MINIMUM SIZE CONDUCTOR LISED
- 2. #10 AWG AND SMALLER CONDUCTOR SHALL BE SOLID OR STRANDED AND #8 AWG AND LARGER CONDUCTORS SHALL BE STRANDED.
- 3. SOLDERLESS, COMPRESSION-TYPE CONNECTORS SHALL BE USED FOR TERMINATION OF ALL STRANDED CONDUCTORS.
- 4. STRAIN-RELIEF SUPPORTS GRIPS SHALL BE HUBBELL KELLEMS OR APPROVED EQUAL. CABLES SHALL BE SUPPORTED IN ACCORDANCE WITH THE NEC AND CABLE MANUFACTURER'S RECOMMENDATIONS.
- 5. ALL CONDUCTORS SHALL BE TAGGED AT BOTH ENDS OF THE CONDUCTOR. AT ALL PULL BOXES. J-BOXES. EQUIPMENT AND CABINETS AND SHALL BE IDENTIFIED WITH APPROVED PLASTIC TAGS (ACTION CRAFT, BRADY, OR APPROVED EQUAL).
- C. DISCONNECT SWITCHES:
- DISCONNECT SWITCHES SHALL BE HEAVY DUTY, DEAD-FRONT, QUICK-MAKE, QUICK-BREAK, EXTERNALLY OPERABLE, HANDLE LOCKABLE AND INTERLOCK WITH COVER IN CLOSED POSITION, RATING AS INDICATED, UL LABELED FURNISHED IN NEMA 3R ENCLOSURE, SQUARE-D OR ENGINEER APPROVED EQUAL.

D. SYSTEM GROUNDING

- 1. ALL GROUNDING COMPONENTS SHALL BE TINNED AND GROUNDING CONDUCTOR SHALL BE #2 AWG BARE, SOLID, TINNED, COPPER. ABOVE GRADE GROUNDING CONDUCTORS SHALL BE INSULATED WHERE NOTED.
- 2. GROUNDING BUSES SHALL BE BARE, TINNED ANNEALED COPPER BARS OF RECTANGULAR CROSS SECTION. STANDARD BUS BARS MGB, SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. THEY SHALL NOT BE FABRICATED OR MODIFIED IN THE FIELD. ALL GROUNDING BUSES SHALL BE IDENTIFIED WITH MINIMUM 3/4" LETTERS BY WAY OF STENCILING OR DESIGNATION PLATE.
- 3. CONNECTORS SHALL BE HIGH-CONDUCTIVITY, HEAVY DUTY, LISTED AND LABELED AS GROUNDING CONNECTORS FOR THE MATERIALS USED. USE TWO-HOLE COMPRESSION LUGS WITH HEAT SHRINK FOR MECHANICAL CONNECTIONS. INTERIOR CONNECTIONS USE TWO-HOLE COMPRESSION LUGS WITH INSPECTION WINDOW AND CLEAR HEAT SHRINK
- 4. EXOTHERMIC WELDED CONNECTIONS SHALL BE PROVIDED IN KIT FORM AND SELECTED FOR THE SPECIFIC TYPES, SIZES, AND COMBINATIONS OF CONDUCTORS AND OTHER ITEMS TO BE CONNECTED.
- 5. GROUND RODS SHALL BE COPPER--CLAD STEEL WITH HIGH-STRENGTH STEEL CORE AND ELECTROLYTIC-GRADE COPPER OUTER SHEATH, MOLTEN WELDED TO CORE, 5/8"x10'-0". ALL GROUNDING RODS SHALL BE INSTALLED WITH INSPECTION SLEEVES.
- 6. INSTALL AN EQUIPMENT GROUNDING CONDUCTOR IN ALL CONDUITS IN COMPLIANCE WITH THE AT&T SPECIFICATIONS AND NEC. THE EQUIPMENT GROUNDING CONDUCTORS SHALL BE BONDED TO ALL METALLIC JUNCTION BOXES, PULLBOXES, DISCONNECT SWITCHES, STARTERS, AND EQUIPMENT.
- E. OTHER MATERIALS:
 - 1. THE CONTRACTOR SHALL PROVIDE OTHER MATERIALS, THOUGH NOT SPECIFICALLY DESCRIBED, WHICH ARE REQUIRED FOR A COMPLETELY OPERATIONAL SYSTEM AND PROPER INSTALLATION OF THE WORK.
- 2. PROVIDE PULL BOXES AND JUNCTION BOXES WHERE SHOWN OR REQUIRED BY NEC.
- F. PANELS AND LOAD CENTERS:
- 1. ALL PANEL LABELS AND SCHEDULES SHALL BE TYPEWRITTEN

EXECUTION

GENERAL

- A. ALL MATERIAL AND EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- B. EQUIPMENT SHALL BE TIGHTLY COVERED AND PROTECTED AGAINST DIRT OR WATER, AND AGAINST CHEMICAL OR MECHANICAL INJURY DURING INSTALLATION AND CONSTRUCTION PERIODS.

LABOR AND WORKMANSHIP

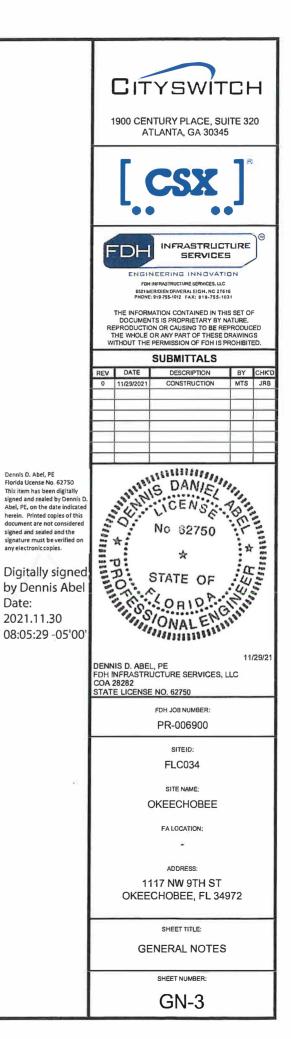
- A. ALL LABOR FOR THE INSTALLATION OF MATERIALS AND EQUIPMENT FURNISHED FOR THE ELECTRICAL SYSTEM SHALL BE INSTALLED BY EXPERIENCED WIREMEN. IN A NEAT AND WORKMAN-LIKE MANNER
- B. ALL ELECTRICAL EQUIPMENT SHALL BE ADJUSTED, ALIGNED AND TESTED BY THE CONTRACTOR AS REQUIRED TO PRODUCE THE INTENDED PERFORMANCE:
- C. UPON COMPLETION OF WORK, THE CONTRACTOR SHALL THOROUGHLY CLEAN ALL EXPOSED EQUIPMENT, REMOVE ALL LABELS AND ANY DEBRIS, CRATING OR CARTONS AND LEAVE THE INSTALLATION FINISHED AND READY FOR OPERATION

Dennis D. Abel, PE

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Date:



ELECTRICAL NOTES (CONTINUED)

COORDINATION

A. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ELECTRICAL ITEMS WITH THE OWNER-FURNISHED EQUIPMENT DELIVERY SCHEDULE TO PREVENT UNNECESSARY DELAYS IN THE TOTAL WORK

INSTALLATION.

A. CONDUIT:

- 1. ALL ELECTRICAL WIRING SHALL BE INSTALLED IN CONDUIT AS SPECIFIED. NO CONDUIT OR TUBING OF LESS THAN 3/4 INCH TRADE SIZE.
- 2. PROVIDE RIGID PVC SCHEDULE 80 CONDUITS FOR ALL RISERS, OR WHERE RIGID OTHERWISE NOTED.
- 3. INSTALL SCHEDULE 40 PVC CONDUIT WITH A MINIMUM COVER OF 24" UNDER ROADWAYS, PARKING LOTS, STREETS, AND ALLEYS. CONDUIT SHALL HAVE A MINIMUM COVER OF 18" IN ALL OTHER NON-TRAFFIC APPLICATIONS (REFER TO 2017 NEC, TABLE 300.5).
- 4. USE GALVANIZED FLEXIBLE STEEL CONDUIT WHERE DIRECT CONNECTION TO EQUIPMENT WITH MOVEMENT, VIBRATION, OR FOR EASE OF MAINTENANCE. USE LIQUID TIGHT, FLEXIBLE METAL CONDUIT FOR OUTDOOR APPLICATIONS. INSTALL GALVANIZED FLEXIBLE STEEL CONDUIT AT ALL POINTS OF CONNECTION TO EQUIPMENT MOUNTED ON SUPPORT TO ALLOW FOR EXPANSION AND CONTRACTION.
- 5 A RUN OF CONDUIT BETWEEN BOXES OR FOUIPMENT SHALL NOT CONTAIN MORE THAN THE EQUIVALENT OF THREE 90 DEGREE BENDS MAX. CONDUIT BEND SHALL BE MADE WITH THE UL LISTED BENDER OR FACTORY 90 DEGREE ELBOWS MAY BE USED.
- 6. FIELD FABRICATED CONDUITS SHALL BE CUT SQUARE WITH A CONDUIT CUTTING TOOL AND REAMED TO PROVIDE A SMOOTH INSIDE SURFACE.
- 7. PROVIDE INSULATED GROUNDING BUSHING FOR ALL CONDUITS.
- 8. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL CONDUITS DURING CONSTRUCTION. TEMPORARY OPENINGS IN THE CONDUIT SYSTEM SHALL BE PLUGGED OR CAPPED TO PREVENT ENTRANCE OF MOISTURE OR FOREIGN MATTER. CONTRACTOR SHALL REPLACE ANY CONDUITS CONTAINING FOREIGN MATERIALS THAT CANNOT BE REMOVED.
- 9. ALL CONDUITS SHALL BE SWABBED CLEAN BY PULLING AN APPROPRIATE SIZE MANDREL THROUGH THE CONDUIT BEFORE INSTALLATION OF CONDUCTORS OR CABLES. CONDUIT SHALL BE FREE OF DIRT AND DEBRIS.
- 10. INSTALL PULL STRINGS IN ALL CLEAN EMPTY CONDUITS. IDENTIFY PULL STRINGS AT FACH END
- 11. INSTALL 2" HIGHLY VISIBLE AND DETECTABLE TAPE 12" ABOVE ALL UNDERGROUND CONDUITS AND CONDUCTORS.
- 12. CONDUITS SHALL BE INSTALLED IN SUCH A MANNER AS TO INSURE AGAINST COLLECTION OF TRAPPED CONDENSATION.
- 13. PROVIDE CORE DRILLING AS NECESSARY FOR PENETRATIONS TO ALLOW FOR RACEWAYS AND CABLES TO BE ROUTED THROUGH THE BUILDING. DO NOT PENETRATE STRUCTURAL MEMBERS AND/OR SLEEVES. PENETRATIONS IN FIRE RATED CONSTRUCTION SHALL BE EFFECTIVELY SEALED WITH FIRE RATED MATERIAL WHICH SHALL MAINTAIN THE FIRE RATING OF THE WALL OR STRUCTURE. FIRE STOPS AT FLOOR PENETRATIONS SHALL PREVENT PASSAGE OF WATER, SMOKE, FIRE, AND FUMES. ALL MATERIAL SHALL BE UL APPROVED FOR THE PURPOSE.

B. CONDUCTORS AND CABLE:

- 1. SPLICES SHALL BE MADE ONLY AT OUTLETS, JUNCTION BOXES, OR ACCESSIBLE RACEWAY CONDUITS APPROVED FOR THIS PURPOSE
- 2. PULLING LUBRICANTS SHALL BE UL APPROVED. CONTRACTOR SHALL USE NYLON OR HEMP ROPE FOR PULLING CONDUCTOR OR CABLES INTO THE CONDUIT
- 3. CABLES SHALL BE NEATLY TRAINED, WITHOUT INTERLACING, AND BE OF SUFFICIENT LENGTH IN ALL BOXES AND EQUIPMENT TO PERMIT MAKING A NEAT ARRANGEMENT. CABLES SHALL BE SECURED IN A MANNER TO AVOID TENSION ON CONDUCTORS OR TERMINALS. CONDUCTORS SHALL BE PROTECTED FROM MECHANICAL INJURY AND MOISTURE. SHARP BENDS OVER CONDUIT BUSHINGS IS PROHIBITED. DAMAGED CABLES SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.

C DISCONNECT SWITCHES.

- 1. INSTALL DISCONNECT SWITCHES LEVEL AND PLUMB, CONNECT TO WIRING SYSTEM AND GROUNDING SYSTEM AS INDICATED.
- D. GROUNDING:
 - 1. ALL METALLIC PARTS OF ELECTRICAL EQUIPMENT WHICH DO NOT CARRY CURRENT SHALL BE GROUNDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING MANUFACTURER, AT&T GROUNDING AND BONDING STANDARDS, LATEST EDITION, AND COMPLY WITH AT&T GROUNDING CHECKLIST, LATEST VERSION, AND THE NATIONAL ELECTRICAL CODE.
 - PROVIDE ELECTRICAL GROUNDING AND BONDING SYSTEM INDICATED WITH ASSEMBLY OF 2. MATERIALS, INCLUDING GROUNDING ELECTRODES, BONDING JUMPERS AND ADDITIONAL ACCESSORIES AS REQUIRED FOR A COMPLETE INSTALLATION.

- 3. ALL GROUNDING CONDUCTORS SHALL PROVIDE A STRAIGHT DOWNWARD PATH TO GROUND WITH GRADUAL BEND AS REQUIRED. GROUNDING CONDUCTORS SHALL NOT BE LOOPED OR SHARPLY BENT. ROUTE GROUNDING CONNECTIONS AND CONDUCTORS TO GROUND IN THE SHORTEST AND STRAIGHTEST PATHS POSSIBLE TO MINIMIZE TRANSIENT VOLTAGE RISES.
- 4. BUILDINGS AND/OR NEW TOWERS GREATER THAN 75 FEET IN HEIGHT AND WHERE THE MAIN GROUNDING CONDUCTORS ARE REQUIRED TO BE ROUTED TO GRADE, THE CONTRACTOR SHALL ROUTE TWO GROUNDING CONDUCTORS FROM THE ROOFTOP, TOWER, AND WATER TOWERS GROUNDING RING, TO THE EXISTING GROUNDING SYSTEM, THE GROUNDING CONDUCTORS SHALL NOT BE SMALLER THAN 2/0 AWG COPPER. ROOFTOP GROUNDING RING SHALL BE BONDED TO THE EXISTING GROUNDING SYSTEM, THE BUILDING STEEL COLUMNS, LIGHTNING PROTECTION SYSTEM, AND BUILDING MAIN WATER LINE (FERROUS OR NONFERROUS METAL PIPING ONLY). SEE STANDARD 6.3.2.2
- 5. TIGHTEN GROUNDING AND BONDING CONNECTORS, INCLUDING SCREWS AND BOLTS, IN ACCORDANCE WITH MANUFACTURER'S PUBLISHED TORQUE TIGHTENING VALUES FOR CONNECTORS AND BOLTS. WHERE MANUEACTURER'S TOROLING REQUIREMENTS ARE NOT AVAILABLE TIGHTEN CONNECTIONS TO COMPLY WITH TIGHTENING TORQUE VALUES SPECIFIED IN UL TO ASSURE PERMANENT AND EFFECTIVE GROUNDING
- CONTRACTOR SHALL VERIFY THE LOCATIONS OF GROUNDING TIE-IN-POINTS TO THE EXISTING 6. GROUNDING SYSTEM, ALL UNDERGROUND GROUNDING CONNECTIONS SHALL BE MADE BY THE EXOTHERMIC WELD PROCESS AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS
- ALL GROUNDING CONNECTIONS SHALL BE INSPECTED FOR TIGHTNESS. EXOTHERMIC WELDED 7. CONNECTIONS SHALL BE APPROVED BY THE INSPECTOR HAVING JURISDICTION BEFORE BEING PERMANENTLY CONCEALED
- APPLY CORROSION-RESISTANT FINISH TO FIELD CONNECTIONS AND PLACES WHERE FACTORY 8. APPLIED PROTECTIVE COATINGS HAVE BEEN DESTROYED. USE KOPR-SHIELD ANTI-OXIDATION COMPOUND ON ALL COMPRESSION GROUNDING CONNECTIONS.
- 9. A SEPARATE, CONTINUOUS, INSULATED EQUIPMENT GROUNDING CONDUCTOR SHALL BE INSTALLED IN ALL FEEDER AND BRANCH CIRCUITS.
- 10. BOND ALL INSULATED GROUNDING BUSHINGS WITH A BARE #6 AWG GROUNDING CONDUCTOR TO A GROUND BUS
- 11. DIRECT BURIED GROUNDING CONDUCTORS SHALL BE INSTALLED AT A NOMINAL DEPTH OF 30" MINIMUM BELOW GRADE, OR 6" BELOW THE FROST LINE, USE THE GREATER OF THE TWO DISTANCES
- 12. ALL GROUNDING CONDUCTORS EMBEDDED IN OR PENETRATING CONCRETE SHALL BE INSTALLED IN SCHEDULE 40 PVC CONDUIT
- 13. DRIVE GROUND RODS UNTIL TOPS ARE A MINIMUM DISTANCE OF 30" DEPTH OR 6" BELOW FROST LINE. USING THE GREATER OF THE TWO DISTANCES.
- 14. CONTRACTOR SHALL REPAIR, AND/OR REPLACE, EXISTING GROUNDING SYSTEM COMPONENTS DAMAGED DURING CONSTRUCTION AT THE CONTRACTORS EXPENSE.

ACCEPTANCE TESTING

- A. CERTIFIED PERSONNEL USING CERTIFIED EQUIPMENT SHALL PERFORM REQUIRED TESTS AND SUBMIT WRITTEN TEST REPORTS UPON COMPLETION.
- B. WHEN MATERIAL AND/OR WORKMANSHIP IS FOUND NOT TO COMPLY WITH THE SPECIFIED REQUIREMENTS, THE NON-COMPLYING ITEMS SHALL BE REMOVED FROM THE PROJECT SITE AND REPLACED WITH ITEMS COMPLYING WITH THE SPECIFIED REQUIREMENTS PROMPTLY AFTER RECEIPT OF NOTICE FOR NON-COMPLIANCE.

C. TEST PROCEDURES:

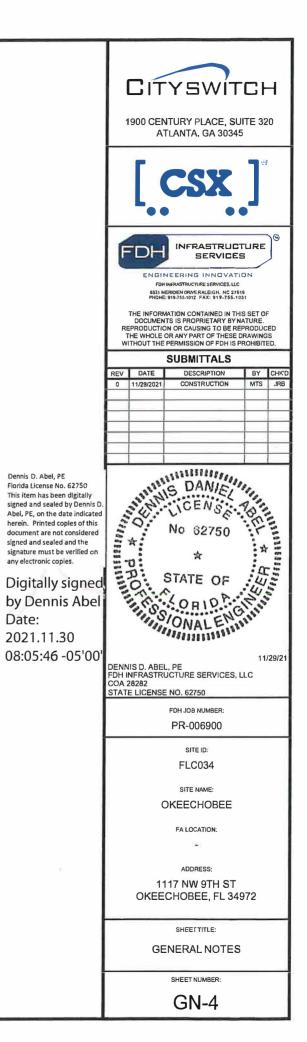
- ALL FEEDERS SHALL HAVE INSULATION TESTED AFTER INSTALLATION, BEFORE CONNECTION TO DEVICES. THE CONDUCTORS SHALL TEST FREE FROM SHORT CIRCUITS AND GROUNDS. TESTING 1 SHALL BE FOR ONE MINUTE USING 1000V DC. PROVIDE WRITTEN DOCUMENTATION FOR ALL TEST **RESULTS**
- PRIOR TO ENERGIZING CIRCUITRY, TEST WIRING DEVICES FOR ELECTRICAL CONTINUITY AND PROPER 2 POLARITY CONNECTIONS.
- MEASURE AND RECORD VOLTAGES BETWEEN PHASES AND BETWEEN PHASE CONDUCTORS AND 3. NEUTRALS SUBMIT A REPORT OF MAXIMUM AND MINIMUM VOLTAGES.
- PERFORM GROUNDING TEST TO MEASURE GROUNDING RESISTANCE OF GROUNDING SYSTEM USING 4. THE IEEE STANDARD 3-POINT "FALL-OF-POTENTIAL" METHOD. PROVIDE PLOTTED TEST VALUES AND LOCATION SKETCH. NOTIFY THE ENGINEER IMMEDIATELY IF MEASURED VALUE IS OVER 5 OHMS.

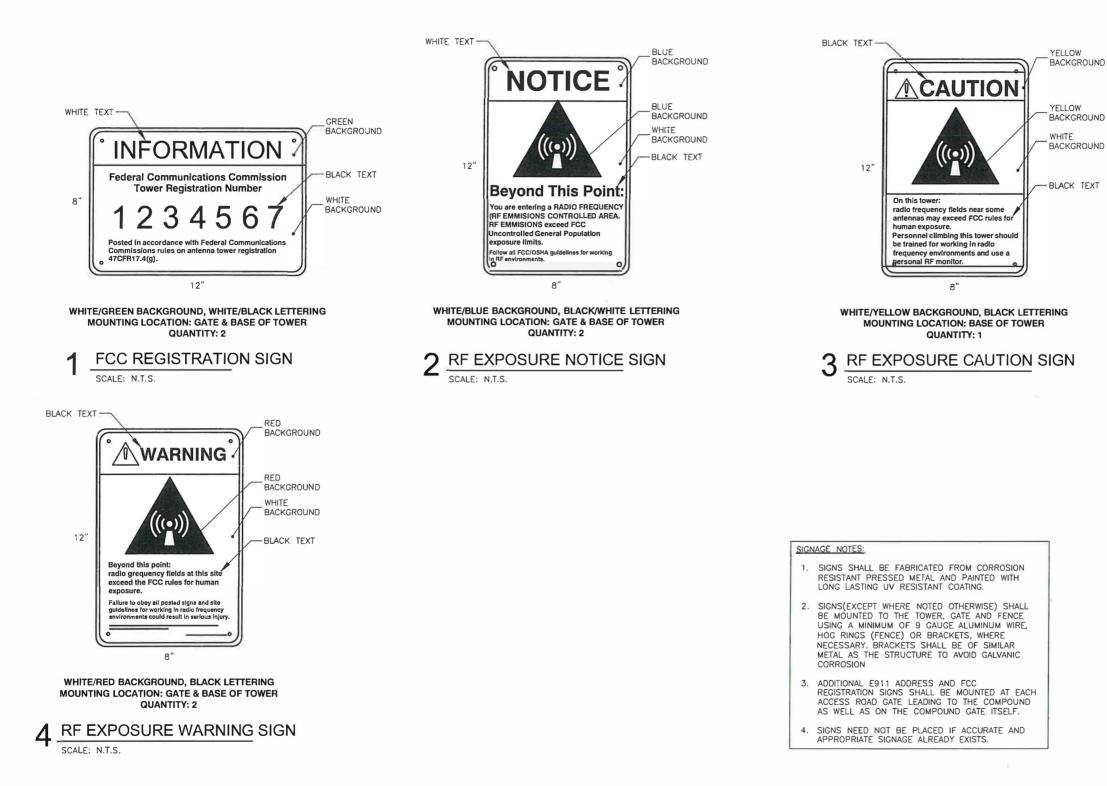
Dennis D. Abel, PE

any electronic copies.

2021.11.30

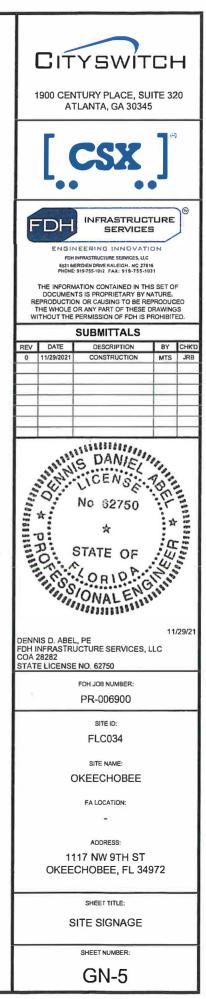
Date:





Dennis D. Abel, PE Florida License No. 62750 This item has been digitally signed and sealed by Dennis D. Abel, PE, on the date indicated herein Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Digitally signed by Dennis Abel Date: 2021.11.30 08:06:10 -05'00'



NOTES:

- 1. THIS PLAN IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.
- 2. NO SIGNIFICANT NOISE, SMOKE, DUST, OR ODOR WILL RESULT FROM THIS FACILITY.
- 3. THE FACILITY IS UNMANNED AND NOT INTENDED FOR HUMAN HABITATION, THERE IS NO HANDICAP ACCESS REQUIRED.
- 4. THE FACILITY IS UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SANITARY SERVICE.
- 5. UTILITIES TO BE CONFIRMED DURING SITE VISIT.
- 6. SITE PLAN AND PROPERTY LINES DEVELOPED FROM SURVEY COMPLETED BY SMW ENGINEERING GROUP. INC. DATED 9/28/2021. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- PROPOSED SITE IS LOCATED IN EXISTING FLOOD ZONE X ACCORDING TO FEMA PANEL # 12093C0415C DATED JULY 16, 2015. 7.
- CONTRACTOR WILL NOT START CONSTRUCTION UNTIL AFTER THEY HAVE RECEIVED THE PRE-CON PACKAGE AND HAVE A PRE-CON WALK WITH THE PROJECT MANAGER.
- 9. CONTRACTOR TO HIRE PUBLIC (811) AND PRIVATE LOCATING SERVICE IN ORDER TO LOCATE AND PROTECT ALL SUB-SURFACE UTILITES. DO NOT SCAL OFF THESE PLANS FOR ANY BELOW GRADE UTILITIES.
- 10. CONTRACTOR SHALL VERIFY ALL EXISTING BURIED AND OVERHEAD UTILITES PIOR TO EXCAVATION. CONTRACTOR SHALL REPAIR ALL DAMAGED UTILITIES AT HIS OWN COST AND COORDINATE ANY REPAIRS WITH RESPECTIVE UTILITY COMPANY.
- 11. CONTRACTOR TO VERIFY ALL HEIGHTS AND AZIMUTHS IN FIELD PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY CARRIER AND ENGINEERING FIRM OF ANY DISCREPANCIES BEFORE PROCEEDING.
- 12. CONTRACTOR SHALL RESTORE AND REPAIR ANY DAMAGED AREAS CAUSED BY CONSTRUCTION

PARCEL INFORMATION:

ZONING: INDUSTRIAL

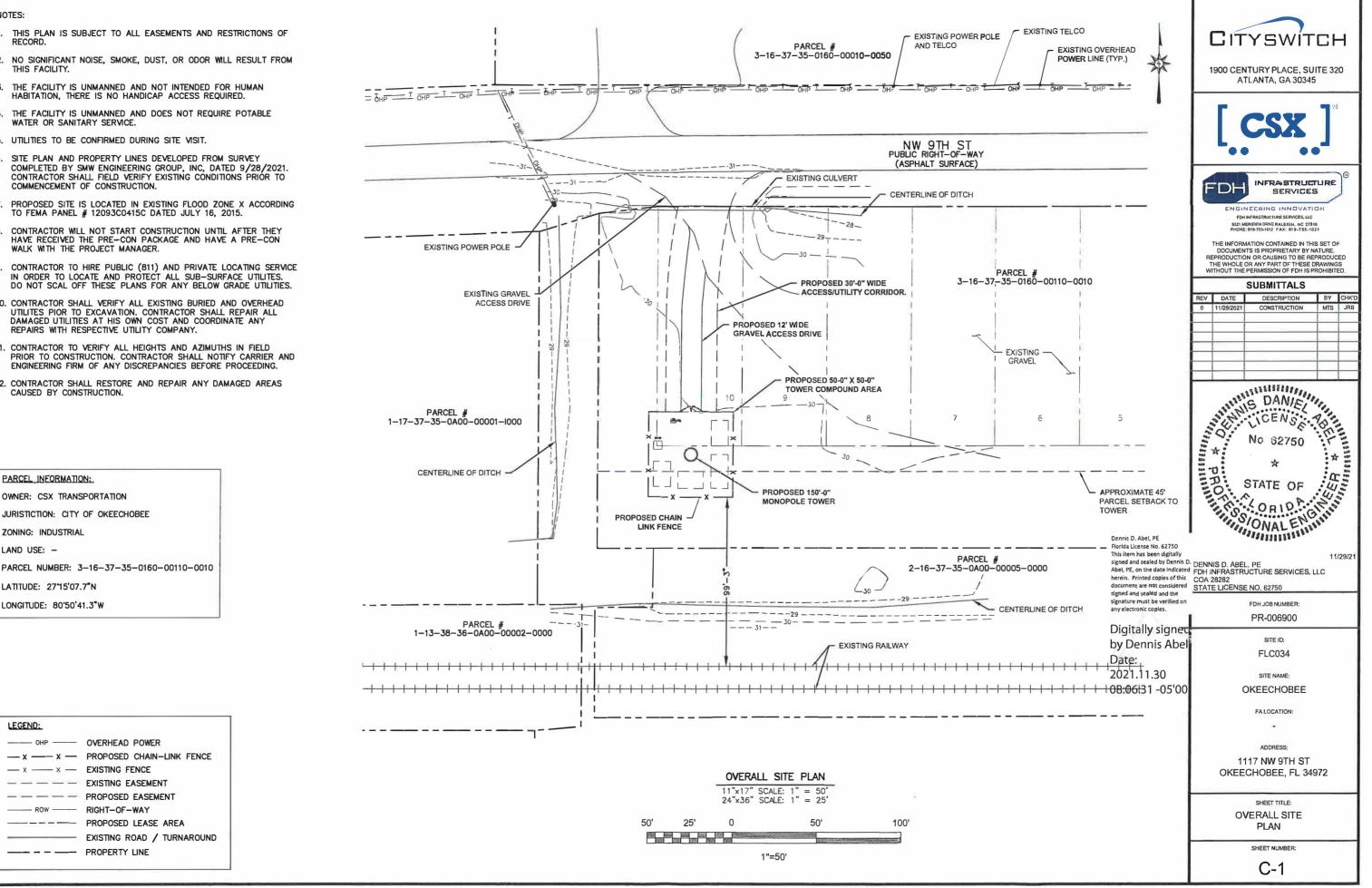
LATITUDE: 27"15'07.7"N

LONGITUDE: 80'50'41.3"W

LAND USE: -

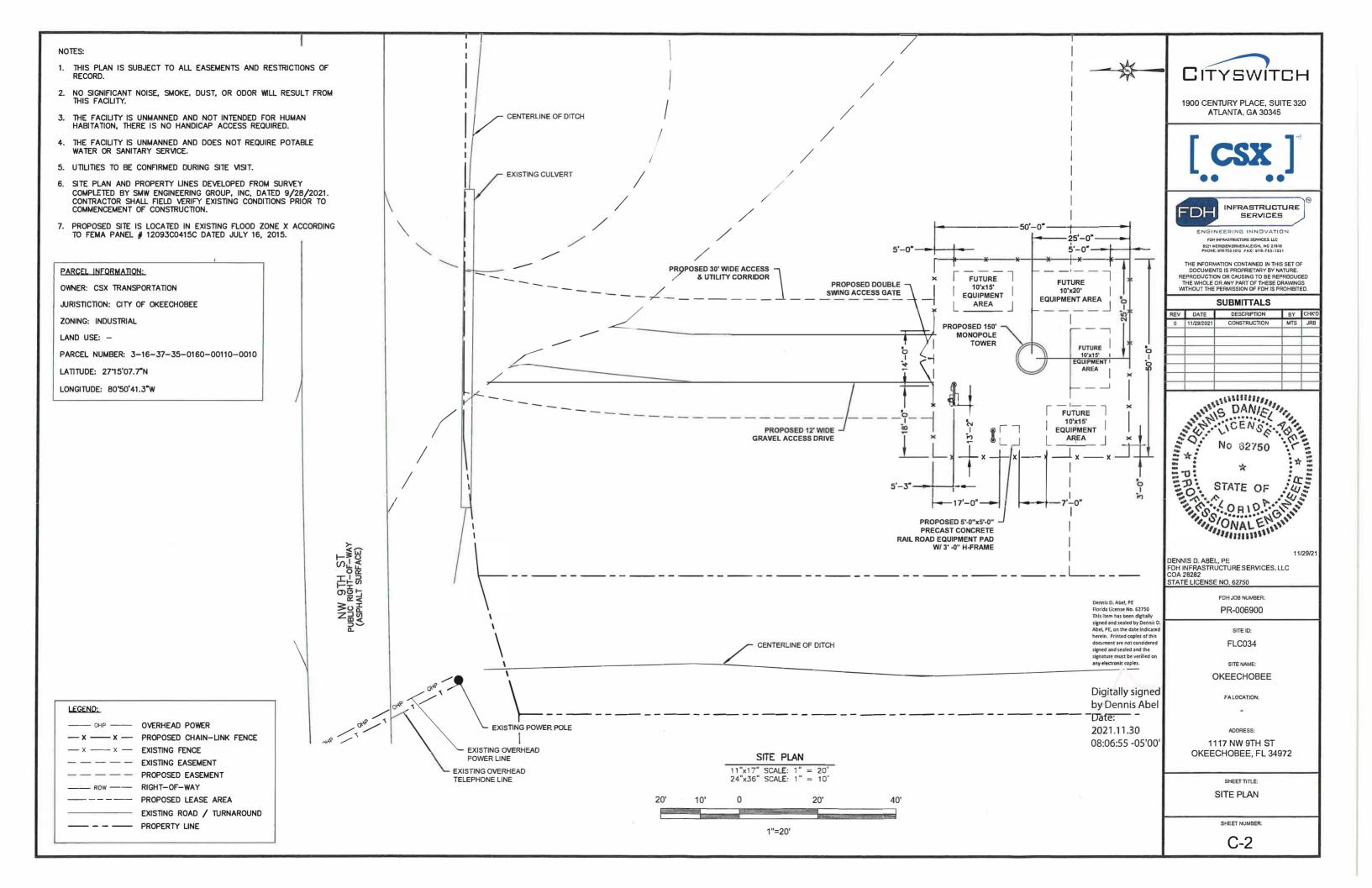
OWNER: CSX TRANSPORTATION

JURISTICTION: CITY OF OKEECHOBEE



LEGEND:		
OHP	OVERHEAD POWER	
<u> </u>	PROPOSED CHAIN-LINK FENCE	
<u> </u>	EXISTING FENCE	
	EXISTING EASEMENT	
	PROPOSED EASEMENT	
ROW	RIGHT-OF-WAY	
	PROPOSED LEASE AREA	
	EXISTING ROAD / TURNAROUND	
	PROPERTY LINE	



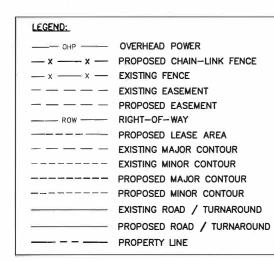


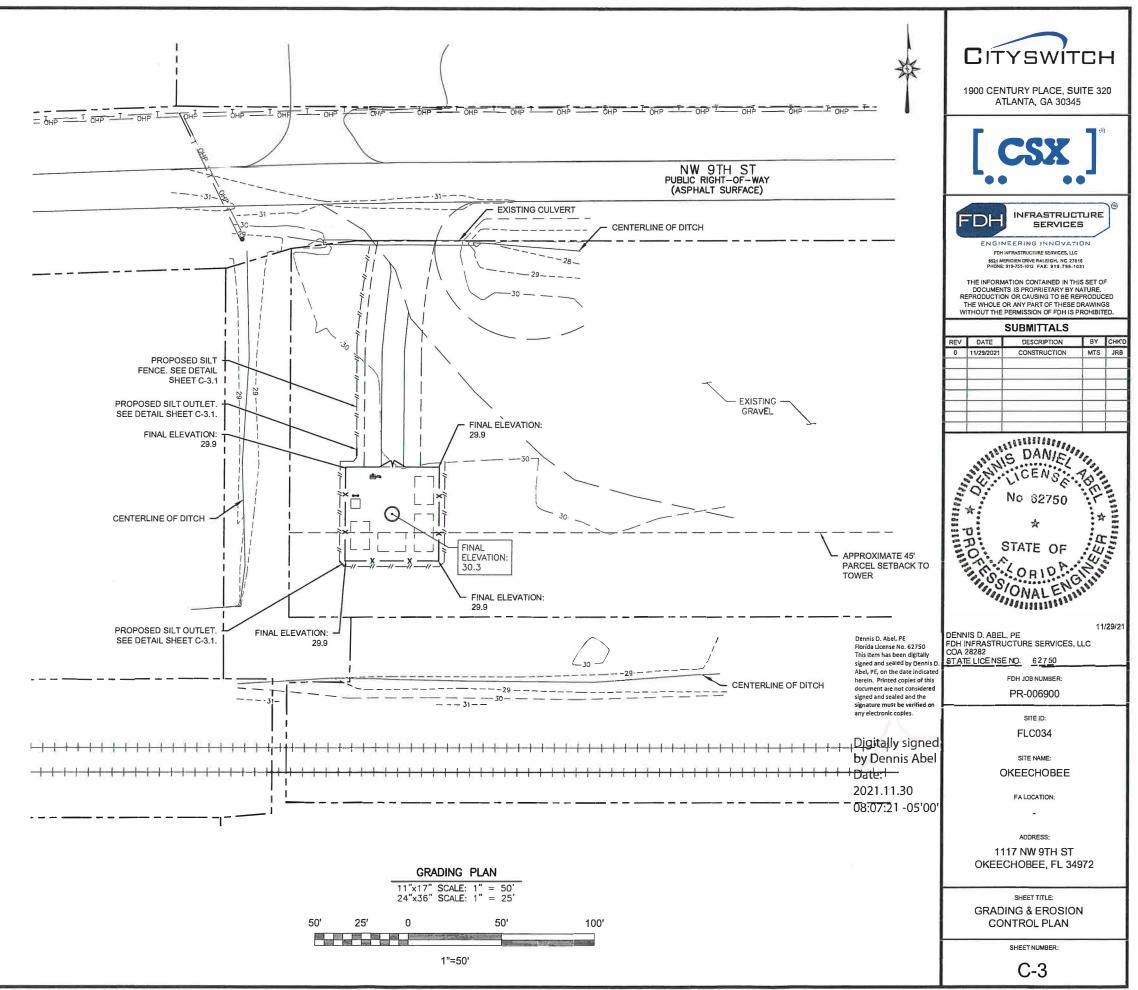
EROSION CONTROL, DRAINAGE, AND GRADING NOTES:

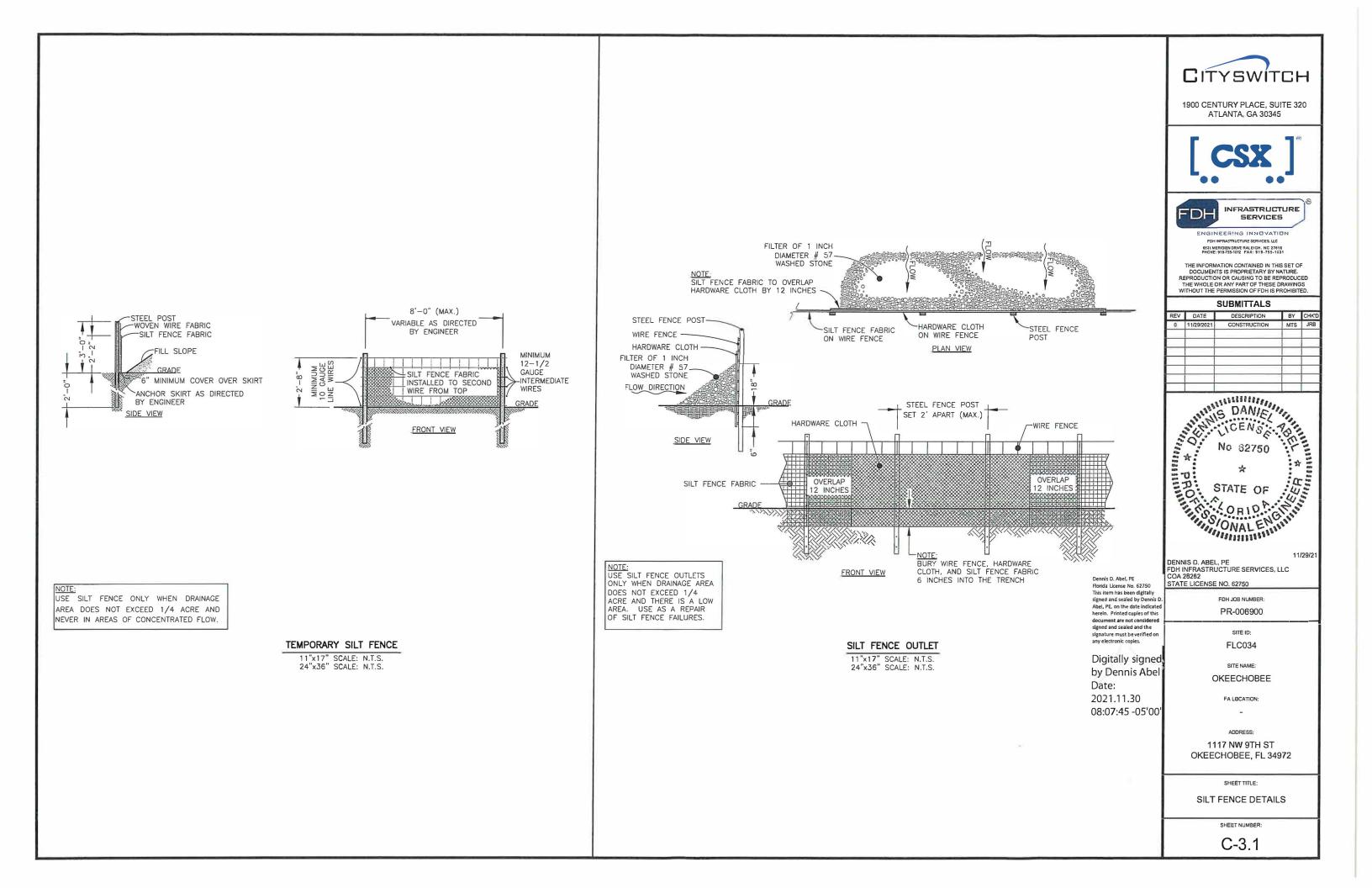
- 1. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE RULES AND REGULATIONS FOR EROSION AND SEDIMENT CONTROL FOR THE AGENCY(IES) HAVING JURISDICTION OVER CLEARING AND GRADING OPERATIONS. AS A MINIMUM, ALL WORK SHALL COMPLY WITH THE LATEST PROVISIONS OF THE INTERNATIONAL BUILDING CODE. UTILIZE BEST MANAGEMENT PRACTICES (BMP) PRESCRIBED BY IBD TO PREVENT EROSION OF ON-SITE SOILS AND TRANSPORT OF THESE SOILS TO DOWNSTREAM PROPERTIES OR WATER BODIES. SPECIFIC BMP'S TO BE EMPLOYED INCLUDE, BUT ARE NOT LIMITED TO, A TEMPORARY CONSTRUCTION ENTRANCE, SILT FENCE AT THE BASE OF FILL SLOPES AND AROUND STOCKPILE AREAS, CHECK DAMS IN THE FLOW LINE OF SWALES AND DITCHES, AND TEMPORARY AND PERMANENT SEEDING.
- 2. CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS AS NECESSARY DURING CONSTRUCTION ACTIVITIES TO ENSURE THE PROTECTION OF ADJACENT PROPERTIES AND WATERWAYS. EXCEPT AS MAY BE REQUIRED TO INSTALL THE MEASURES, NO GRADING SHALL BE PERFORMED UNTIL THE TEMPORARY CONSTRUCTION ENTRANCE, SILT FENCE AND OTHER APPROPRIATE MEASURES ARE IN PLACE.
- 3. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
 - A. SEVEN CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND
 - B. FOURTEEN DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- 4. THE CONTRACTOR IS RESPONSIBLE FOR MONITORING DOWNSTREAM CONDITIONS THROUGHOUT THE CONSTRUCTION PERIOD AND CLEARING ANY DEBRIS AND SEDIMENT CAUSED BY CONSTRUCTION.
- 5. ALL EROSION CONTROL MEASURES WILL BE CHECKED DAILY AND ANY DEFICIENCIES NOTED WILL BE CORRECTED BY THE END OF EACH DAY. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY AFTER ON-SITE INSPECTION.
- 6. ALL MATERIAL EXCAVATED TO PROVIDE FOR FINISHED GRADES APPROXIMATELY EQUAL TO EXISTING GRADE SHALL BE REMOVED FROM SITE AND DISPOSED OF AT PERMITTED DISPOSAL SITE.
- 7. SILT FENCE SHALL INITIALLY BE PLACED ALONG THE NORTHERN AND EASTERN LIMITS OF PROJECT DISTURBANCE. THE NORTHERN LIMITS ARE ALSO WHERE PERMANENT CHAIN LINK FENCING IS PROPOSED TO BE INSTALLED. AT THE TIME OF INSTALLATION OF THE CHAIN LINK FENCING, THE SILT FENCE THAT IS IN THE PROPOSED LOCATION OF THE CHAIN LINK FENCE WILL BE REMOVED. AS SOON AS THE CHAIN LINK FENCE HAS BEEN INSTALLED, PROVIDE CONTINUOUS STAKED BIODEGRADABLE WATTLES ALONG THE INTERIOR FACE OF THE CHAIN LINK FENCE ALONG ITS NORTHERN AND EASTERN COMPOUND BOUNDARY.

EROSION CONTROL CONSTRUCTION SEQUENCE:

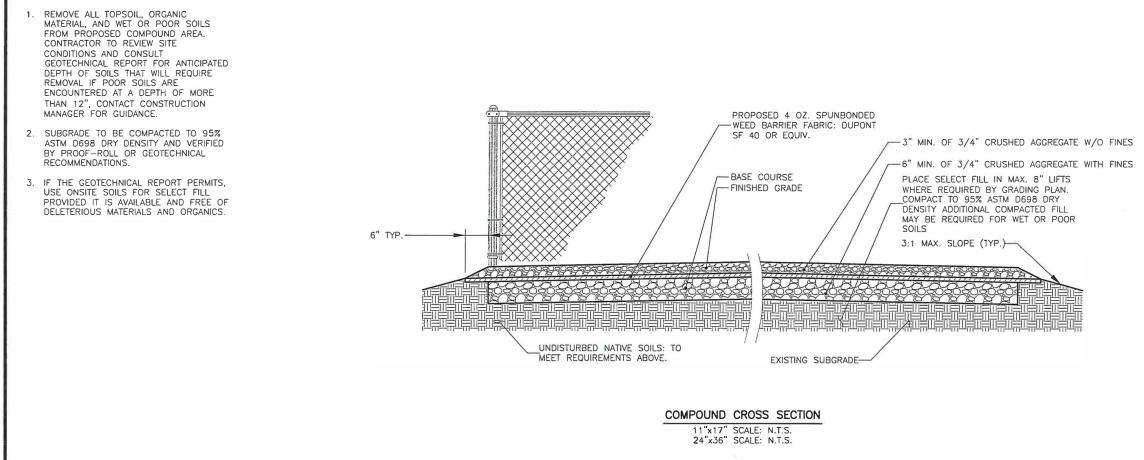
- 1. THE CONTRACTOR SHALL DESIGNATE AN ESC COORDINATOR FOR THE SITE AND COMMUNICATE TO THE OWNER AND ENGINEER;
- 2. INSTALL SILT FENCE WHERE SHOWN;
- 3. COMMENCE WITH GRADING ACTIVITIES;
- 4. INSTALL EROSION CONTROL MEASURES AFTER GRADING BEGINS AS REQUIRED;
- 5. SEED AND MULCH DENUDED AREA WITHIN 7 DAYS AFTER ANY PHASE OF
- GRADING, ALSO COVER ALL EXPOSED AREAS BEFORE MAJOR STORM EVENTS; 6. MAINTAIN SOIL EROSION CONTROL MEASURES UNTIL PERMANENT GROUND COVER IS ESTABLISHED:
- 7. REQUEST FINAL APPROVAL BY OWNER;
- 7. REQUEST FINAL APPROVAL BI UWINER;
- 8. FLUSH ALL STORM PIPES AND REMOVE SEDIMENT FROM TEMPORARY BASIN(S).;
- 9. REMOVE SOIL EROSION CONTROL MEASURES AND STABILIZE THESE AREAS.











NOTES:

- REMOVE ALL TOPSOIL, ORGANIC MATERIAL, AND WET OR POOR SOILS ALONG ACCESS DRIVE. CONTRACTOR TO REVIEW SITE CONDITIONS AND CONSULT GEOTECHNICAL REPORT FOR ANTICIPATED DEPTH OF SOILS THAT WILL REQUIRE REMOVAL. IF POOR SOILS ARE ENCOUNTERED AT A DEPTH OF MORE THAN 12", CONTACT CONSTRUCTION MANAGER FOR GUIDANCE.
- 2. SUBGRADE TO BE COMPACTED TO 95% MODIFIED PROCTOR AND VERIFIED BY PROOF-ROLL OR GEOTECHNICAL RECOMMENDATIONS.
- 3. CONSULT GRADING PLAN OR SITE PLAN FOR FINAL SITE GRADES.

RESTORATION:

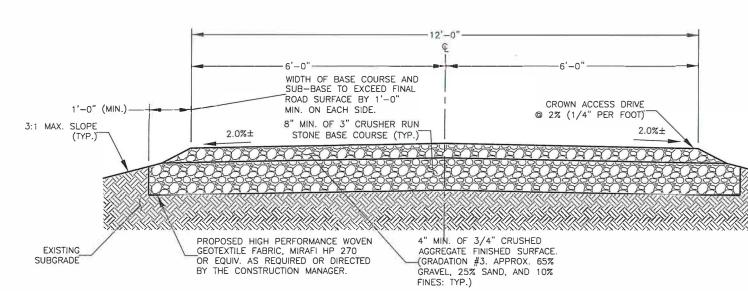
THE CONTRACTOR SHALL BE RESPONSIBLE FOR GRAVEL ACCESS DRIVE REPAIR AND RESTORATION FOLLOWING CONSTRUCTION COMPLETION. ANY DISTURBED OR DAMAGED AREAS SHALL BE RESTORED TO THEIR ORIGINAL OR BETTER CONDITION UPON COMPLETION OF WORK.

GRAVEL DRIVE REQUIREMENTS:

THICKNESS OF GRAVEL DRIVE BASE COURSE TO BE DETERMINED BASED ON THE EXISTING SOIL BEARING CAPACITY (PER UFC DESIGN RECOMMENDATIONS):

IF POOR OR WET SOILS ARE PRESENT BELOW BASE COURSE, CONTRACTOR TO INSTALL 6" MIN. WELL-GRADED GRAVEL/SAND SUB-BASE TO FACILITATE ADEQUATE DRAINAGE AND STABILITY.

FOR ACCESS DRIVE SLOPES GREATER THAN 10%, CONTRACTOR TO USE MIRAFI HP 270 OR EQUIVALENT GEOTEXTILE FABRIC.



GRAVEL DRIVE CROSS SECTION

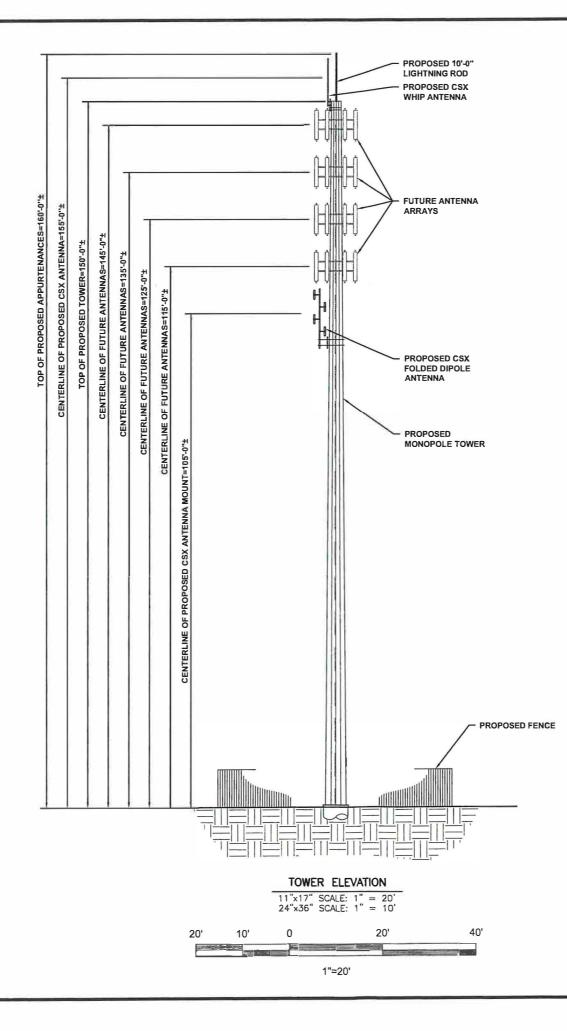
11"x17" SCALE: N.T.S. 24"x36" SCALE: N.T.S.

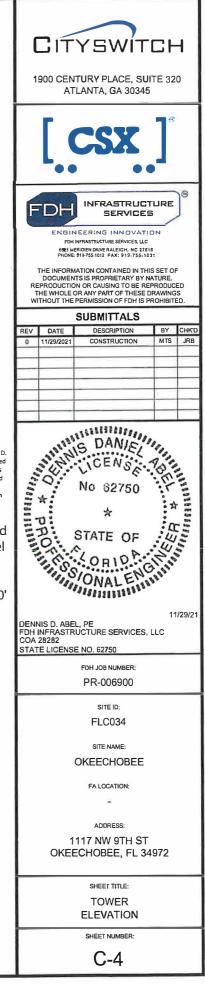
BEARING CAPACITY	REQ'D
1000 PSF	
1500 PSF	
2000 PSF	8

*A HIGH PERFORMANCE, WOVEN GEOTE: TO REPLACE 6" OF AGGREGATE (MIRAF

CITYSWITC 1900 CENTURY PLACE, SUITE						
ATLANTA, GA 30345						
	(9) (1)					
ENGINEERING INNOVATION FOH INFRASTRUCTURE SERVICES, LLC 5521 MERIOEN DRIVE FALE IGH, NC 278 16 PHONE: 919-355-1012 FAC: 919-755-1021	ENGINEERING INNOVATION FOHMRASTRUCTURE SERVICES, LLC 5231 MERRITH COMPERALEIGN AND 27815					
THE INFORMATION CONTINUED IN THIS SE DOCUMENTS IS PROPRIETARY BY NATU REPRODUCTION OR CAUSING TO BE REPRO THE WHOLE OR ANY PART OF THESE DRAW WITHOUT THE PERMISSION OF FDH IS PROH	RE. DUCED VINGS					
SUBMITTALS REV DATE DESCRIPTION E	Y CHKD					
0 11/29/2021 CONSTRUCTION M	TS JRB					
No 62750	11111111111					
Dennis D. Abel, PE Florida License No. 62750 This item has been digitally signed and sealed by Dennis O. Abel, PE, on the date indicated herein. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.	MULTER &					
signature must be verified on any electronic copies. Digitally signed	11/29/21					
by Dennis Abel For Infrastructure services, LLC COA 28282	DENNIS D. ABEL, PE FDH INFRASTRUCTURE SERVICES, LLC COA 28282					
Date: <u>STATE LICENSE NO. 62750</u> 2021.11.30 EDH JOB NUMBER:	STATE LICENSE NO. 62750					
08:08:11 -05'00' PR-006900	FDH JOB NUMBER: PR-006900					
SITE ID:	Site ID:					
FLC034	FLC034					
SITE NAME OKEECHOBEE						
FA LOCATION:						
ADDRESS:						
D AGGREGATE THICKNESS	1117 NW 9TH ST OKEECHOBEE, FL 34972					
*16" MIN. SHEET TITLE: 12" MIN. GRADING 8" MIN. (SEE DETAIL) GRADING EXTILE FABRIC MAY BE USED DETAILS	GRADING					
FI HP 270 OR EQUIVALENT) SHEET NUMBER:	SHEET NUMBER:					
C-3.2						

NOTE: THE SCOPE OF WORK DOES NOT INCLUDE A STRUCTURAL EVALUATION OF THIS TOWER OR STRUCTURE. NEW ANTENNAS AND EQUIPMENT SHOWN ON THIS PLAN HAVE NOT BEEN EVALUATED TO VERIFY THE TOWER OR STRUCTURE HAS THE CAPACITY TO ADEQUATELY SUPPORT THESE ANTENNAS. PRIOR TO ANY ANTENNA OR EQUIPMENT INSTALLATION, A STRUCTURAL EVALUATION OF THE TOWER OR STRUCTURE, INCLUDING ALL ANTENNA MOUNTING SYSTEMS & HARDWARE SHALL BE PERFORMED.





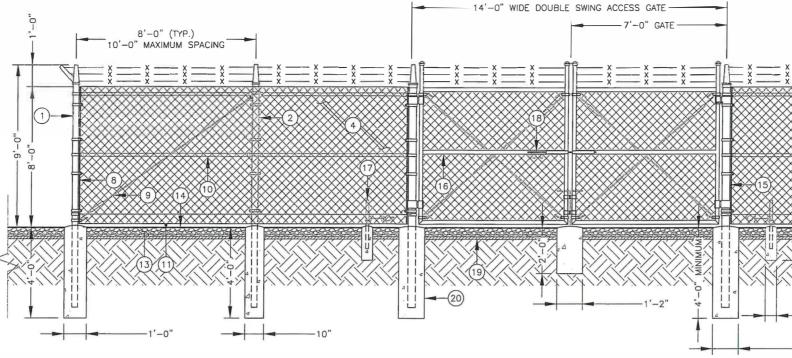
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Digitally signed by Dennis Abel Date: 2021.11.30 08:08:34 -05'00'

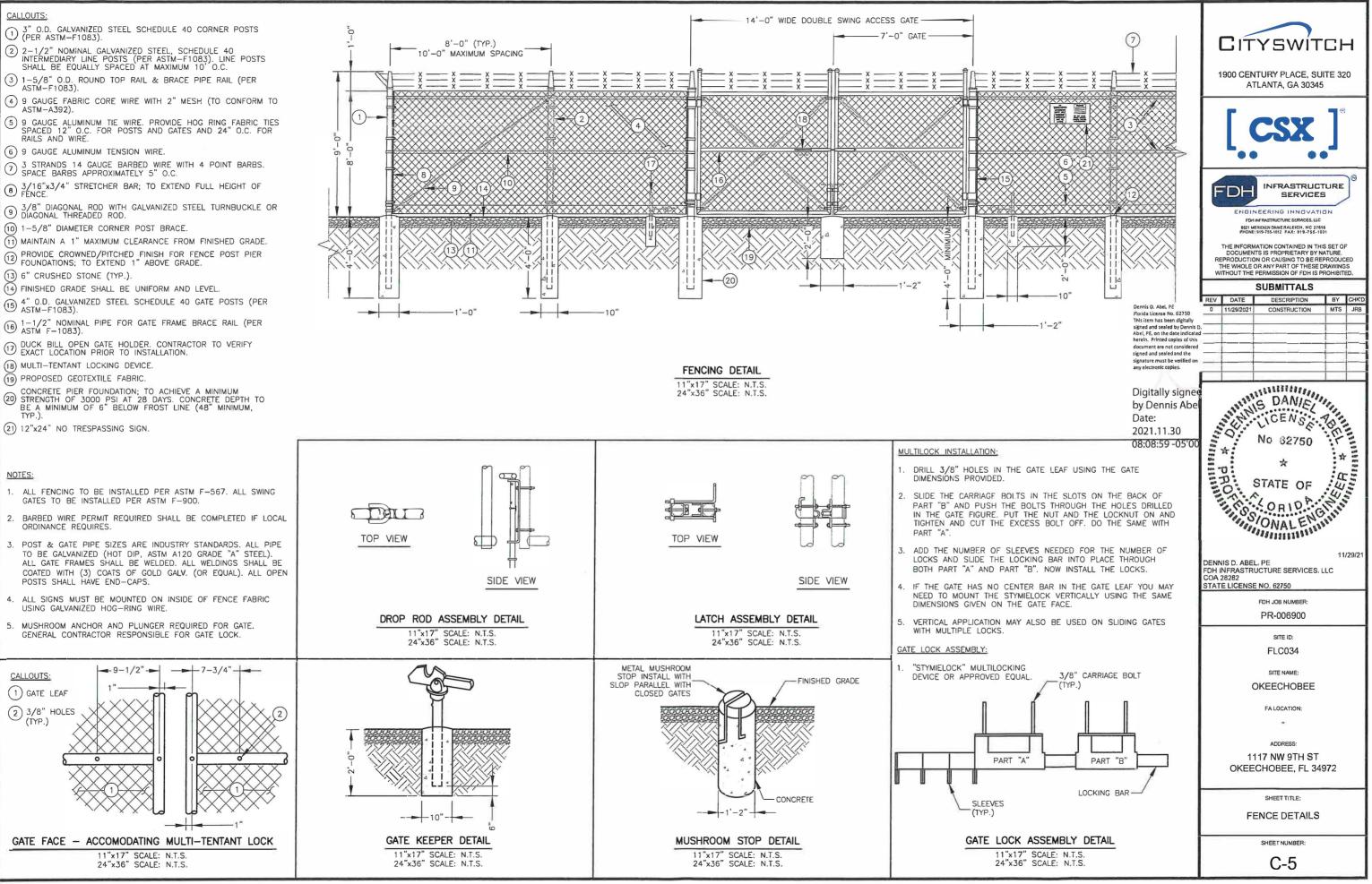
CALLOUTS:

() 3" O.D. GALVANIZED STEEL SCHEDULE 40 CORNER POSTS (PER ASTM-F1083).

- (2) 2-1/2" NOMINAL GALVANIZED STEEL, SCHEDULE 40 INTERMEDIARY LINE POSTS (PER ASTM-F1083). LINE POSTS SHALL BE EQUALLY SPACED AT MAXIMUM 10' O.C.
- (3) 1-5/8" O.D. ROUND TOP RAIL & BRACE PIPE RAIL (PER ASTM-F1083).
- (4) 9 GAUGE FABRIC CORE WIRE WITH 2" MESH (TO CONFORM TO ASTM-A392).
- (5) 9 GAUGE ALUMINUM TIE WIRE. PROVIDE HOG RING FABRIC TIES SPACED 12" O.C. FOR POSTS AND GATES AND 24" O.C. FOR RAILS AND WIRE.
- (6) 9 GAUGE ALUMINUM TENSION WIRE.
- 3 STRANDS 14 GAUGE BARBED WIRE WITH 4 POINT BARBS.
 SPACE BARBS APPROXIMATELY 5" O.C.
- 9 DIAGONAL THREADED ROD.
- (10) 1-5/8" DIAMETER CORNER POST BRACE.
- (1) MAINTAIN A 1" MAXIMUM CLEARANCE FROM FINISHED GRADE.
- $\overbrace{(2)}^{(2)}$ PROVIDE CROWNED/PITCHED FINISH FOR FENCE POST PIER $\overbrace{(2)}^{(2)}$ FOUNDATIONS; TO EXTEND 1" ABOVE GRADE.
- (13) 6" CRUSHED STONE (TYP.).
- (14) FINISHED GRADE SHALL BE UNIFORM AND LEVEL.
- $\underbrace{5}_{3}$ 4" 0.D. GALVANIZED STEEL SCHEDULE 40 GATE POSTS (PER ASTM-F1083).
- 1-1/2" NOMINAL PIPE FOR GATE FRAME BRACE RAIL (PER (16) 1-1/2 NUMILYA ASTM F-1083).
- (18) MULTI-TENTANT LOCKING DEVICE.
- (19) PROPOSED GEOTEXTILE FABRIC
- (20) CONCRETE PIER FOUNDATION; TO ACHIEVE A MINIMUM (20) STRENGTH OF 3000 PSI AT 28 DAYS. CONCRETE DEPTH TO BE A MINIMUM OF 6" BELOW FROST LINE (48" MINIMUM, TYP
- (21) 12"x24" NO TRESPASSING SIGN



FENCING DETAIL

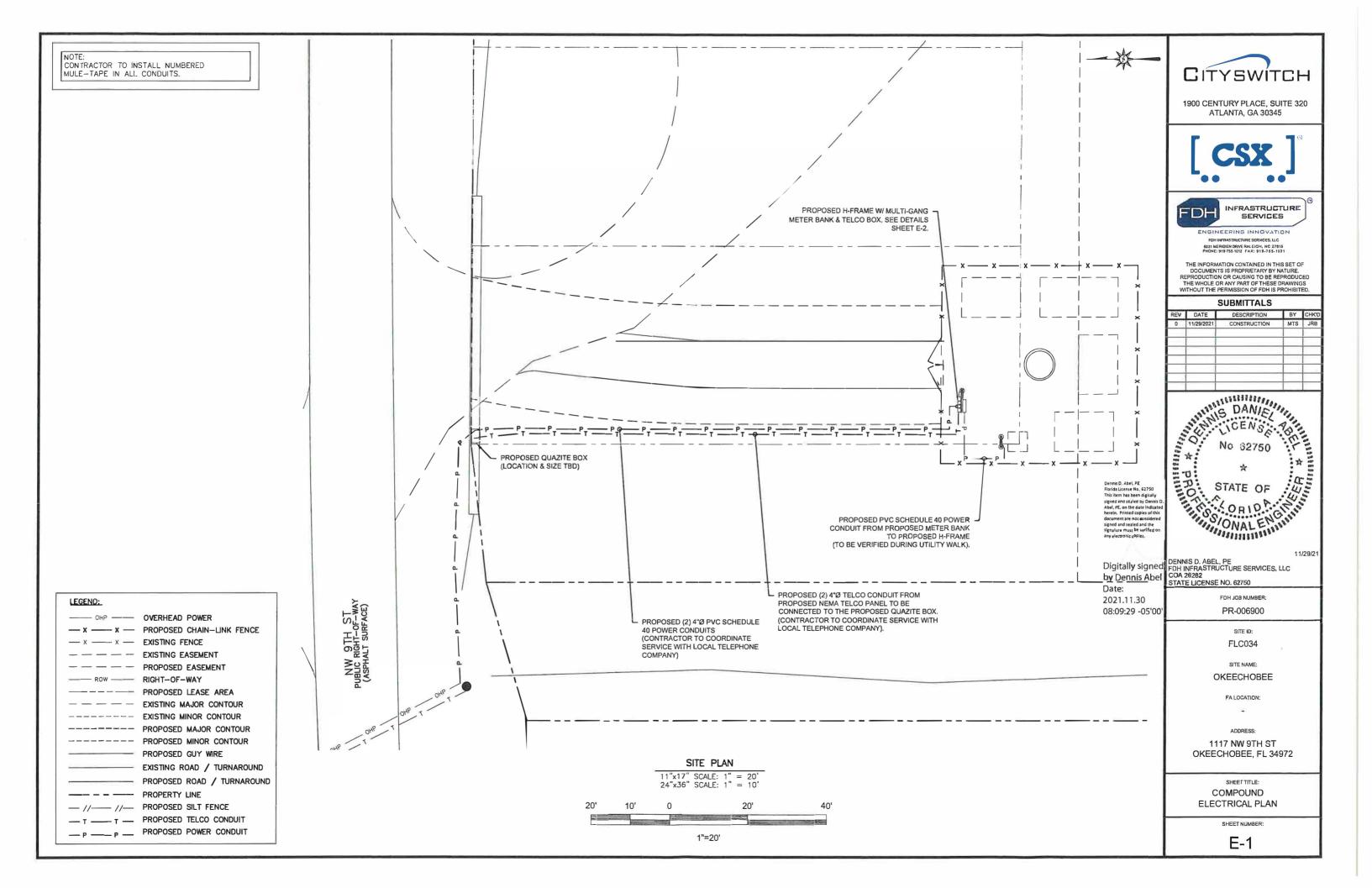


NOTES:

CALLOUTS:

(TYP.)

- ALL FENCING TO BE INSTALLED PER ASTM F-567. ALL SWING GATES TO BE INSTALLED PER ASTM F-900.
- BARBED WIRE PERMIT REQUIRED SHALL BE COMPLETED IF LOCAL 2. ORDINANCE REQUIRES.
- POST & GATE PIPE SIZES ARE INDUSTRY STANDARDS. ALL PIPE 3. TO BE GALVANIZED (HOT DIP. ASTM A120 GRADE "A" STEEL). ALL GATE FRAMES SHALL BE WELDED. ALL WELDINGS SHALL BE COATED WITH (3) COATS OF GOLD GALV. (OR EQUAL). ALL OPEN POSTS SHALL HAVE END-CAPS.
- ALL SIGNS MUST BE MOUNTED ON INSIDE OF FENCE FABRIC USING GALVANIZED HOG-RING WIRE.
- MUSHROOM ANCHOR AND PLUNGER REQUIRED FOR GATE. 5 GENERAL CONTRACTOR RESPONSIBLE FOR GATE LOCK.



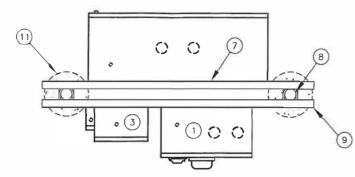
CALLOUTS:

- (1) 600A, 120/240V, 1 PHASE, 3 WIRE, 4 POSITION METERING CENTER (200A MAX CIRCUIT BREAKER) (SQUARE D METER MPR64200 OR EQUIVALENT)
- (2) 200A TENANT SERVICE DISCONNECT (SQUARE D CATALOG #QOM2200MVH OR EQUIVALENT)
- 3 200A, 120/240V, 1 PHASE, 3 WIRE, 12 POSITION LOAD CENTER (SQUARE D QO LOAD CENTER #Q0112L200GRB, OR APPROVED EQUIVALENT)
- 4 120/240V, 1-GANG COMMERCIAL GRADE OUTDOOR ELECTRICAL BOX W/ 20A COMMERCIAL GRADE DUPLEX RECEPTACLE
- (5) 80KA, 120/240V, 1 PHASE. 3 WIRE TRANSIENT VOLTAGE SURGE SUPPRESSER (TESCO CATALOG #302065 OR APPROVED EQUIVALENT)
- (6) SINGLE DOOR TELCO ENCLOSURE (4'-0"x4'-0"x18") (HOFFMAN CATALOG #CSD483612 OR APPROVED EQUIVALENT)
- 7 3/4" PLYWOOD BACKBOARD
- (8) 3" NOMINAL SCHEDULE 40, GALVANIZED STEEL PIPE WITH PIPE CAP
- (9) HORIZONTAL SUPPORT MEMBER (UNISTRUT P1000 OR APPROVED EQUIVALENT)
- (10) CONTRACTOR TO MAINTAIN 3'-O" MINIMUM CLEARANCE FROM METERING CENTER TO NEAREST OBSTRUCTION
- (1) CONCRETE PIER FOUNDATION TO ACHIEVE A MINIMUM STRENGTH OF 3000 PSI AT 28 DAYS. CONCRETE DEPTH TO BE A MINIMUM OF 6" BELOW FROST LINE (48" MINIMUM, TYP.) - SEE PIER FOUNDATION DETAIL ON SHEET C-7
- (12) #2 SOLID, TINNED, BARE COPPER LEADS TO COMPOUND GROUND RING
- (13) EXISTING SUB-GRADE

NOTE

CONTRACTOR TO INSTALL NUMBERED

MULE-TAPE IN ALL CONDUITS.



CONDUIT CHART					
CALLOUT SIZE		TYPE			
A	1"	PVC SCHEDULE 40			
В	2"	PVC SCHEDULE 40			
C	3"	PVC SCHEDULE 40			
D	4"	PVC SCHEDULE 40			



FIELD

FIELD

(13)

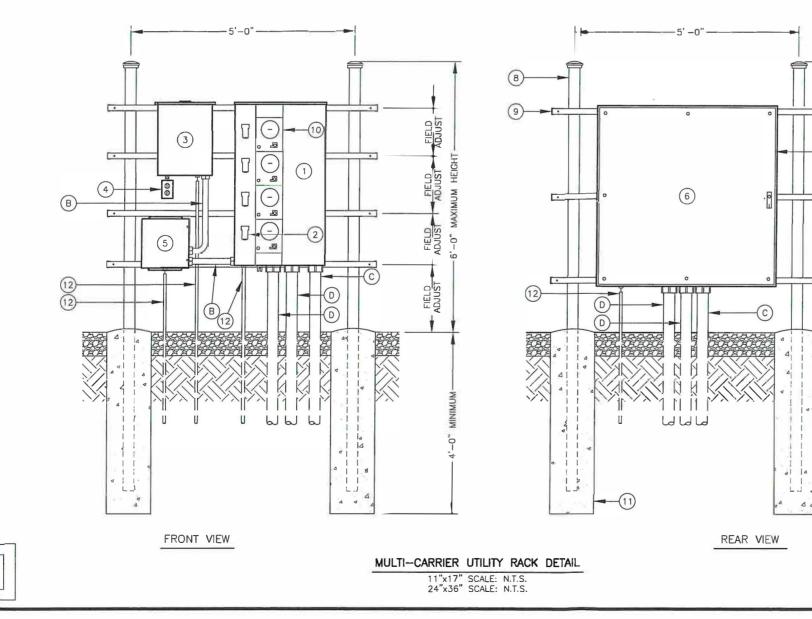
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FIELD

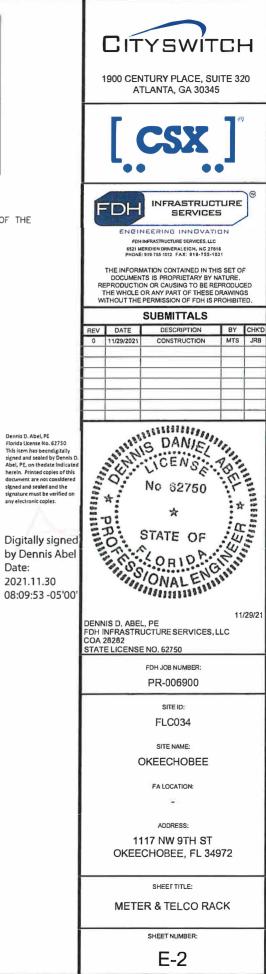
7

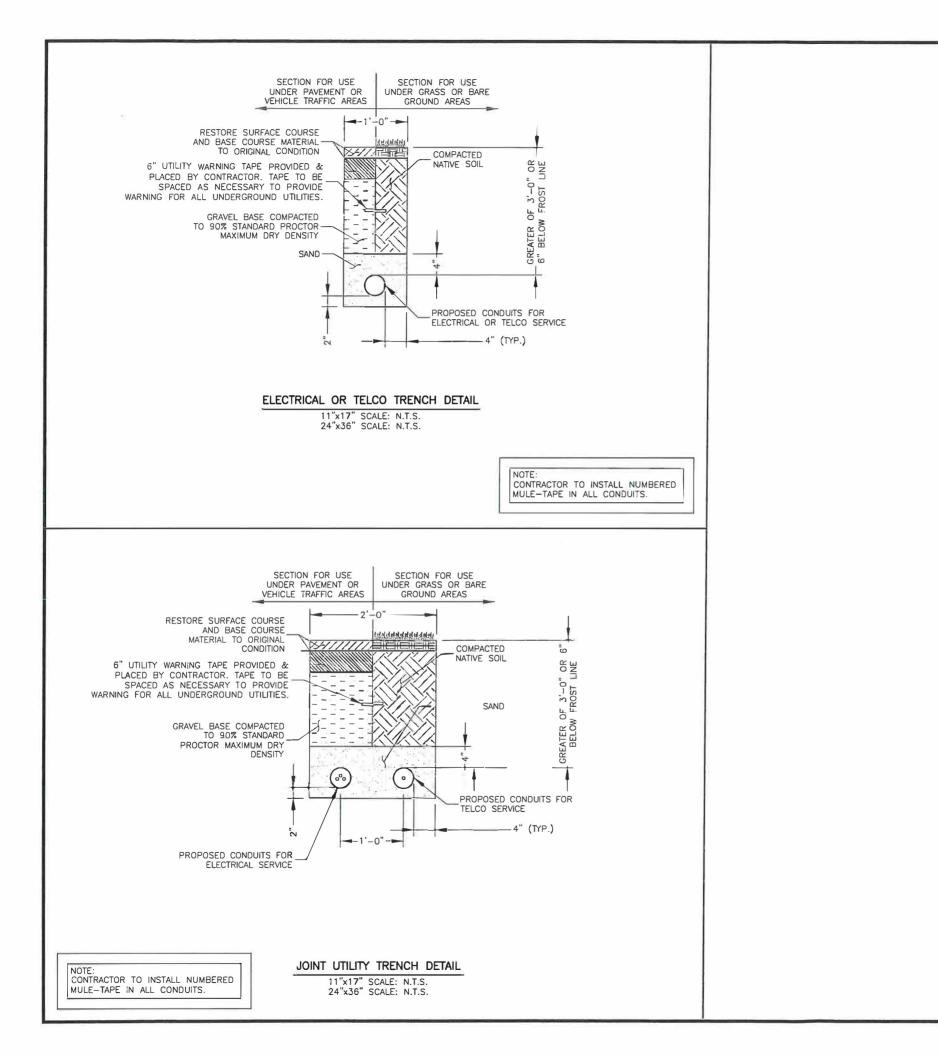
2" WEATHER HEADS CONDUIT RUN.

PLAN VIEW

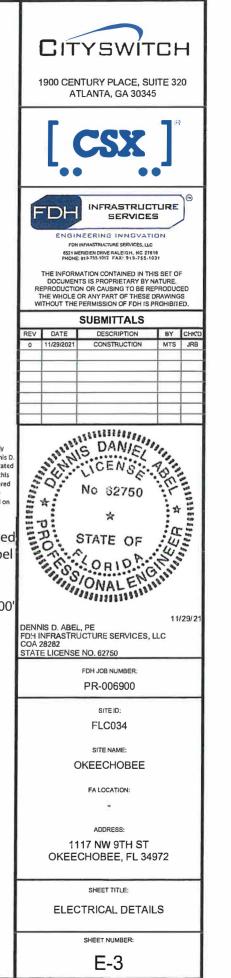


1. 2" WEATHER HEADS PLACED ON EACH END OF THE









Dennis D. Abel, PE Florida License No. 62750 This item has been digitally signed and sealed by Dennis D Abel, PE, on the date indicated herein. Printed coples of this document are not considered signed and sealed and the signature must be verified on any electronic coples.

Digitally signed by Dennis Abel Date: 2021.11.30 08:10:21 -05'00'

NOTES

- 1. ALL GROUNDING CONDUCTORS IN EARTH #2 SOLID BARE TINNED COPPER (SBTC).
- 2. ALL CONDUCTOR CONNECTION IN EARTH EXOTHERMICALLY WELDED.
- 3. ALL FENCE POST, TOWER LEGS, FRAME, ETC. METALLIC CONDUCTOR BONDS EXOTHERMICALLY WELDED.
- 4. ALL GROUND BAR CONNECTIONS MECHANICALLY BONDED WITH 2-HOLE CONNECTORS LISTED AND SUITABLE FOR THE APPLICATION.
- 5. MINIMUM 2-FT SEPARATION BETWEEN GROUND RINGS AND FOUNDATIONS IN ALL LOCATIONS.

CALLOUTS:

- (1) #2 SOLID BARE TINNED COPPER CONDUCTOR 30" BELOW GRADE OR 6" BELOW FROST LINE, WHICH EVER IS GREATER (TYP.) MINIMUM 24" BENDING RADIUS.
- (2) 5/8"x10' COPPER CLAD GROUND ROD (MIN. 10' APART).

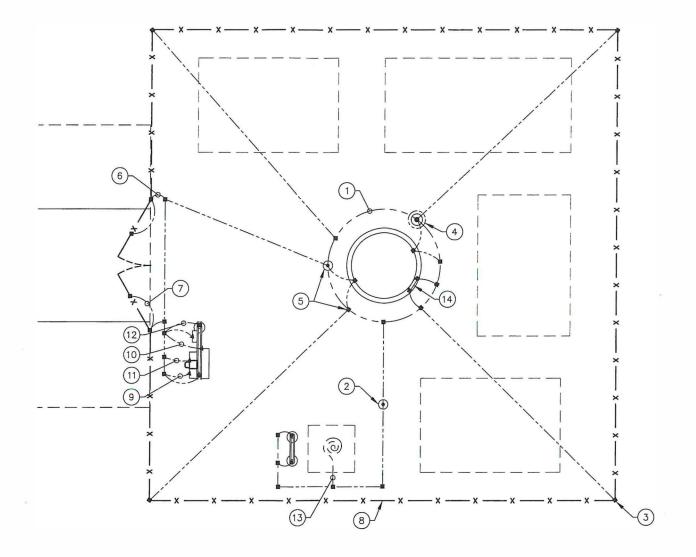
(3) BOND ALL CORNER POSTS.

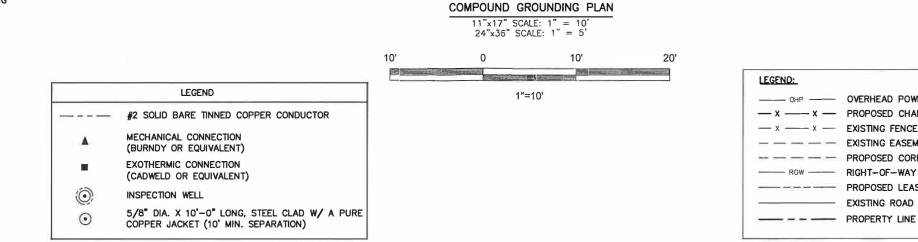
- (4) 5/8"ø 10' LONG COPPER CLAD GROUND ROD WITH INSPECTION WELL, TOP OF GROUND ROD MAX 24" BURIED.
- 5 BOND TOWER TO TOWER GROUND RING WITH #2 AWG SOLID TINNED GROUND WIRE. 2 CONNECTIONS EACH ORIENTED IN OPPOSITE DIRECTIONS ON GROUND RING (TYP.)
- (6) #2 SOLID BARE TINNED COPPER LEADS (FROM GATE POST TO COMPOUND GROUNDING).
- (7) BRAIDED STRAP CONNECTIONS (FROM GATE POST TO GATE).

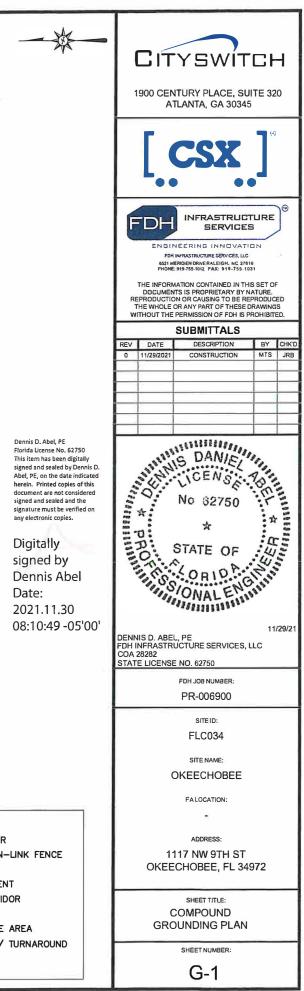
(8) PROPOSED CHAIN LINKED FENCE.

(9) GROUND PROPOSED METER AND DISCONNECT.

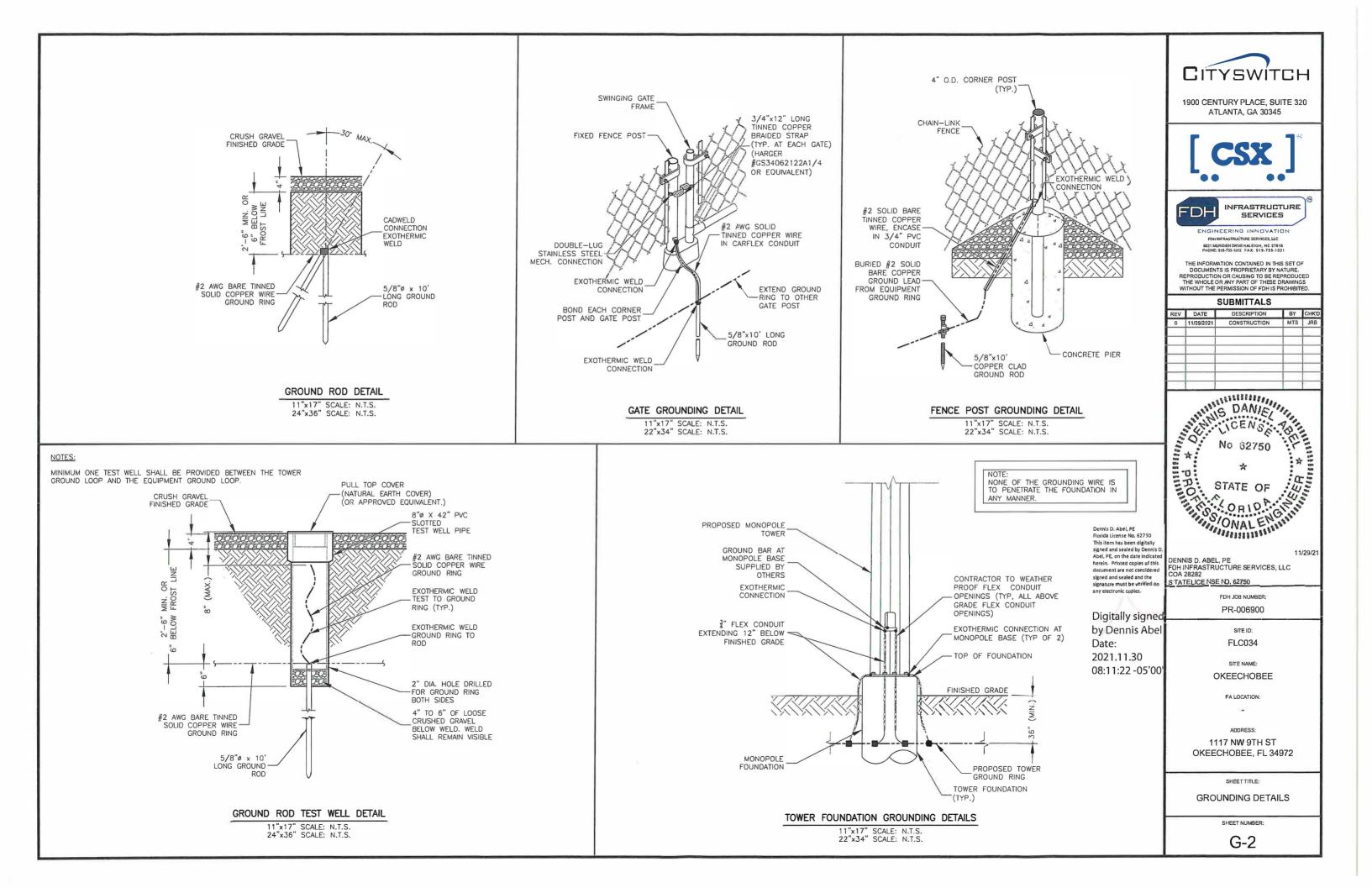
- (10) PROVIDE AN EXTERNAL #2 TINNED COATED GROUND LEAD FROM GROUND RING TO ALL METAL CABINETS ON UTILITY BACKBOARD (TELCO, ELECTRIC, BREAKER PANELS, METER RACKS, JUNCTION BOXES, ETC.) SLEEVED IN CONDUIT FROM JUST BELOW GRADE TO SAND CABINETS USING BURNDY TYPE 2 LONG BARREL LUGS WITH NO-OK OR COPPER SHIELD
- 11 bond the #6 green insulated conductor from meter panel and disconnect to separate ground
- (12) BOND THE #2 SOLID BARE TINNED COPPER LEADS FROM H-FRAME & EXOTHERMIC WELD TO COMPOUND GROUND RING
- (13) PROPOSED GROUND LEAD TAIL
- (14) TOWER GROUND BAR.

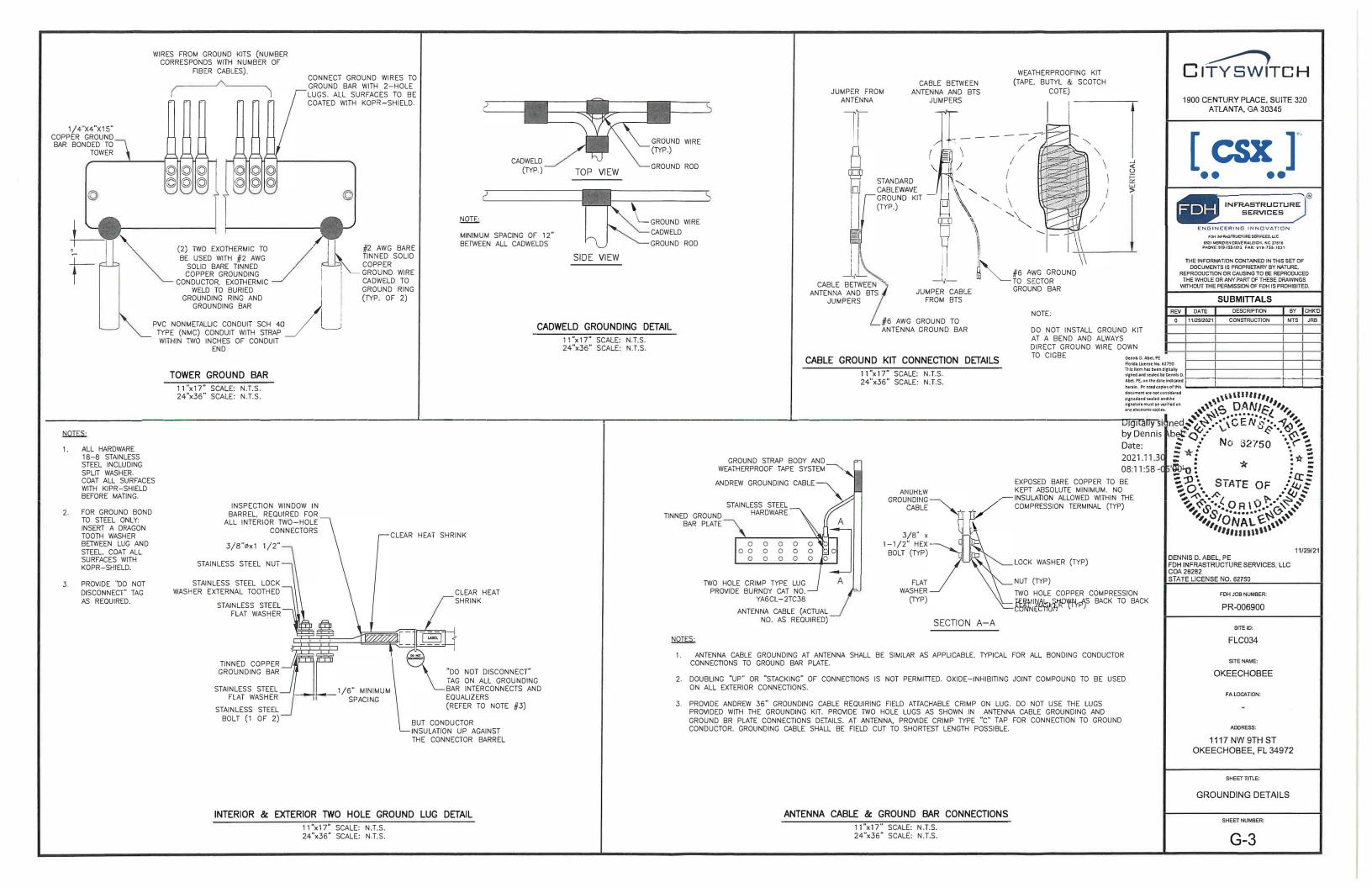




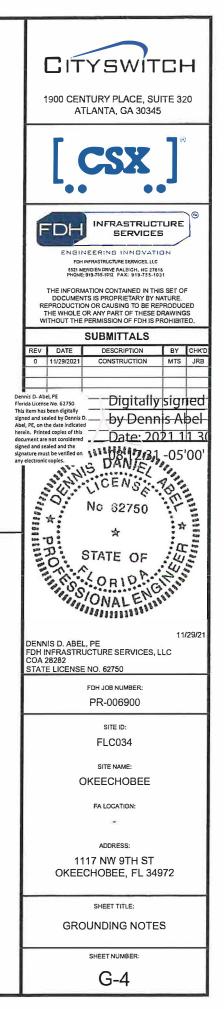


- OVERHEAD POWER - x - PROPOSED CHAIN-LINK FENCE - - EXISTING EASEMENT ---- PROPOSED CORRIDOR - RIGHT-OF-WAY - PROPOSED LEASE AREA — EXISTING ROAD / TURNAROUND

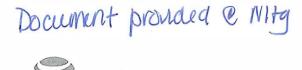




ELECTRICAL-GROUNDING ROD SYSTEM NOTES:	
 ALL GROUNDING CONNECTIONS SHALL BE MADE BY THE EXOTHERMIC PROCESS CONNECTIONS SHALL INCLUDE ALL CABLE TO CABLE, SPLICES, ETC. ALL CABLE TO GROUND RODS, GROUND RODS SPLICES, AND LIGHTNING PROTECTION SYSTEM AS INDICATED. ALL MATERIALS USED (MOLDS, WELDING, METAL, TOOLS, ETC.) SHALL BE BY EXOTHERMIC PROCESS AND INSTALLED PER MANUFACTURERS RECOMMENDATIONS AND PROCEDURES. GROUND CONDUCTOR SHALL HAVE A MINIMUM 24" BENDING RADIUS. ALL EXOTHERMIC CONNECTIONS ON GALVANIZED SURFACES SHALL BE CLEANED THOROUGHLY AND COLORED TO MATCH SURFACE WITH (2) TWO COATS OF SHERWIN-WILLIAMS GALVITE (WHITE) PAINT B50W3 (OR EQUAL) OR SHERWIN-WILLIAMS SILVERBRITE (ALUMINUM) B59S11 (OR EQUAL). 	 9. UTILITY COMPANY COORDINATION: ELECTRICAL CONTRACTOR SHALL CONFIRM THAT ALL WORK IS IN ACCORDANCE WITH THE RULES OF THE LOCAL UTILITY COMPANY BEFORE SUBMITTING THE BID, THE CONTRACTOR SHALL CHECK WITH THE UTILITY COMPANIES SUPPLYING SERVICE TO THIS PROJECT AND SHALL DETERMINE FROM THEM ALL EQUIPMENT AND CHARGES WHICH THEY WILL REQUIRE AND SHALL INCLUDE THE COSTS IN THE BID. 10. THIS GROUNDING SYSTEM HAS BEEN DESIGNED TO ACHIEVE A RESISTANCE MEASUREMENT PERFORMANCE OF <u>5</u> OHMS OR LESS. SHOULD THE RESULT NOT ACHIEVE THIS DESIRED PERFORMANCE, CONTACT ENGINEER FOR FURTHER ACTION. 11. GROUND RINGS ARE TO BE INSTALLED A MINIMUM OF 2'-0" FROM EQUIPMENT AND TOWER.
 ALL ELECTRICAL & MECHANICAL GROUND CONNECTIONS SHALL HAVE A CONDUCTIVE RUST AND CORROSION INHIBITOR (T&B KOPR-SHIELD OR EQUIVALENT) APPLIED TO CONNECTION. 	ELECTRICAL-GROUNDING ROD SYSTEM NOTES:
 INSTALL ALL GROUND RODS VERTICALLY IN UNDISTURBED EARTH. WHERE SOLID ROCK IS ENCOUNTERED, INSTALL MAX 45' ANGLE AWAY FROM EQUIPMENT, TOWER, OR OTHER ABOVE GROUND ELEMENTS BEING PROTECTED. 	 GROUND RODS SHALL BE INSTALLED NO CLOSER THAN 10-FT APART. GROUND RODS SHALL BE INSTALLED WITH TOPS AT THE SAME
5. GROUND RING AROUND BUILDING SHALL BE #2 SOLID TINNED	DEPTH AS GROUNDING SYSTEM CONDUCTOR (RING OR RADIAL).
BARE COPPER (SBTC), BARE TINNED COPPER CONDUCTOR, IN CONTACT WITH BARE EARTH AT A MINIMUM DEPTH OF 36". ALL CONDUCTOR BENDS SHALL NOT BE LESS THAN A	3. ALL BELOW GRADE GROUND RINGS AND GROUND LEADS SHALL BE #2 AWG SOLID, TINNED BARE COPPER WIRE.
MINIMUM RADIUS OF 24". 6. THE FENCE AND GATE POSTS SHALL BE BONDED TO THE	 ALL BELOW GROUND CONNECTIONS SHALL BE EXOTHERMIC WELDS. UNLESS PROVIDED WITH A FACTORY APPLIED LEAD. ALL
GROUNDING SYSTEM WITH #2 SBTC EXOTHERMICALLY WELDED TO THE POST. BOND SWING GATE TO GATE POST WITH #4/0 FLEXIBLE COPPER STRANDED CONDUCTOR (WELDING	CONNECTIONS TO GROUND BARS SHALL BE BURNDY HYGROUND COMPRESSION LUGS OR EQUAL.
CONDUCTOR OR SIMILAR). ALL CONNECTIONS SHALL BE EXOTHERMICALLY WELDED WITH COLD-GALVANIZED PAINT APPLIED AFTER WELDING.	 STEEL SHALL BE TO BARE METAL. GRIND GALV. FINISH OR PAINT OFF PRIOR TO WELDING, REPAIR GALV. FINISH OR PAINT AS REQUIRED, MATCH PAINT COLOR.
7. BOND ALL CONDUCTIVE ELEMENTS TO GROUNDING SYSTEM THAT ARE WITHIN 5-FT OF ANY PART OF GROUNDING SYSTEM OR WITHIN 20-FT OF TOWER RING USING SIMILAR SYSTEMS	7. ALL LUG CONNECTORS SHALL BE 2 HOLE LONG BARREL COMPRESSION TYPE OR APPROVED EQUAL.
AS APPLIED TO FENCE CORNER POSTS.	 ALL HARDWARE TO ATTACH MECHANICAL GROUND CONNECTIONS SHALL BE STAINLESS STEEL.
8. ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL GROUNDING INSTALLATION AND CONSTRUCTION MAY VARY DUE TO THE SPECIFIC SITE CONDITIONS.	 ALL MECHANICAL CONNECTIONS SHALL HAVE CONDUCTIVE ANTI-OXIDANT COMPOUND APPLIED BETWEEN COMPRESSION LUG AND FIXTURE.
LEAD IDENTIFICATION & DESCRIPTION:1RING, EXTERNAL BURIED W/RODS#2 SBTC1ARING, CONCRETE ENCASED#2 SBTC2DEEP ANODE (TO IMPROVE OHMS)ROD OR PIPE3RING TO BLDG STL FRAME#2 SBTC4MAN AC PANEL NEUTRAL BUS TO (2)GROUND RODS, ISOLATED FROM LEAD #15RING TO GROUND BAR(2) #2 SBTC6RING TO EXT MTL OBJECT#2 SBTC7DEEP ANODE TO MGBNSTD33-98AC PANEL TO WATER METERNEC 250.669EXT WATER TO INT WATER PIPESNSTD33-910IINT WATER PIPE TO MGBNSTD33-911-12NOT USEDNSTD33-914MGB/FGB TO FGB-HE SAME FLOOR#2/0 I-STR15MGB/FGB TO FGB-HE SAME FLOOR#2/0 I-STR16NOT USED11/0 I-STR17AECPGB TO CABLE SHIELDING#6 I-STR17AECPGB TO CABLE SHIELDING#6 I-STR17AECPGB TO CABLE SHIELDING#6 I-STR19LEAD 18 TO OTHER FGB, <6'	25RING TO NEAREST LIGHTNING ROD#2 SBTC26LIGHTNING ROD SYS TO NEARBY MTLNFPA 78027RING TO TOWER RING(2) #2 SBTC28RING TO SHELTER RING(2) #2 SBTC29BRANCH AC PNL TO DITLY CHG FRMNSTD33-1130BRANCH AC PNL TO OUTLETSNSTD33-1131MGB/FGB TO PVR, BTTY FRAMES#2/0 I-STR32#31 TO BATTERY CHARGER FRAME#6 I-STR34#31 TO PCU FRAME#6 I-STR35#31 TO DCU FRAME#6 I-STR36#31 TO PCU FRAME#6 I-STR37MGB/FGB TO RTN TERM CARR SUPP#6 I-STR38FGB TO PDU GB#750MCM I-STR39DC BUS DUCT TO NEXT SECTION#6 I-STR41AMGB/FGB TO #17 RETURNMSTD33-1145MAIN AC PNL TO BRANCH AC PNLNSTD33-1146BBRANCH AC PNL TO BRANCH AC PNLNSTD33-1147FGB TO INTEG FRM#6 I-STR48LEAD #31 TO INTEG FRM#6 I-STR49INTEG FRM FUSE TO FRM OR BAR#8 I-STR50PDU BTTY RET TO #51#2/0 I-STR49INTEG FRM FUSE TO FRM OR BAR#8 I-STR51#55 MGB/FGB TO ATIC DEVICES#6 I-STR55MGB/FGB TO ACAPTR OF MAR AND AC PNLNSTD33-2254MGB/FGB TO CALER AT ENTRY#6 I-STR55MGB/FGB TO CALER AT ENTRY#6 I-STR56MGB/FGB TO CALER AT ENTRY#6 I-STR57AMGB/FGB TO CALER AT ENTRY#6 I-STR58A#14 TO AISLE FRAME#2/



PETITION #22-003-SE, ADDITIONAL DOCUMENTS: Letter of Support from AT&T dated 10-17-2022, 1 Page Submitted to City Staff on 10-20-2022 at the BOA PUBLIC HEARING





October 17, 2022

City of Okeechobee Board of Adjustment 55 SE 3rd Avenue Okeechobee, Florida 34974 Tower ID: FA 15611191

RE: Letter of support from AT&T regarding proposed new tower construction by CitySwitch II-A, LLC ("CitySwitch") at Parcel: 31637350160001100010, 1117 NW 9th St. Okeechobee, FL, 34972 Tower ID: 15611191

To Whom It May Concern,

I manage AT&T's High Rent Relocation program, under which AT&T identifies high-cost, economically burdensome site leases that accommodate AT&T's communications equipment. My Team selectively relocates AT&T communications equipment onto lower-cost locations, while either improving or maintaining wireless coverage.

AT&T currently leases space on thousands of towers nationwide. Leases typically have a duration of five or ten years, after which we have the option to renew. AT&T maintains a co-location agreement with SBA for the current tower, in which SBA can and does sharply increase the rent, assesses other one-time costs and poses unacceptable logistical issues whenever AT&T replaces or adds new equipment. If CitySwitch is permitted to build the required tower, as we request, AT&T intends to relocate onto it. The current SBA tower in Okeechobee, FL is economically burdensome for AT&T and would not result in the same cost-effective operation as compared to what AT&T could achieve if it relocated on the local CitySwitch tower.

By sharply reducing its tower costs, AT&T is better positioned to invest in other new towers for improved coverage, and fund critical initiatives, such as FirstNet, for emergency response, 5G support, and other new technologies – all to the benefit of the community.

AT&T will only consider decommissioning an existing wireless facility in favor of moving to an alternate tower in limited circumstances. We bear a significant capital cost whenever we decommission a wireless facilities installation. As a result, on behalf of AT&T, we request your support in approving the new tower.

Sincerely,

Jannah

Matt Hannah Senior – Tech. Proj/Prog Mgmt

PETITION #22-003-SE, ADDITIONAL DOCUMENTS: Federal Aviation Administration Notice, 1 Page Submitted to City Staff on 10-20-2022 at the BOA PUBLIC HEARING

Drannent provided ("Integ

10/17/22, 8:36 AM



Sponsor: Pal m-TechConsulting, LLC

Notice of Proposed Construction or Alteration - Off Airport

Add a New Case (Off Airport) - Desk Reference Guide V_2018.2.1

Add a New Case (Off Airport) for Wind Turbines - Met Towers (with WT Farm) - WT-Barge Crane - Desk Reference Guide V_2018.2.1

Project Name: PALM--000733299-22

Details for Case : FLC034 Okeechobee

Show Project Summary

Case Status	2022-050-26444-05		SC Desired of the	Data Accontada	07/07/2022			
ASN: 2022-ASO-26444-OE			Date Accepted: Date Determined:	07/07/2022				
Status:	Work In Progress			Letters:	None			
						D Okaashahaa	51 6034	
Public Comments:	None			Documents:	07/07/2022	Ckeechobee	FLC034	
Public Comments:	None							
					Project Docum None	ients:		
Construction / Altera	ation Information			Structure Summa	Ŋ			
Notice Of:	Construction			Structure Type:	TOWER Ante	nna Tower		
Duration:	Permanent			Structure Name:	FLC034 Okeech	obee		
if Temporary :	Months: Days:			FDC NOTAM:				
Work Schedule - Start:				NOTAM Number:				
Work Schedule - End:				FCC Number:				
To find out, use the Not	-Does the permanent structure req tice Criteria Tool. If separate notice state the reason in the Description	is required	l, please ensure it is filed.	Prior ASN:				
State Filing:	Not filed with State							
Structure Details				Proposed Frequen	cy Bands			
Latitude:			27° 15' 7.71" N	Low Freq	High Freq	Freq Unit GHz	ERP 55	ERP Un dB
Longitude:			80° 50' 41.28" W	6 10	7 11.7	GHz GHz	42	dB
Horizontal Datum:			NAD83	10	11.7	GHz	55 42	dB
Site Elevation (SE):			29 (nearest foot) PASSED	17.7 17.7	19.7 19.7	GHz GHz	55 42	dB\ dB\
Structure Height (AGL):	:		160 (nearest foot)	21.2 21.2	23.6 23.6	GHz GHz	55 42	dB) dB)
Current Height (AGL):			(nearest foot)	614 614	698 698	MHz MHz	1000 2000	
* For notice of alteration AGL height of the existing	n or existing provide the current ng structure.			698 806	806 901	MHz MHz	1000	
Include details in the De				806	824	MHz	500	١
Minimum Operating Hei	abt (AGL):		(nearest foot)	824 851	849 866	MHz MHz	500 500	
* For aeronautical study	y of a crane or construction equipm	nent	(nearest loot)	869 896	894 901	MHz MHz	500 500	
	ould be listed above as the Additionally, provide the minimun	,		901 929	902 932	MHz MHz	7	ì
operating height to avoi	id delays if impacts are identified t	hat		930	931	MHz	3500	١
	reduced height. If the Structure H height are the same enter the sam			931 932	932 932.5	MHz MHz	3500 17	dB
value in both fields.				935 940	940 941	MHz MHz	1000 3500	
Requested Marking/Ligi	htina:		None	1670 1710	1675 1755	MHz MHz	500	, ,
		Other :		1950 1850	1910 1990	MHz	1640 1640	, ,
Recommended Marking	/Lighting:	other :		1930	1990	MHz	1640	1
Current Marking/Lightin			N/A Proposed Structure	1990 2110	2025 2200	MHz MHz	500 500	l l
		Other :		2305 2305	2360 2310	MHz MHz	2000 2000	
learest City:		other:	Okeechobee	2345 2496	2360 2690	MHz MHz	2000	, ,
Nearest State:			Florida					
Description of Location:			TBD / Okeechobee County					
	/ page upload any certified survey.		, orecentrate county					
Description of Proposal:			New Tower					

← Previous Back to Next
 → Search Result

PETITION #22-003-SE, ADDITIONAL DOCUMENTS: Sworn Statement by Spencer Gamrell in Support of New Tower Construction, 4 Pages Submitted to City Staff on 10-20-2022 at the BOA PUBLIC HEARING)ocument received e BOA Meeting



AT&T Mobility Services LLC Tower Strategy 17000 Cantrell Rd. Little Rock, Arkansas 72201

SWORN STATEMENT OF SPENCER GAMRELL IN SUPPORT OF NEW TOWER CONSTRUCTION

BY CitySwitch II-A, LLC

PULASKI COUNTY))ss. STATE OF ARKANSAS)

Spencer Gambrell, being first duly sworn on oath, deposes and says that:

 I am an adult resident of the State of Arkansas and serve as Director — Network Planning for AT&T Wireless ("AT&T").

2. I manage AT&T's high-rent relocation program, under which AT&T identifies high-cost or economically burdensome antenna site leases that accommodate AT&T's communications equipment and relocates its communications equipment onto lower-cost alternative antenna site lease locations to either improve or maintain wireless coverage.

3. I am familiar with the proposed tower to be constructed by CitySwitch II-A, LLC ("CitySwitch") at 1117 NW 9th St., Okeechobee, Florida 34972 (the "CitySwitch Tower"). I am also familiar with the existing communications tower (the "SBA Tower") owned by SBA 2012 TC Assets, LLC ("SBA Communications") which is located at 1678 Northwest Ninth Avenue, Okeechobee, FL 34972. Both the existing SBA Tower and the location of the proposed CitySwitch Tower are located in AT&T's coverage search ring for this part of the City of Okeechobee and Okeechobee County.

4. AT&T currently leases space on the SBA Tower, along with related ground space at the base of the SBA Tower, to locate its communications equipment (the "Wireless Facilities"). AT&T has located its Wireless Facilities on the SBA Tower since August 2014, but AT&T now desires to relocate its Wireless Facilities onto the CitySwitch Tower as the SBA Tower has become a high-cost antenna site structure for AT&T.

5. This sworn statement is made to attest that having its Wireless Facilities remain on the SBA Tower, which is the only existing communications support structure in AT&T's search ring, is economically burdensome for AT&T and would not result in the same cost-effective operation as compared to what AT&T could achieve if it relocated its Wireless Facilities to the CitySwitch Tower.

Co-Location on the SBA Tower is Economically Burdensome

6. AT&T maintains a co-location agreement with SBA for the SBA Tower. Under this agreement, SBA increases the rent, assesses other costs and poses other logistical issues when AT&T installs additional Wireless Facilities on the SBA Tower. AT&T anticipates future rent increases and costs from SBA if it remains co-located at the SBA Tower. Those rent increases and costs would result from, among other things, AT&T's equipment rights on the SBA Tower.

7. The current rent charged by SBA to co-locate on the SBA Tower is over two- & one-half times what CitySwitch will charge AT&T to co-locate on the CitySwitch Tower. Pursuant to the agreement between AT&T and CitySwitch, annual rent increases are less than the annual rent increases charged by SBA. At the current rate of rent increases, over the next twenty (20) years, the difference in rent paid by AT&T to remain on the SBA Tower versus relocating on the CitySwitch Tower is well over two million dollars.

8. Since AT&T located on the SBA Tower in August 2014, rent and escalators have become more competitive in the tower marketplace. New tower companies have entered the marketplace since August 2014, which has also led to more competitive economic terms in tower lease agreements. Considering these competitive economic terms from other tower companies, AT&T has requested tower rent reductions from SBA. Unlike other tower companies, SBA has resisted an economically sustainable cost structure with its existing AT&T co-location leases, such that many of these leases have become economically burdensome for AT&T.

9. Decommissioning an existing Wireless Facility in favor of moving to an alternate tower location is something AT&T will only do in limited circumstances. AT&T will bear a significant capital cost in decommissioning its Wireless Facilities installation on the SBA Tower and relocating to the CitySwitch Tower. Despite these relocation costs, the CitySwitch Tower remains a better co-location option for AT&T.

10. AT&T has made this determination because the current rents and other charges to co-locate on the SBA Tower have been categorized as high-cost as compared to other existing sites in AT&T's portfolio and the rents charged by other tower companies, such as CitySwitch.

11. AT&T has entered into nationwide development and master lease agreements with CitySwitch, which I am familiar with. Under these agreements, CitySwitch will construct at its own expense and own communications towers upon which AT&T will lease space to install its Wireless Facilities. AT&T does not bear any costs for the construction of a tower owned by CitySwitch.

12. Per these agreements and as is the case with the CitySwitch Tower, AT&T pays CitySwitch rent in return for 30,000 square inches of wind load surface area of loading and defined space on each tower and does not pay increased rent for additions to its Wireless Facilities provided said facilities remain within the predetermined space and loading limits. The agreed upon tower space and loading limits have taken into consideration the future additions and upgrades projected for AT&T's Wireless Facilities.

13. There are no other structures (other than the SBA Tower) located in AT&T's search ring capable of accommodating its Wireless Facilities.

14. The economic terms imposed upon AT&T by SBA to remain co-located on the SBA Tower are not cost-effective and are economically burdensome for AT&T especially when the nearby CitySwitch Tower presents a more competitive and flexible co-location option.

The CitySwitch Tower provides superior mobile service functionality.

15. Technological changes and market trends in the wireless communications industry require AT&T to continuously upgrade its Wireless Facilities. AT&T is also obligated to build out FirstNet, which is our country's first nationwide integrated data network for providers of emergency services.

AT&T's lease agreement for the SBA Tower does not include "set aside" capacity reserved for the future needs of AT&T's Wireless Facilities. Every time AT&T desires to improve the Wireless Facilities installed on the SBA Tower, it must apply to SBA which then triggers an application fee and a lengthy administrative review process, which typically includes a structural analysis of the tower and an amendment to

the existing lease agreement. This administrative process may take several months and results in unnecessary time delay and additional costs in the deployment of the upgraded Wireless Facilities.

16. Conversely, AT&T's master tower lease agreement with CitySwitch allows AT&T to rent 30,000 square inches of tower space and loading on a CitySwitch Tower. This space and loading capacity is reserved exclusively for AT&T and will accommodate the needs for AT&T's Wireless Facilities well into the future. This arrangement benefits AT&T because it increases the speed of deploying Wireless Facilities and gives AT&T greater flexibility to upgrade technologies and respond to the ever-changing coverage and capacity demands of its wireless network. Provided it does not exceed the reserved space and capacity limits in the co-location agreement, AT&T is free to upgrade its Wireless Facilities on the CitySwitch Tower with little to no delay.

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Spencer Gambrell

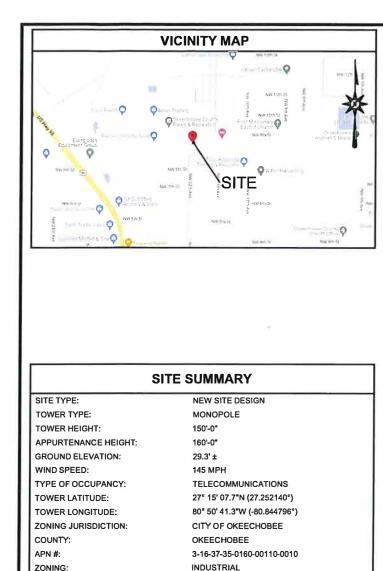
Subscribed and sworn to before me this 20 day of 1 (16) 2022.

Notary Public State of Arkansas My Commission Expires



[West Okee Relo] FA#[15611191] Page 4 of 4

PETITION #22-003-SE, ADDITIONAL DOCUMENTS: Zoning Drawings/Revised Landscape Plans, 10 Pages Submitted to City Staff on 1-13-2023 Via Email



ZONING DRAWINGS



CITY SWITCH SITE ID: FLC034 **CITY SWITCH SITE NAME:** OKEECHOBEE SITE ADDRESS: 1117 NW 9TH ST **OKEECHOBEE, FL 34972**

NOTE: ANY CHANGES TO THE APPROVED PLANS MUST BE APPROVED BY THE PROPERTY OWNER.

DIRECTIONS

FROM PALM BEACH INTERNATIONAL AIRPORT, PALM BEACH, FL:

HEAD EAST ON WELLINGTON RD TOWARD N FLORIDA MANGO RD. IN 367 FT, TURN RIGHT ONTO N FLORIDA MANGO RD. IN 249 FT, TURN LEFT ONTO WORTHINGTON RD. IN 0.2 MI, TURN LEFT ONTO S AUSTRALIAN AVE. IN 1.0 MI, TURN LEFT ONTO THE OKEECHOBEE BOULEVARD W RAMP. IN 0.2 MI, MERGE ONTO OKEECHOBEE BLVD. IN 0.3 MI, USE THE RIGHT 2 LANES TO MERGE ONTO I-95 N VIA THE RAMP TO DAYTONA BCH. IN 5.7 MI, TAKE EXIT 76 FOR FL-708/BLUE HERON BLVD. IN 0.3 MI, USE THE LEFT 3 LANES TO TURN LEFT ONTO FL-708 W/W BLUE HERON BLVD (SIGNS FOR VA MEDICAL CNTR). IN 1.0 MI, SLIGHT RIGHT ONTO FL-710 W. IN 53.2 MI, USE ANY LANE TO TURN LEFT ONTO FL-70 W/NE PARK ST. IN 2.4 MI, TURN RIGHT AFTER ADVANCE AUTO PARTS (ON THE LEFT). IN 0.6 MI, TURN LEFT ONTO NW 9TH ST. DESTINATION WILL BE ON THE LEFT.

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING:

- FLORIDA BUILDING CODE 2020
- ANSI/TIA-222-H

PROPOSED.

- NATIONAL ELECTRIC CODE 2017
- 4. LOCAL BUILDING CODE CITY/COUNTY ORDINANCES 5.
 - 2020 FLORIDA FIRE PREVENTION CODE
- **GENERAL NOTES**

THE FACILITY IS UNMANNED AND NOT FOR

HUMAN HABITATION, THEREFORE HANDICAP

ACCESS IS NOT REQUIRED. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE

MAINTENANCE. THE PROJECT WILL NOT RESULT

IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE; NO SANITARY SEWER SERVICE

POTABLE WATER, OR TRASH DISPOSAL IS

REQUIRED AND NO COMMERCIAL SIGNAGE IS

UNDERGROUND SERVICE ALERT UTILITIES PROTECTION CENTER, INC. 811 48 HOURS BEFORE YOU DIG

LEGAL DESCRIPTION

REFER TO TOPOGRAPHICAL SURVEY AND SITE PLAN FOR LEGAL DESCRIPTION OF ARENT PARCEL AND LEASE AREA.



1				1
LOCAL MAP				CENTRESPONDENCE ON STRUCTURE STORE STRUCTURE SERVICES CONTRACTOR STRUCTURE SERVICES CONTRACTOR STRUCTURE SERVICES CONTRACTOR STRUCTURE SERVICES CONTRACTOR STRUCTURE SERVICES SE
				2 11/14/2022 CONSTRUCTION ZK JRB 3 1/13/2023 CONSTRUCTION ZK JRB
	SHEET INDEX			4 1/13/2023 CONSTRUCTION AEV JRB
SHEET NO.	DESCRIPTION	REV. NO.	REVISION DATE	AND DANIE
T-1	TITLE SHEET	4	01/13/2023	CENS
S-1	SURVEY SHEET 1 OF 2	2	07/19/2022	No 62750
S-2	SURVEY SHEET 2 OF 2	2	07/19/2022	No 62750
GN-1	GENERAL NOTES	3	01/13/2023	TO STATE OF
GN-2 C-1		3	01/13/2023	
C-1.1	SATELLITE SITE PLAN OVERALL SITE PLAN	3	01/13/2023	STATE OF
C-2	COMPOUND DETAILS	3	01/13/2023	I A CONDACT
C-3	FENCE DETAILS	3	01/13/2023	THOSE NO IN
L-1	LANDSCAPING PLAN	4	01/13/2023	MONONAL ENGIN
		Florida U This item signed ar Abel, PE, herein. P documen signedan signeture any elect	Abel, PE cense No. 62750	1/13/2023 DENNIS D. ABEL, PE FDH INFRASTRUCTURE SERVICES, LLC COA 28282 STATE LICENSE NO. 62750 FDH JOB NUMBER: PR-006900
	<u></u>		lly signed	SITE ID:
			nnis Abel-	FLC034
		Date:	2023.01.13	SITE NAME:
		1 8:27 :	1 6 05'00'	OKEECHOBEE
				FA LOCATION:
				10126641
				ADDRESS:
			1117 NW 9TH ST	
				OKEECHOBEE, FL 34972
				SHEET TITLE:
				TITLE SHEET
				SHEET NUMBER:
				T-1

PROJECT DIRECTORY LAND OWNER: CSX TRANSPORTATION. INC. C/O TAX DEPT. J910 500 WATER STREET, SUITE 1208 JACKSONVILLE, FL 32202 CONTACT: THOMAS PAULY PHONE: (904) 279-3837 EMAIL: THOMAS_PAULY@CSX.COM APPLICANT: CITY SWITCH II, LLC 1900 CENTURY PLACE, SUITE 320 ATLANTA, GA 30345 CONTACT: KEVIN SASO PHONE: (404) 857-0858 SITE DESIGN/ENGINEER: FDH INFRASTRUCTURE SERVICES 6521 MERIDIEN DRIVE RALEIGH, NC 27616 CONTACT: JAMES R. BILLUPS, PE, CFM PHONE: (919) 755-1012 SURVEYOR: SMW ENGINEERING GROUP, INC 158 BUSINESS CENTER DRIVE **BIRMINGHAM, AL 35244**

CONTACT:

PHONE: (205) 252-6985

TBD

TBD

226,076± SQ. FT. (5.19 ACRES)

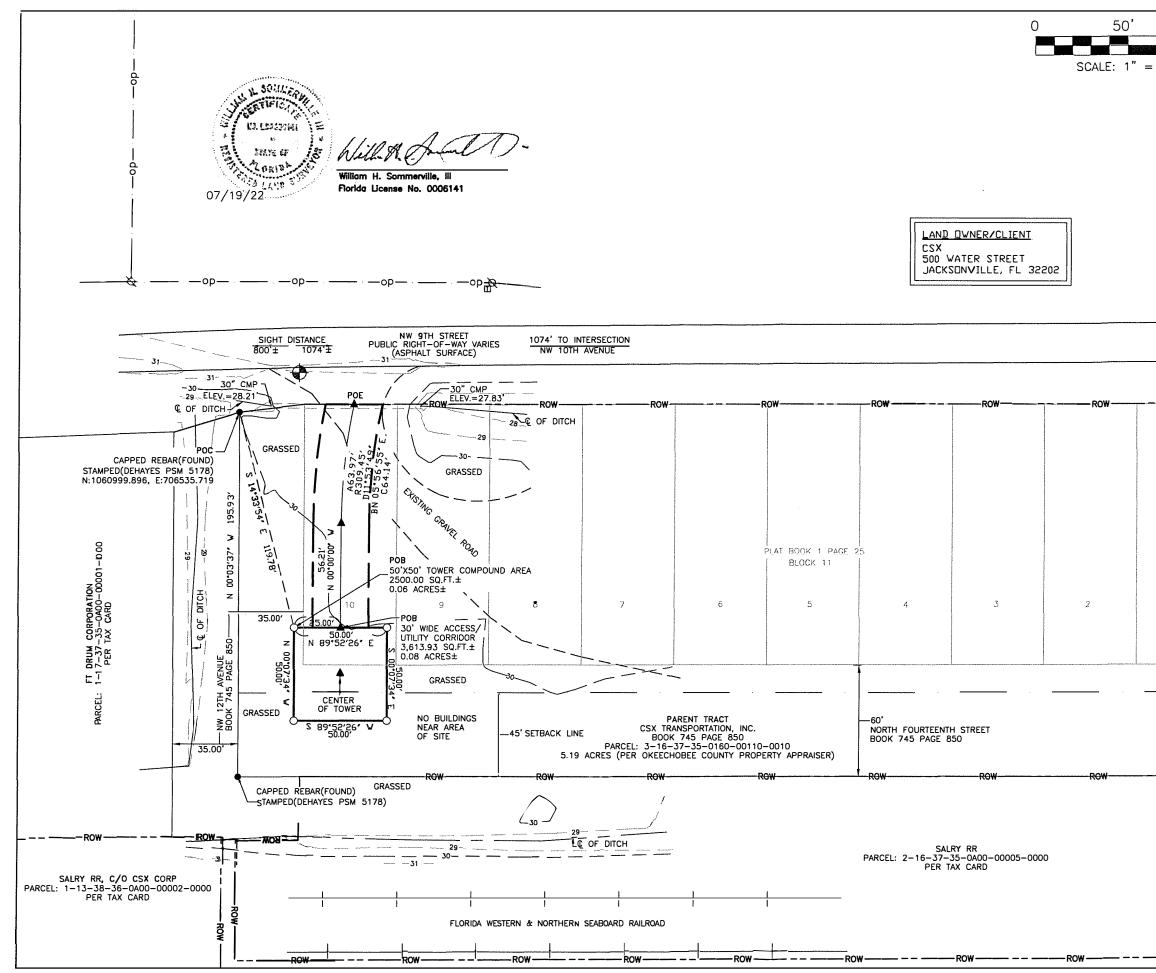
2,500 SQ.FT (0.06± ACRES)

PARCEL SIZE:

LEASE AREA SIZE:

POWER COMPANY:

TELEPHONE COMPANY:



100'	TOWER_INFO	BY PWK		
50'	LATITUDE: 27'15'07.705" NORTH LONGITUDE: 80'50'41.267" WEST (NAD 83) GROUND ELEVATION: 29.3' ABOVE MEAN SEA LEVEL (NAVD88)	065/02/22 P		
	νιςινιτή μαρ	REVISION TITLE COMMIMENT CLIENT COMMENTS		
	NW 9TH ST	0 <u>v</u> + n		
	★ ^{SITE}	PROJECT NO.		
	FLORIDA WESTERN & NORTHERN SEABOARD RAILROAD	DRAWN BY: KM CHECKED BY: PWK FIELD CREW: BW APPROVED BY: WHS APPROVED BY: WHS DATE: 09/28/21 SCALE: 1 = 50' SHEET 1 OF 2		
		DRAWN BY CHECKED FIELD CRE APPROVED DATE: 09/ SCALE: 1 SHEET 1		
	NOT TO SCALE			
ROW	FLORIDA EAST GRID NORTH GRID TO TRUE NORTH CONVERCENCE 0'04'15.8483" TRUE NORTH TO MAGNETIC DECLINATION 6'47' W COMBINED SCALE FACTOR 0.999944091 LEGEND	TE SPECIFIC PURPOSE SURVEY CITY SWITCH II-A, LLC 1900 CENTURY PLACE NE, SUITE 320 ATLANTA, GEORGIA		
10	$o = 5/8" REBAR SET$ $= FOUND PROPERTY MARKER$ $POB = POINT OF BEGINNING$ $POC = POINT OF COMMENCEMENT$ $POE = POINT OF ENDING$ $\bullet = CALCULATED POINT$ $(M) = MEASURED$ $\bigcirc = POWER POLE$ $\square = POWER BOX$ $\square = TELEPHONE PEDESTAL$	SITE For: CI		
	TEMPORARY BENCHMARK PK NAIL SET ELEVATION = 30.93' ELEVATION = RIGHT-OF-WAY OVERHEAD POWER	SMW Engineering Group, Inc. 158 Business Center Drive Birmingham, Alabama 35244 Ph: 205-252-6985 www.smweng.com		
ROW	FLOOD NOTE By graphic plotting only, the subject property appears to lie in Zone 'X' of the Flood Insurance Rate Map Community Panel No. 12093C0415C, which bears an effective date of July 16, 2015 and IS NOT in a special flood hazard area. Zone 'X': Area of minimal flood hazard. OKEECHOBEE	ERING GROUP, INC.		
	FLC034 J, SEC. 16, T-37-S, R-35-E ECHOBEE COUNTY, FLORIDA	U U U U U U U U U U U U U U U U U U U		

SURVEYOR'S NOTES

1. This is a Site Specific Purpose Survey, made on the ground under the supervision of a Florida Registered Land Surveyor. Date of field survey is September 14, 2021.

2. The following surveying instruments were used at time of field visit: Topcon GM-55 and Topcon Hiper SR G.P.S. receiver. (R.T.K. network capable).

3. Bearings are based on Florido East State Plane Coordinates NAD 83 by GPS observation.

4. No underground utilities, underground encroachments or building foundations were measured or located as a part of this survey, unless otherwise shown. Trees and shrubs not located, unless otherwise shown.

5. Benchmark used is a GPS Continuously Operating Reference Station, PID DE9138. Onsite benchmark is as shown hereon. Elevations shown are in feet and refer to NAVD 88.

6. This survey was conducted for the purpose of a Site Specific Purpose Survey only, and is not intended to delineate the regulatory jurisdiction of any federal, state, regional or local agency, board, commission or other similar entity. 7. Attention is directed to the fact that this survey may have been reduced or enlarged in size due to reproduction. This

should be taken into consideration when obtaining scaled data. 8. This Survey was conducted with the benefit of an Abstract Title search.

9. Surveyor hereby states the Geodetic Coordinates and the elevation shown for the proposed centerline of the tower are accurate to within +/-20 feet horizontally and to within +/-3 feet vertically (FAA Accuracy Code 1A).

10. Survey shown hereon conforms to the Minimum Requirements as set forth by the State Board for a Class "A" Survey. 11. Field data upon which this map or plat is based has a closure precision of not less than one-foot in 15,000 feet (1':15,000') and an angular error that does not exceed 10 seconds times the square root of the number of angles

turned. Field traverse was not adjusted.

12. This survey is not valid without the original signature and the original seal of a state licensed surveyor.

13. This is a Site Specific Purpose Survey and does not include the entire parent parcel.

14. Zoning: (as supplied by client) Zoning Jurisdiction: City Zoning Land Use: A - Active

1. PARENT TRACT CSX TRANSPORTATION, INC. BOOK 745 PAGE 850 PARCEL: 3-16-37-35-0160-00110-0010 PER TAX CARD

2. SALRY RR PARCEL: 2-16-37-35-0A00-00005-0000 PER TAX CARD

3. FT DRUM CORPORATION PARCEL: 1-17-37-35-0A00-00001-1000 PER TAX CARD

4. ERVIN LEVERN

PARCEL: 1-15-37-35-0010-00430-0120 PER TAX CARD

PARENT TRACT OVERVIEW NOT TO SCALE NW 9TH STREET POC 111TH 4. BLOCK BLOCK 3. AVE NUE 1. NORTH FOURTEEN STREET 2. FLORIDA WESTERN & NORTHERN SEABOARD RAILROAD

PARENT TRACT (BOOK 745 PAGE 850)

A parcel of land lying in Section 16, Township 37 South, Range 35 East, Okeechobee County, Florido, and lying in or containing a portion of that certain parcel of Land as recorded in Official Records Book 379, Page 1216 of the Publ Records of Okeechobee County, Florido, and being more particularly described as follows: All of Block 11 and 12; all of N.W. 11th Avenue (70 feet in width) lying between said Blocks 11 and 12; all of N.W. 12th Avenue (35 feet in width) lying West of and contiguous with said Block 11; all of North Fourteenth Street (Nom per Plot)(60 feet in width) lying South of and contiguous with the above described property; all lying in the North We Addition to Okeechobee, Flo. according to the Plot thereof as recorded in Plot Book 1, Page 25 of the Public Record of Okeechobee County, Florida.

Okeechobee County Parcel No.: 3-16-37-35-0160-00110-0010 5.19 Acres (per Okeechobee County Property Appraiser)

50' x 50' TOWER COMPOUND AREA (AS-SURVEYED)

A portion of the CSX Transportation, Inc. tract described in Book 745, Page 850 as recorded in the Office of Clerk Circuit Court for Okeechobee County, Florida, lying in the Northwest 1/4, Section 16, Township 37 South, Ronge 35 said Okeechobee County, Florido and being more particularly described as follows:

Commencing at a copped rebar, stamped DEHAYES PSM 5178, found marking the Northwest corner of said tract, hav Florida East State Plane coordinates: N:1060999.896, E:706535.719; thence run S 14*33'54" E for a distance of 119. feet to a set 5/8" rebor and the Point of Beginning; thence run N 89°52'26" E for a distance of 50.00 feet to a point; thence run S 00°07'34" E for a distance of 50.00 feet to a point; thence run S 89°52'26" W for a distance 50.00 feet to a point; thence run N 0007'34" W for a distance of 50.00 feet to the Point of Beginning. Said tower compound area contains 2,500.00 square feet or 0.06 acres, more or less.

30' WIDE ACCESS & UTILITY CORRIDOR (AS-SURVEYED)

A portion of the CSX Transportation, Inc. tract described in Book 745, Page 850 as recorded in the Office of Clerk Circuit Court for Okeechobee County, Florida, lying in the Northwest 1/4, Section 16, Township 37 South, Range 35 soid Okeechobee County, Florido and being more particularly described as follows:

Commencing at a capped rebor, stamped DIHAYES PSM 5178, found marking the Northwest corner of said tract, have Florida East State Plane coordinates: N:1060999.896, E:706535.719; thence run S 14*33'54" E for a distance of 119. feet to a set 5/8" rebar; thence run N 89°52'26" E for a distance of 25.00 feet to the Point of Beginning; of an Access & Utility Corridor being 30 feet in width and lying 15 feet each side of the following described centerline; the run N 00'00'00" W for a distance of 56.21 feet to a point; the beginning of an arc turning to the right having a radius of 309.45 feet, having a chord bearing and distance of N 05'56'55" E for a distance of 64.14 feet; thence ru along said arc for 64.26 feet to a point on the Southerly right-of-way of NW 9th Street, a variable public right-of-way and the Point of Ending. Said easement contains 3,613.93 square feet or 0.08 acres, more or less.

PLOTTABLE EXCEPTIONS Fidelity National Title Insurance Company Commitment for Title Insurance Order No. 10373162 Date April 14, 2022 @ 8:00 am Schedule B, Section II

Exception No		Instrument	Comme
1-5,7-8			Standard exceptions. C
6	C Book Book	731, Page 737, Page	1040 Document Affects Pare 1215 insufficient information determine affects on s Ingress/Egress & Utilit

SURVEYOR'S CERTIFICATION



best of my knowledge, information, and belief.

William H. Sommerville, III Florida License No. 0006141

H H M SMW Engineering Group, Inc. SITE SPECIFIC PURPOSE SURVEY Drawn BY: KM Moi Revision Moi Big diago Moi Moi M 158 Business Center Drive FOR. CITY SWITCH II-A, LLC Drawn BY: KM Moi Revision Moi Bringham M Moi RFLD CERF RMM BY: KM Moi Revision Moi Revision Moi M Moi RFLD CERF RMM BY: KM Moi Revision Moi Revision Moi M Moi RFLD CERF RMM BY RMM BY Moi Revision Moi Revision Moi M Moi RR IN @ GROUP, INC. SITE SPECIFIC PURPOSE SURVEY Drawn BY: KM Moi Revision Moi Revision Moi Revision Moi M Moi RR IN @ GROUP, INC. SITE SPECIFIC PURPOSE SURVEY Drawn BY: KM Moi Moi Revision Moi Revision Moi Moi RR IN @ GROUP, INC. RIMIA, GERGA Review BY: KM Moi Revision Moi Revision Moi Moi RIM RC Rick Rick Rick Rick Rick Rick Rick							
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Hold Big b	of	REVISION	TITLE COMMITMENT	CLIENT COMMENTS			
Hold Big b	ving	Ň	-	2			
H E B SS S S S		PR	0,	E(N N	0.
H E B SS S S S	-	_	CREW: BB	KOVED BY: WHS	: 09/28/21 5	E: N.T.S.	T20F2
H SMW Engineering Group, Inc. SITE SPECIFIC PURPOSE SURVEY Is8 Business Center Drive Is8 Business Center Drive Is8 Business Center Drive Ph: 205-252-6985 Ph: 205-252-6985 Is000 CENTURY PLACE NEL SUIF NMM ERRING GROUP, INC. CITY SWITCH II-A, LLC	East,	DRAM		APPR	DATE	SCAL	SHEE
H SMW Engineering Group, Inc. SITE SPECIFIC PURPOSE SURVI Iso carrier Drive 158 Business Center Drive FOR. CITY SWITCH II-A, LLC Ph: 205-252-6985 Ph: 205-252-6985 Isoo carruer Proce R. Suire 320 N@INEERING @ROUP, INC. Inc. CITY SWITCH II-A, LLC							
H SMW Engineering Group, Inc. 158 Business Center Drive Birmingham, Alabama 35244 Ph: 205-252-6985 W@INEERIN@ @ROUP, INC.	ence	VEY		c)		
H SMV Engineering Group, Inc 158 Business Center Drive Birmingham, Alabama 35244 Ph: 205-252-6985 Www.smweng.com		SITE SPECIFIC PURPOSE SU		CITY SWITCH II-A		ATLANTA, GEORGIA	
		5	FOR:		*******		
		SMW Engineering Group, Inc	158 Business Center Drive	V VVV Birmingham, Alabama 35244	//////////////////////////////////////	2	ING GROUP, INC.
	5-E						ENGINEER

eat

Contain no survey matters.

ent Tract but contains to plot, show, or subject Lease Area or itv Easement.

I certify that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Florida to the

OKEECHOBEE FLC034 NW 1/4, SEC. 16, T-37-S, R-35 OKEECHOBEE COUNTY, FLORIDA

GENERAL NOTES:

- EVERY EFFORT HAS BEEN MADE IN THE CONSTRUCTION DOCUMENTS TO PROVIDE A COMPLETE SCOPE OF WORK. MINOR DISCREPANCIES IN THE DRAWINGS AND/OR SPECIFICATIONS SHALL NOT EXCUSE CONTRACTORS FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS.
- 2. BIDDING REQUIREMENTS
 - a. PRIOR TO THE SUBMISSION OF BIDS, VISIT THE JOB SITE TO BECOME FAMILIAR WITH ALL CONDITIONS AFFECTING THE PROPOSED PROJECT, VISIT THE SITE WITH THE CONSTRUCTION DOCUMENTS TO VERIFY FIELD DIMENSIONS AND CONDITIONS TO CONFIRM THAT THE PROJECT WILL BE ACCOMPLISHED AS SHOWN.
 - b. PROVIDE NOTIFICATION TO OWNER'S REPRESENTATIVE IN WRITING OF ANY CONFLICTS, ERRORS, OR OMISSIONS PRIOR TO SUBMISSION OF PRICE PROPOSAL. IN THE EVENT OF DISCREPANCIES, PRICE THE MORE COSTLY OR EXTENSIVE WORK, UNLESS DIRECTED OTHERWISE.
 - c. WHEN TOWER IS OWNED BY A THIRD PARTY, CONTACT TOWER OWNER REPRESENTATIVE FOR PARTICIPATION IN BID WALK.
 - d. WHERE ANCHORING TO A CONCRETE ROOF SLAB, CONFIRM (PRIOR TO SUBMITTING BID) THE PRESENCE OF POST TENSION TENDONS, INCLUDE PROVISIONS FOR X-RAY PROCEDURES TO LOCATE THE TENDONS PRIOR TO CONSTRUCTION.
- DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONSTRUCTION 3. DOCUMENTS ARE INTENDED FOR DIAGRAMMATIC PURPOSES ONLY, UNO.
- FURNISH ALL MATERIALS, EQUIPMENT, LABOR, AND ANY REQUIREMENTS NECESSARY TO COMPLETE PROJECT AS DESCRIBED IN THE CONSTRUCTION DOCUMENTS.
- SUPERVISE AND DIRECT THE PROJECT DESCRIBED IN THE CONSTRUCTION DOCUMENTS. PROVIDE ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- 6. ALL WORK PERFORMED ON THE PROJECT AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES APPLICABLE TO THE WORK.
- CONSTRUCTION COORDINATION REQUIREMENTS 7.
 - a. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO START OF WORK.
 - b. OBTAIN ALL PERMITS. SCHEDULE AND COORDINATE ALL INSPECTIONS.
 - c. PROVIDE, AT THE PROJECT SITE, A FULL, CURRENT SET OF CONSTRUCTION DOCUMENTS FOR USE BY ALL PERSONNEL INVOLVED WITH THE PROJECT.
 - d. RECEIVE WRITTEN AUTHORIZATION TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DOCUMENTS.
 - e. PERFORM WORK DURING OWNER'S PREFERRED HOURS TO AVOID DISTURBING NORMAL BUSINESS.
 - f. PROVIDE FALL PROTECTION IN ACCORDANCE WITH FEDERAL, STATE, LOCAL, AND OWNER REQUIREMENTS.
 - g. IF FAA LIGHTING AND MARKING IS PRESENT ON SITE AND IS POWERED BY ELECTRICAL SERVICE THAT IS TO BE INTERRUPTED, MAINTAIN THE NECESSARY LIGHTS DURING CONSTRUCTION AND NOTIFY THE PROPER AUTHORITIES IN THE EVENT OF A DISRUPTION.
 - h. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A10BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF PROJECT AREA DURING CONSTRUCTION
 - i. STRUCTURAL COMPONENTS OF ADJACENT FACILITIES SHALL NOT BE ALTERED BY THIS CONSTRUCTION PROJECT, UNO. ENSURE THAT EXCAVATION DOES NOT AFFECT ADJACENT STRUCTURES.
 - j. SEAL ALL PENETRATIONS THROUGH FIRE-RATED AREAS WITH U.L. LISTED OR FIRE MARSHALL-APPROVED MATERIALS, IF APPLICABLE.
 - k. BURIED UTILITIES MAY EXIST IN THE AREA AND UTILITY INFORMATION SHOWN MAY NOT BE COMPLETE. CONTACT THE UTILITY LOCATE SERVICE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION.
 - I. COORDINATE ALL POWER INSTALLATION WITH POWER COMPANY AS REQUIRED. REPORT POWER INSTALLATION COORDINATION SOLUTION(S) TO OWNER'S REPRESENTATIVE.
 - m. PROTECT EXISTING IMPROVEMENTS, EASEMENTS, PAVING, CURBING, ETC. DURING CONSTRUCTION. UPON COMPLETION OF WORK, REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.
 - n. KEEP GENERAL WORK AREA CLEAN AND HAZARD FREE DURING CONSTRUCTION AND DISPOSE OF ALL DIRT, DEBRIS, AND RUBBISH. REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY OR PREMISES. SITE SHALL BE LEFT IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE.
 - 0. MAINTAIN THE INTEGRITY OF THE BUILDING ENVELOPE AND CONSTRUCT BARRIERS IN THE AREA OF WORK TO PREVENT DAMAGE FROM WEATHER AS WELL AS FROM CONSTRUCTION DUST AND DEBRIS.
- 8. INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO MANUFACTURER'S SPECIFICATIONS, UNO, OR WHERE LOCAL CODES OR ORDINANCES DIRECT OTHERWISE.
- 9. ANY SUBSTITUTIONS OF MATERIALS AND/OR EQUIPMENT, MUST BE APPROVED BY OWNER'S REPRESENTATIVE

- 10. DOCUMENT ALL CHANGES MADE IN THE FIELD BY MARKING UP THE APPROVED CONSTRUCTION DRAWINGS AND SUBMITTING THE REDLINED SET TO OWNER'S REPRESENTATIVE UPON COMPLETION. DOCUMENT ALL WORK PERFORMED WITH PHOTOGRAPHS TO BE SUBMITTED WITH REDLINED CONSTRUCTION DRAWINGS.
- 11. PROVIDE SUPPORTS FOR CABLES TO THE ELEVATION OF ALL INITIAL AND FUTURE ANTENNAS IN ACCORDANCE WITH ALL MANUFACTURER'S REQUIREMENTS.
- 12. A STRUCTURAL ANALYSIS AND A MOUNT ANALYSIS (IF REQUIRED) TO DETERMINE THE STRUCTURAL CAPACITY TO SUPPORT THIS PROPOSED EQUIPMENT WAS PERFORMED OUTSIDE THE SCOPE OF THIS PROJECT.

13. CONFIRM THAT THE REQUIREMENTS OF THE STRUCTURAL ANALYSIS, MOUNT ANALYSIS AND ANY ASSOCIATED MODIFICATIONS HAVE BEEN FOLLOWED AND COMPLETED AS REQUIRED TO SUPPORT THE FOUIPMENT ASSOCIATED WITH THIS PROJECT.

SPECIAL INSPECTIONS:

- WHEN REQUIRED. PROVIDE SPECIAL INSPECTIONS PERFORMED BY AN INDEPENDENT INSPECTOR. 1. APPROVED BY OWNER'S REPRESENTATIVE AND THE LOCAL JURISDICTION.
- 2. THE SPECIAL INSPECTOR SHALL PROVIDE A COPY OF THE REPORT TO THE OWNER'S REPRESENTATIVE, STRUCTURAL ENGINEER, CONTRACTOR, AND BUILDING OFFICIAL.

	ABBRE	VIATIO	ONS		
A/C	AIR CONDITIONING		LBS	POUNDS	
AFF	ABOVE FINISHED FLOOR		LTE	LONG TERM EVOLUTION	CITYSWITCH
AGL	ABOVE GROUND LEVEL,		MAX	MAXIMUM	
	ABOVE GRADE LEVEL	MECH	MECHA	NICAL	
AWS	ADVANCED WIRELESS SERVICE	M.LOIT	MTL	METAL	1900 CENTURY PLACE, SUITE 320
					ATLANTA, GA 30345
BBU	BATTERY BACKUP UNIT		MFR	MANUFACTURE	
BLDG	BUILDING		MGR	MANAGER	
BLK	BLOCKING		MIN	MINIMUM	
CLG	CEILING		MISC	MISCELLANEOUS	
CLR	CLEAR		NA	NOT APPLICABLE	
CONC	CONCRETE		NIC	NOT IN CONTRACT	
CONT	CONTINUOUS		NO	NUMBER	
D	DEPTH		NTS	NOT TO SCALE	0
DBL	DOUBLE		OC	ON CENTER	INFRASTRUCTURE
DEG	DEGREE		OD	OUTSIDE DIAMETER	FDD SERVICES
Ø, DIA	DIAMETER		PCS	PERSONAL COMMUNICATION	
DIAG	DIAGONAL			SERVICE	ENGINEERING INNOVATION
DN	DOWN		PDU	POWER DISTRIBUTION UNIT	6521 MERIDIEN DRIVE RALEIGH, NC 27616
DET	DETAIL		PROJ	PROJECT	PHONE: 919-755-1012 FAX: 919-765-1031
					THE INFORMATION CONTAINED IN THIS SET OF
DWG	DRAWING		PROP	PROPERTY	DOCUMENTS IS PROPRIETARY BY NATURE. REPRODUCTION OR CAUSING TO BE REPRODUCED
E	EXISTING		PT	PRESSURE TREATED	THE WHOLE OR ANY PART OF THESE DRAWINGS
EA	EACH		PVC	POLYVINYL CHLORIDE	WITHOUT THE PERMISSION OF FDH IS PROHIBITED.
ELEV, EL	ELEVATION		REQ	REQUIRED	SUBMITTALS
ELEC	ELECTRICAL		RF	RADIO FREQUENCY	REV DATE DESCRIPTION BY CHKD
EQ	EQUAL		RM	ROOM	A 4/5/2022 PRELIMINARY MTS JRB
	EQUIPMENT		RO	ROUGH OPENING	B 6/1/2022 PRELIMINARY MTS JRB
EQUIP					0 7/7/2022 CONSTRUCTION MTS JRB
EXT	EXTERIOR		RRH	REMOTE RADIO HEAD	1 8/10/2022 CONSTRUCTION AEV JRB
FIF	FIBER INTERFACE FRAME,		SHT	SHEET	2 11/14/2022 CONSTRUCTION ZK JRB
	FACILITY INTERFACE FRAME		SIM	SIMILAR	3 1/13/2023 CONSTRUCTION ZK JRB
FIN	FINISH		SPEC	SPECIFICATION	4 1/13/2023 CONSTRUCTION AEV JRB
FLUOR	FLUORESCENT		SF	SQUARE FOOT	
FLR	FLOOR		SS SS	STAINLESS STEEL	A STATISTICS AND A STAT
FT				STEEL	ING DANIS
	FOOT, FEET		STL		N'N'S
GA	GAUGE		SUSP	SUSPENDED	SUS CENSA 75
GALV	GALVANIZED		TMA	TOWER MOUNTED AMPLIFIER	100 N
GC	GENERAL CONTRACTOR		TND	TINNED	No 62750
GRND	GROUND		TYP	TYPICAL	No 62750
GSM	GLOBAL SYSTEM MOBILE		UMTS	UNIVERSAL MOBILE	× **
GYP	GYPSUM BOARD			TELECOMMUNICATION SERVICE	=0
			LINC		STATE OF
HORZ OTHERWISE	HORIZONTAL		UNO	UNLESS NOTED	3000
			VEST	VERTICAL	1 A CONDANCE
HR	HOUR		VERT	VERTICAL	G.
HT	HEIGHT		W/	WITH	ONALEN
ID	INSIDE DIAMETER		W/O	WITHOUT	THIMMAN AND A STATE
IN	INCH, INCHES		WCS	WIRELESS COMMUNICATION	
INSUL	INSULATION			SERVICE	1/13/2023
INT	INTERIOR		WP	WATER PROOF	DENNIS D. ABEL, PE
L	LENGTH				FDH INFRASTRUCTURE SERVICES, LLC COA 28282
-				Dennis D. Abel, PE Florlda License No. 62750	STATE LICENSE NO. 62750
				This item has been digitally	
				signed and sealed by Dennis D.	FDH JOB NUMBER:
				Abel, PE, on the date Indicated herein. Printed copies of this	PR-006900
				document are not considered	
				signed and sealed and the	SITE ID:
				signature must be verified on any electronic copies.	FLC034
				Digitally signed	SITE NAME:
				by Dennis Abel	OKEECHOBEE
				Date:	
					FA LOCATION:
				2023.01.13	10126641
				18:27:47 -05'00'	
				10.27.17 00 00	ADDRESS:
					1117 NW 9TH ST
					OKEECHOBEE, FL 34972
					SHEET TITLE:
					Officer Hitza
					GENERAL NOTES
					SHEET NUMBER:
					SHEET NUMBER: GN-1

SITE NOTES:

- 1. CLEAR AND GRUB SITE OF ALL VEGETATION, PAVING, GRAVEL BASE AND OTHER DEBRIS NOT TO REMAIN. SUBGRADES ARE TO BE SET PRIOR TO LANDSCAPE INSTALLATION.
- 2 PROVIDE ELEVATION OF SUBGRADE WITHIN 0.10 FOOT OF ELEVATIONS SHOWN ON PLAN MINUS DEPTH OF TOPSOIL, FILL, AND MULCH,
- 3. ROUGH GRADE ALL AREAS WITHIN 1 FOOT OF ELEVATIONS INDICATED BEFORE PLANTING, PROVIDE POSITIVE DRAINAGE AWAY FROM EQUIPMENT SLABS, BUILDINGS AND THROUGH ALL PLANTER AREAS TO AVOID LOW SPOTS AND STANDING WATER
- REWORK (DRY, SCARIFY, ETC.) ALL MATERIAL NOT SUITABLE FOR SUB GRADE IN ITS PRESENT STATE. AFTER REWORKING, IF THE MATERIAL REMAINS UNSUITABLE, UNDERCUT AND REPLACE WITH SUITABLE MATERIAL AT CONTRACTOR'S EXPENSE. ALL SUB GRADES AND AGGREAGATE BASE COURSES SHALL BE PROOF ROLLED WITH A FULLY LOADED TANDEM DUMP TRUCK, AND ANY SOFT SPOTS SHALL BE REWORKED OR REPLACED UNTIL PASSING PROOF ROLL.
- 5. BLEND NEW GRADES NATURALLY INTO EXISTING GRADES.
- 6. MAINTAIN POSITIVE DRAINAGE ON THE SITE AT ALL TIMES, INCLUDING KEEPING ALL EXISTING AND NEW DITCHES, PIPES AND OTHER DRAINAGE STRUCTURES FREE FROM OBSTRUCTION. ANY DAMAGE RESULTING FROM FAILURE TO COMPLY SHALL BE REMEDIED BY CONTRACTOR
- 7. IF REQUIRED, MAINTAIN CONTINUOUS EROSION CONTROL ON THE DOWNSTREAM SIDE OF THE SITE. IN LANDSCAPE AREAS, FINISH GRADES ARE TO FOLLOW THE GRADES AND EDGE DETAILS
- INDICATED AND BE MOUNDED 6 INCHES IN THE CENTER OF THE BED ABOVE THE EDGE OF THE LANDSCAPE AREA
- DO NOT PLACE FILL OR EMBANKMENT MATERIAL ON FROZEN GROUND. DO NOT PLACE FROZEN MATERIALS, SNOW OR ICE IN ANY FILL OR EMBANKMENT.
- 10. NOTIFY OWNER'S REPRESENTATIVE IF MODIFICATIONS TO THE PROPOSED GRADING SEEM NECESSARY AND OBTAIN APPROVAL PRIOR TO START OF WORK.
- 11. FOOTINGS SHALL BEAR ON FIRM, NATURAL, UNDISTURBED SOIL, OR ON ENGINEERED FILL (COMPACTED TO 95% ASTM D698), ENSURE THAT EXCAVATIONS ARE FREE OF ORGANIC MATERIAL. DEBRIS, OR OTHER FOREIGN MATERIAL. NOTIFY OWNER'S REPRESENTATIVE IF ANY UNUSUAL CONDITIONS ARE ENCOUNTERED.
- 12. FILL AND SLAB BASE MATERIAL SHALL BE 3/4" MINUS CRUSHED ROCK PLACED IN 8" (MAXIMUM) LOOSE LIFTS AND COMPACTED TO 98% ASTM D698.

CONCRETE NOTES:

2.

1. CONCRETE AND REINFORCING SHALL CONFORM TO THE FOLLOWING REQUIREMENTS: CONCRETE CONSTRUCTIONACI 318

CEMENT	ASTM C150, PORTLAND	CEMENT TYPE II, UNO	
REINFORCING STEEL	ASTM A615 (INCLUDING	SUPPLEMENT S1), GR	ADE 60,
fy=	=60 Ksl, UNO		
WELDED WIRE FABRIC	ASTM A185		
SPIRAL REINFORCEMENT	ASTM A615, GRADE 60,	fy=60 KSI	
ANCHOR BOLTS	ASTM A307		
GRADE 60 REBAR WELDING AS	STM A706		
NOTES: ANY BARS SO NOTED ON THE DRAWINGS SHALL BE GRADE 60, fy=60 KSI. REINFORCING			
COMPLYING WITH ASTM A615(
INDICATING CONFORMANCE W	ITH WELDING PROCEDURES S	PECIFIED IN A.W.S. D1	4 ARE
SUBMITTED.			
CONCRETE PROTECTION (COVER	R) FOR REINFORCING STEEL S	HALL BE AS FOLLOWS:	:
FOOTINGS AND OTHER UNFO	RMED SURFACES, EARTH FAC	E	3"
		(110 D . D . D .)	

SLABS AND WALLS	(INTERIOR FACE)	3/4"
FORMED SURFACES EXPOSED TO EARTH OR WEATHER	(≤ #5 BARS)	1-1/2"
FORMED SURFACES EXPOSED TO EARTH OR WEATHER	(≥ #6 BARS)	2"

- AIR ENTRAIN ALL CONCRETE WITH SURFACES EXPOSED TO WEATHER WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260, C494, C618, C989 AND C1017, AIR ENTRAIN CONCRETE EXPOSED TO FREEZING AND THAWING WHILE MOIST IN ACCORDANCE WITH ACI 318. SECTION 4.4.1.
- DETAIL REINFORCING STEEL (INCLUDING HOOKS AND BENDS) IN ACCORDANCE WITH ACI 315 AND 318. LAP ALL CONTINUOUS REINFORCEMENT AT LEAST 30 BAR DIAMETERS OR A MINIMUM OF 2-0*. PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP CORNER BARS AT LEAST 30 BAR DIAMETERS OR A MINIMUM OF 2'-0". LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.
- PERFORM WELDING OF GRADE 60 REINFORCING BARS (IF REQUIRED) USING LOW HYDROGEN 5. ELECTRODES. PERFORM WELDING OF GRADE 40 REINFORCING BARS (IF REQUIRED) USING E70 XX ELECTRODES. DO NOT WELD WITHIN 4" OF COLD BENDS IN REINFORCING STEEL.
- DO NOT FIELD BEND REINFORCING PARTIALLY EMBEDDED IN CONCRETE UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE ENGINEER.
- 7. SUPPORT BARS ON CHAIRS OR DOBIE BRICKS.
- 8. FURNISH NON-SHRINK GROUT BY AN APPROVED MANUFACTURER. MIX AND PLACE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS, GROUT STRENGTH SHALL BE AT LEAST FOURL TO THE MATERIAL ON WHICH IT IS PLACED (3 KSL MINIMUM).
- 9. ALL EXPANSION ANCHORS TO BE HILTI BRAND, UNO. TEST ADHESIVE ANCHORS TO CONFIRM CAPACITY UNLESS WAIVED BY ENGINEER AND LOCAL JURISDICTION.

STRUCTURAL STEEL NOTES:

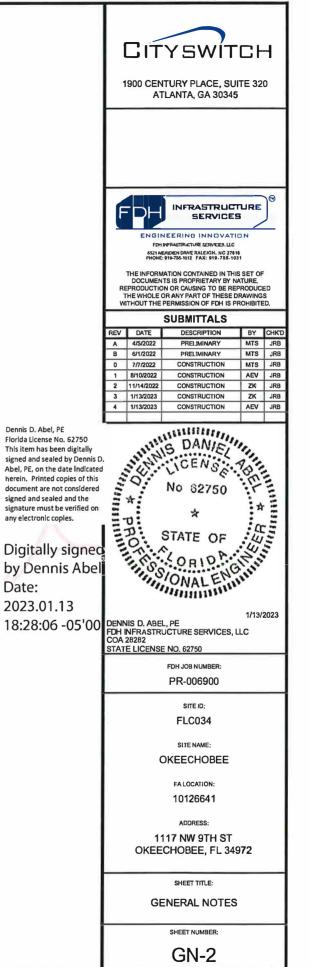
1. STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

WIDE FLANGE SHAPES	ASTM A992, GRADE 50
SHAPES, PLATES, ANGLES, & RODS	ASTM A36, Fy 36 KSI
SPECIAL SHAPES AND PLATES	ASTM A572, Fy 50 KSI
PIPE COLUMNS	ASTM A53, Fy 35 KSI
STRUCTURAL TUBING	ASTM A500, Fy 46KSI
ANCHOR BOLTS	ASTM A307
CONNECTION BOLTS	ASTM A325 TWIST-OFF

- 2. BASE STRUCTURAL STEEL DESIGN, FABRICATION AND ERECTION (INCLUDING FIELD WELDING, HIGH STRENGTH FIELD BOLTING EXPANSION BOLTS AND THREADED EXPANSION ANCHORS) ON THE AISC "SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS" LATEST EDITION
- 3. HOT DIP GALVANIZE AFTER FABRICATION PER A123/A123M-00 ALL STEEL EXPOSED TO WEATHER AND WHERE NOTED.
- 4. CONFORM TO ALL AISC AND AWS STANDARDS FOR WELDING. PERFORM WELDING BY ANSI/AWS D1.1 CERTIFIED WELDERS USING E70 XX ELECTRODES, USE ONLY PRE-QUALIFIED WELDS AS DEFINED BY AWS.
- 5. PROVIDE COLD-FORMED STEEL FRAMING MEMBERS OF THE SHAPE, SIZE, AND GAGE SHOWN ON THE PLANS. PROVIDE MINIMUM SECTION PROPERTIES INDICATED. ALL COLD-FORMED STEEL FRAMING SHALL CONFORM TO THE AISI "SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS.
- 6. FOR BOLTED CONNECTIONS, USE 3/4" DIA., BEARING-TYPE, A325 BOLTS WITH A MINIMUM OF 1WO BOLTS, UNO.
- 7. FOR NON-STRUCTURAL CONNECTIONS FOR STEEL GRATING, USE 5/8" DIA, A307 BOLTS, UNO,
- 8. PREPARE AND PAINT IN ACCORDANCE WITH THE PAINT MANUFACTURERS WRITTEN INSTRUCTIONS, UNO
- 9. TOUCH UP ALL FIELD DRILLING, WELDING AND CUT SURFACES WITH 2 COATS OF GALVACON (ZINC RICH PAINT) OR APPROVED EQUAL.

SITE SPECIFIC SOIL MANAGEMENT PLAN:

SOIL MATERIALS EXCAVATED BY THE CONTRACTOR FROM WITHIN RAIL RIGHT-OF-WAY (ROW) SHALL BE RE-USED AS BACKFILL AT THE POINT OF ORIGIN OR SHALL BE RE-DISTRIBUTED ON THE ROW IN THE NEAR VICINITY OF THE POINT OF ORIGIN.



Dennis D. Abel, PE Florida License No. 62750 This item has been digitally signed and sealed by Dennis D. Abel, PE, on the date Indicated herein. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Digitally signed by Dennis Abel Date: 2023.01.13

NOTES:

- 1. THIS PLAN IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.
- 2. PLANTING AREAS SHALL BE PROTECTED FROM DAMAGE BY VEHICLES, LUBRICANTS, OR FUELS,
- 3. THE FACILITY IS UNMANNED AND NOT INTENDED FOR HUMAN HABITATION, THERE IS NO HANDICAP ACCESS REQUIRED.
- THE FACILITY IS UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SANITARY SERVICE.
- 5. UTILITIES TO BE CONFIRMED DURING SITE VISIT.
- SITE PLAN AND PROPERTY LINES DEVELOPED FROM SURVEY COMPLETED 6 BY SMW ENGINEERING GROUP, INC, DATED 9/28/2021. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- PROPOSED SITE IS LOCATED IN EXISTING FLOOD ZONE X ACCORDING TO 7 FEMA PANEL # 12093C0415C DATED JULY 16, 2015.
- 8. CONTRACTOR WILL NOT START CONSTRUCTION UNTIL AFTER THEY HAVE RECEIVED THE PRE-CON PACKAGE AND HAVE A PRE-CON WALK WITH THE PROJECT MANAGER.
- CONTRACTOR TO HIRE PUBLIC (811) AND PRIVATE LOCATING SERVICE IN 9. ORDER TO LOCATE AND PROTECT ALL SUB-SURFACE UTILITES. DO NOT SCAL OFF THESE PLANS FOR ANY BELOW GRADE UTILITIES.
- 10. CONTRACTOR SHALL VERIFY ALL EXISTING BURIED AND OVERHEAD UTILITES PIOR TO EXCAVATION. CONTRACTOR SHALL REPAIR ALL DAMAGED UTILITIES AT HIS OWN COST AND COORDINATE ANY REPAIRS WITH RESPECTIVE UTILITY COMPANY.
- 11. CONTRACTOR TO VERIFY ALL HEIGHTS AND AZIMUTHS IN FIELD PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY CARRIER AND ENGINEERING FIRM OF ANY DISCREPANCIES BEFORE PROCEEDING.
- 12. CONTRACTOR SHALL RESTORE AND REPAIR ANY DAMAGED AREAS CAUSED BY CONSTRUCTION.

PARCEL INFORMATION:

OWNER: CSX TRANSPORTATION

JURISTICTION: CITY OF OKEECHOBEE

ZONING: INDUSTRIAL

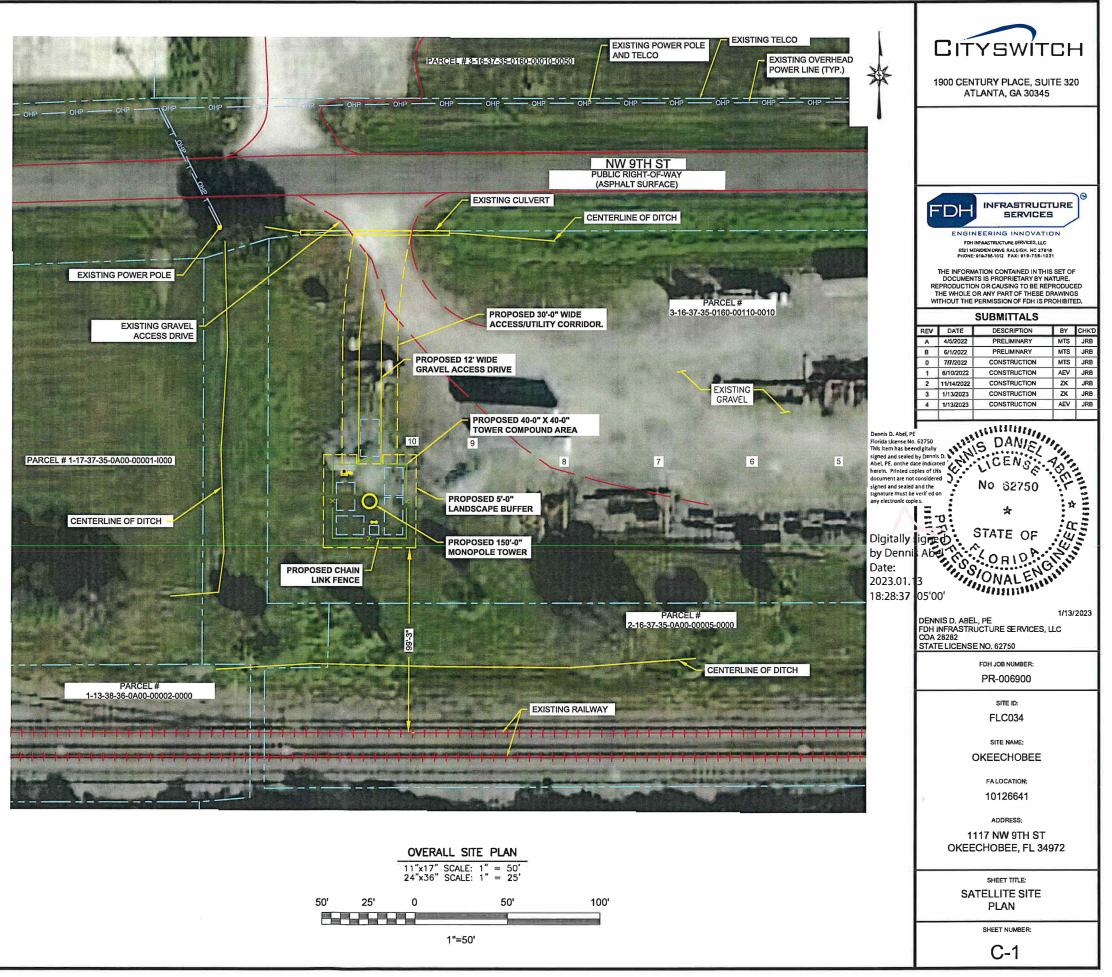
LAND USE: -

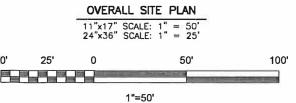
PARCEL NUMBER: 3-16-37-35-0160-00110-0010

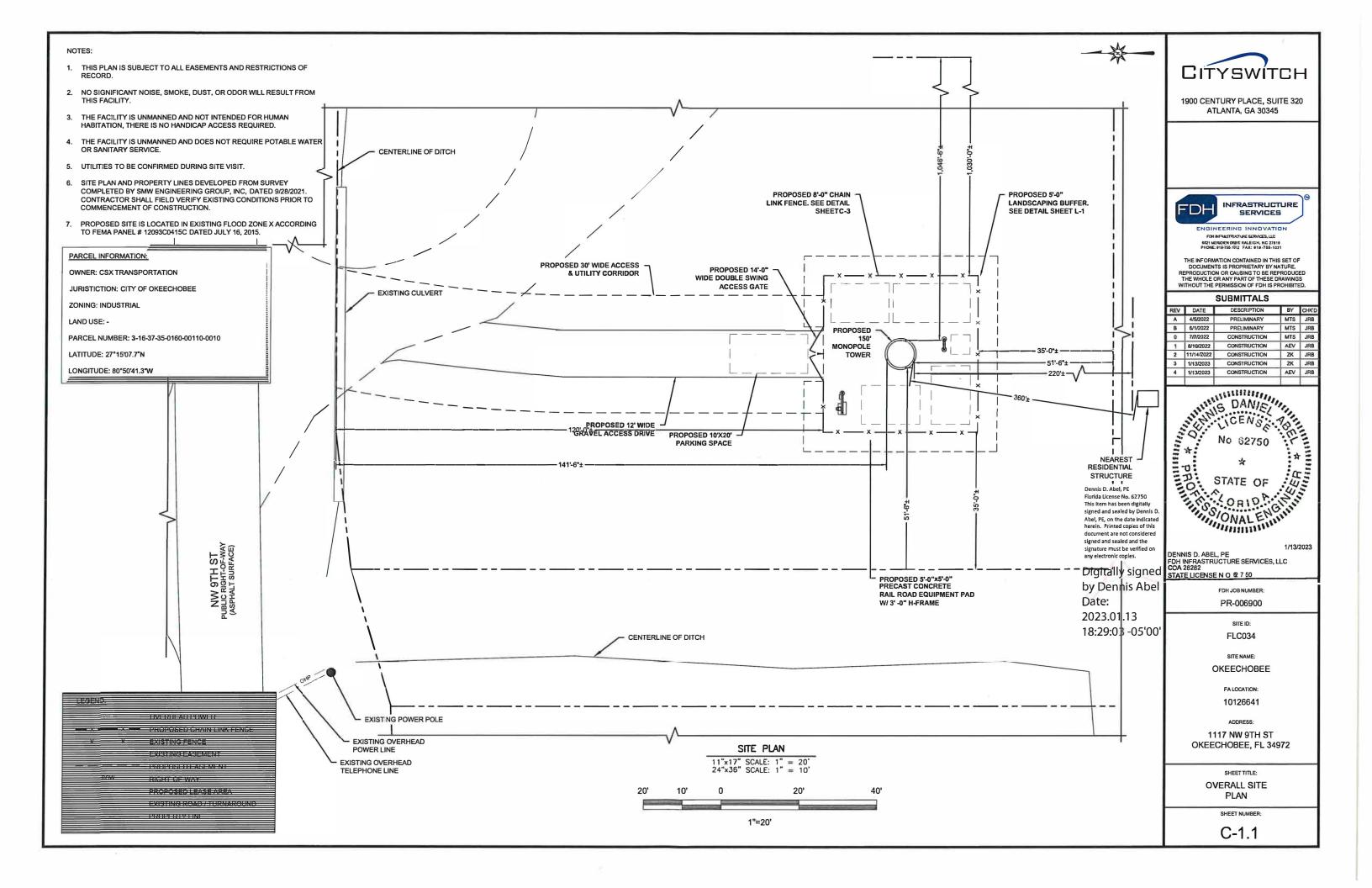
LATITUDE: 27°15'07.7"N

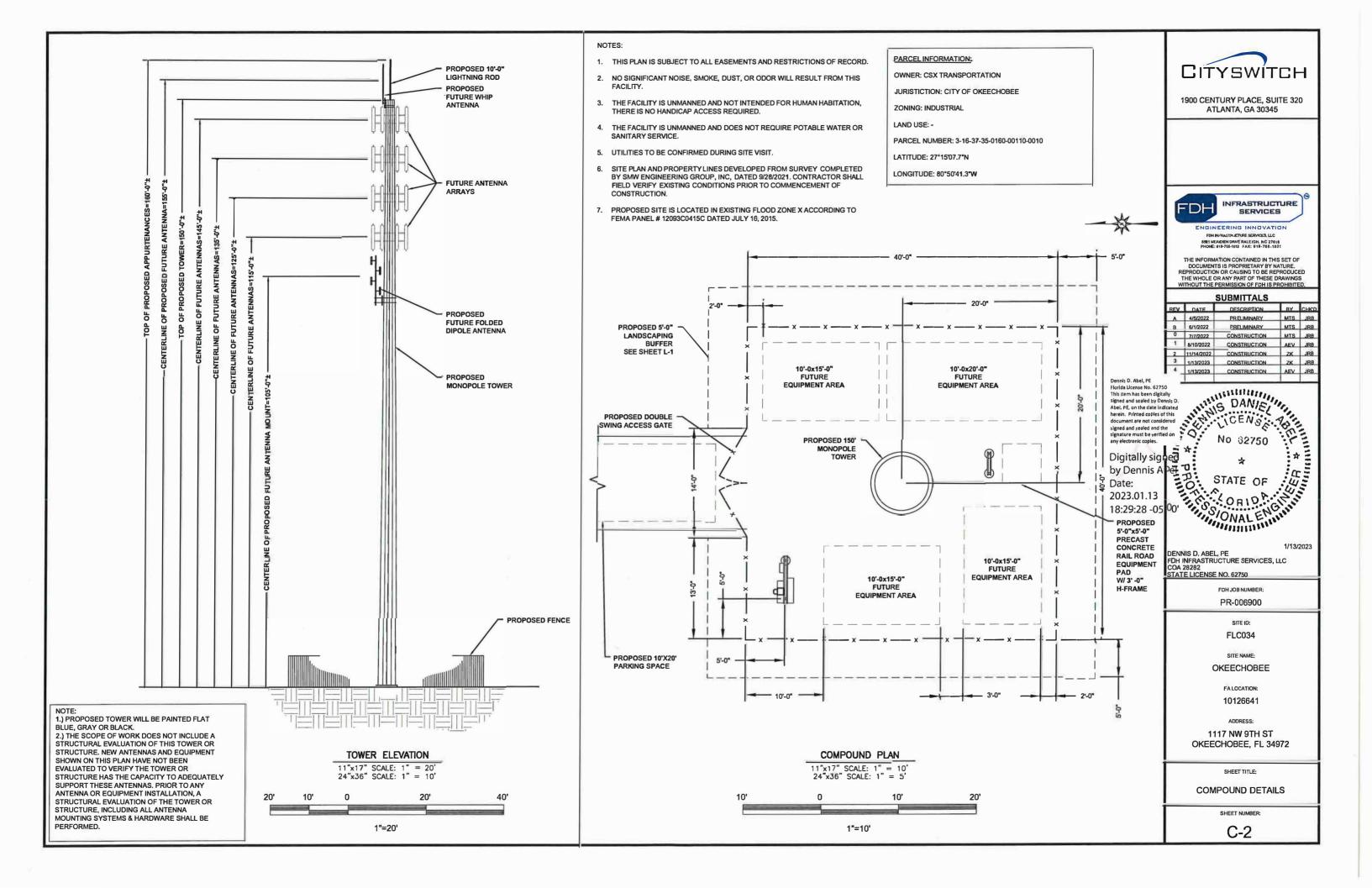
LONGITUDE: 80°50'41.3"W

LEGEND:	
OHP	OVERHEAD POWER
<u> </u>	PROPOSED CHAIN-LINK FENCE
<u> </u>	EXISTING FENCE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	RIGHT-OF-WAY
	PROPOSED LEASE AREA
	EXISTING ROAD / TURNAROUND
	PROPERTY LINE









CALLOUTS:

- 3* O.D. GALVANIZED STEEL SCHEDULE 40 CORNER POSTS (PER ASTM-F1083).
- 2-1/2" NOMINAL GALVANIZED STEEL, SCHEDULE 40 INTERMEDIARY LINE POSTS (PER ASTM-F1083). LINE POSTS SHALL BE EQUALLY SPACED AT MAXIMUM 10' O.C.
- (3) 1-5/8" O.D. ROUND TOP RAIL & BRACE PIPE RAIL (PER ASTM-F1083).
- 9 GAUGE FABRIC CORE WIRE WITH 2" MESH (TO CONFORM TO ASTM-A392).
- (5) 9 GAUGE ALUMINUM TIE WIRE. PROVIDE HOG RING FABRIC TIES SPACED 12" O.C. FOR POSTS AND GATES AND 24" O.C. FOR RAILS AND WIRE.
- (8) 9 GAUGE ALUMINUM TENSION WIRE.
- 3 STRANDS 14 GAUGE BARBED WIRE WITH 4 POINT BARBS. SPACE BARBS APPROXIMATELY 5" O.C.
- (8) 3/16"x3/4" STRETCHER BAR; TO EXTEND FULL HEIGHT OF FENCE.
- (9) 3/8" DIAGONAL ROD WITH GALVANIZED STEEL TURNBUCKLE OR DIAGONAL THREADED ROD.
- (18) 1-5/8" DIAMETER CORNER POST BRACE.
- (11) MAINTAIN A 1" MAXIMUM CLEARANCE FROM FINISHED GRADE.
- PROVIDE CROWNED/PITCHED FINISH FOR FENCE POST PIER FOUNDATIONS; TO EXTEND 1" ABOVE GRADE.
- (13) 6" CRUSHED STONE (TYP.).
- (14) FINISHED GRADE SHALL BE UNIFORM AND LEVEL.
- 15 4* 0.D. GALVANIZED STEEL SCHEDULE 40 GATE POSTS (PER ASTM-F1083).
- (18) 1-1/2" NOMINAL PIPE FOR GATE FRAME BRACE RAIL (PER ASTM F-1083).
- 1 DUCK BILL OPEN GATE HOLDER. CONTRACTOR TO VERIFY EXACT LOCATION PRIOR TO INSTALLATION.
- (18) MULTI-TENTANT LOCKING DEVICE.
- (18) PROPOSED GEOTEXTILE FABRIC.
- CONCRETE PIER FOUNDATION: TO ACHIEVE A MINIMUM STRENGTH OF 3000 PSI AT 28 DAYS, CONCRETE DEPTH TO BE A MINIMUM OF 6" BELOW FROST LINE (48" MINIMUM, TYP.).

ALL FENCING TO BE INSTALLED PER ASTM F-567. ALL SWING GATES TO

POST & GATE PIPE SIZES ARE INDUSTRY STANDARDS, ALL PIPE TO BE

GOLD GALV. (OR EQUAL). ALL OPEN POSTS SHALL HAVE END-CAPS.

ALL SIGNS MUST BE MOUNTED ON INSIDE OF FENCE FABRIC USING

MUSHROOM ANCHOR AND PLUNGER REQUIRED FOR GATE, GENERAL

GALVANIZED (HOT DIP, ASTM A120 GRADE "A" STEEL). ALL GATE FRAMES

SHALL BE WELDED. ALL WELDINGS SHALL BE COATED WITH (3) COATS OF

2. BARBED WIRE PERMIT REQUIRED SHALL BE COMPLETED IF LOCAL

(21) 12"x24" NO TRESPASSING SIGN.

BE INSTALLED PER ASTM F-900.

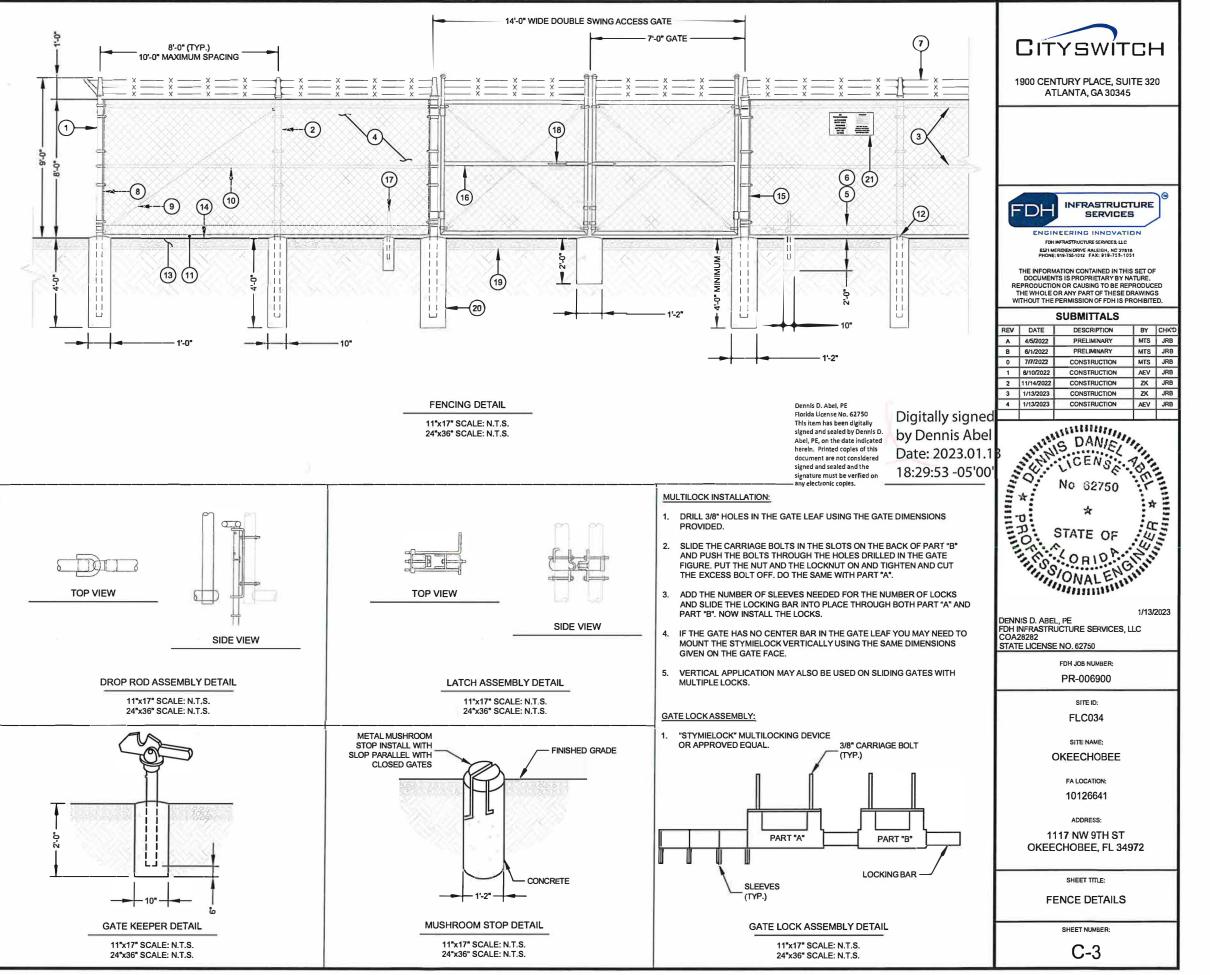
GALVANIZED HOG-RING WIRE.

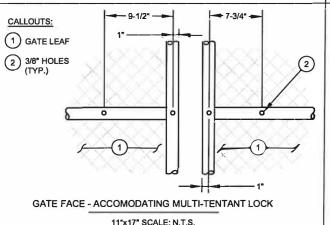
CONTRACTOR RESPONSIBLE FOR GATE LOCK.

ORDINANCE REQUIRES.

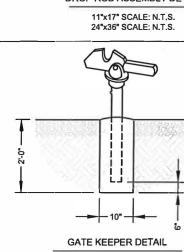
NOTES:

3.





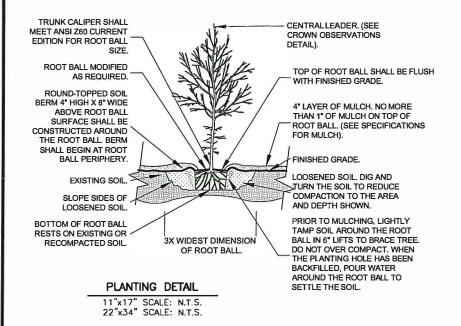
24"x36" SCALE: N.T.S.

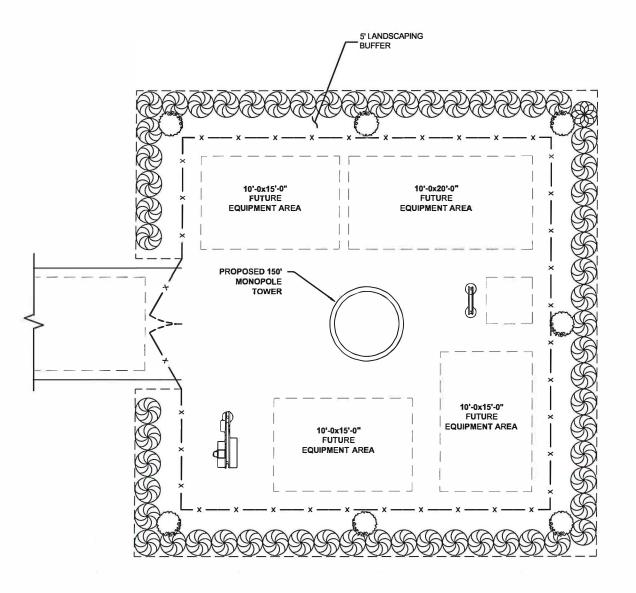


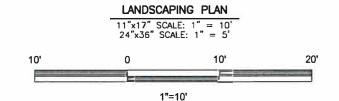


LANDSCAPING NOTES:

- 1. CONTRACTOR TO MINIMIZE GRADING AND CLEARING TO MAXIMIZE THE USE OF EXISTING VEGETATION.
- 2. PLANTING AREAS SHALL BE PROTECTED FROM DAMAGE BY VEHICLES, LUBRICANTS, OR FUELS.
- 3. THE OWNER IS RESPONSIBLE FOR MAINTAINING ALL REQUIRED PLANT MATERIALS AND PLANTING ARES IN GOOD HEALTH AND APPEARANCE. ALL DEAD, UNHEALTHY, OR MISSING PLANTS SHALL BE REPLACED WITHIN 180 DAYS WITH VEGETATION WHICH CONFORMS TO THE INITIAL PLANTING RATES AND STANDARDS.
- CONSTRUCTION SITE ACTIVITIES SUCH AS PARKING, MATERIAL STORAGE, SOIL STOCKPILING AND CONCRETE WASHOUT SHALL NOT BE PERMITTED WITHIN TREE PROTECTION AREAS.
- 5. PROPOSED VEGETATION & PLANTING MATERIAL SHALL COMPLY WITH ALL LOCAL, STATE, FEDERAL REGULATIONS.
- 6. ALL PLANTINGS SHALL BE INSTALLED WITH A LAYER OF 3" SHREDDED HARDWOOD MULCH. ALL TREES AND SHRUBS SHALL BE PLANTED IN MULCH BEDS WITH SHOVELED EDGE.
- NOTES:
- 1- TREES SHALL BE OF QUALITY PRESCRIBED IN CROWN OBSERVATIONS AND ROOT OBSERVATIONS DETAILS AND SPECIFICATIONS.
- 2- SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL.







PROPOSED PLANT SCHEDULE								
71/05		COMMON NAME	SPECIFICATION					
TYPE	TYPE BOTANICAL NAME		QUANTITY	HEIGHT	CALIPER	ROOT	SPACING	SYMBOL
CANOPY TREE	PINUS PALUSTRIS	LONGLEAF PINE	7	8'-0" (MIN.)	3"	32"	25' C/C	0
SHRUB	ARGUSIA GNAPHALODES*	SEA LAVENDER	56	3'-0" (MIN)	3 GAL.		3' C/C	8

NOTE: 1- BEDDING MATERIAL SHALL CONSIST OF WOOD CHIP MULCH AND 3" (MIN.) EVENLY SPREAD IN A 2-FT. RADIUS SURROUNDING PROPOSED PLANTS.

*NOTE: OR OTHER SPECIES AS MAY BE APPROVED BY THE CITY OF OKEECHOBEE.



PETITION #22-003-SE, ADDITIONAL DOCUMENTS: Response to City Staff Requests and Opposition by SBA:

Letter from Baker Donelson dated 11-22-2022, 6 Pages

Attachment 1, Zoning Drawings, 10 Pages

Attachment 2, Letter by Gregory Ohmer of AT&T dated 10-27-2020, 1 Page

Attachment 3, Sworn Statement of Spencer Gamrell, 4 Pages

Attachment 4, Order, Kentucky Public Service Commission Case #2020-003109, 9 Pages

> Submitted to City Staff on 11-22-2022 Via email



SHIPT TOWER 420 20TH STREET NORTH SUITE 1400 BIRMINGHAM, ALABAMA 35203

PHONE: 205.328.0480 FAX: 205.322.8007

www.bakerdonelson.com

W. PATTON HAHN Direct Dial: 205.250.8366 E-Mail Address: phahn@bakerdonelson.com

November 22, 2022

VIA FEDERAL EXPRESS

Mr. John J. Fumero Nason, Yeager, Gerson, Harris & Fumero, P.A. 750 Park of Commerce Blvd., Suite 210 Boca Raton, Florida 33487

Re: City of Okeechobee, Florida Special Exception Petition No. 22-003-SE filed by Ignite Wireless as authorized agent of CitySwitch II-A, LLC ("CitySwitch")

Dear John:

This letter follows our conversations, as well as the October 20, 2022 meeting of the City of Okeechobee, Florida (the "City") Board of Adjustment (the "BOA") regarding the above-referenced Special Exception application. As you are aware, at that meeting the BOA continued the hearing in this matter until the BOA's meeting scheduled for November 17, 2022 in order to more fully evaluate the opposition materials submitted on October 19, 2022 on behalf of SBA 2012 TC Assets, LLC, a subsidiary of SBA Communications Corporation (herein, collectively, "SBA"). The BOA subsequently continued hearing of this matter to its meeting scheduled for December 15, 2022. This letter and the attachments hereto are intended to serve as a response to SBA's opposition as well as a response to requests for additional information communicated by City Administrator Gary Ritter to Kyle Lotze of Ignite Wireless on October 27, 2022.

We trust you will disseminate this letter and its attachments to the members of the BOA, Mr. Ritter, and the City's planning consultant, Ben Smith. If you would prefer me to send this to them directly, please let me know and we will be happy to do so. We have provided a copy of the letter to Ms. Patty Burnette in her capacity as the City's General Services Coordinator.

Before responding to SBA's unfounded objections, and providing you and the members of the BOA with some insight into the true reason SBA has come forward, we would like to recap CitySwitch's application:

• July 13, 2022: CitySwitch submits its special exception application and request for approval of a new wireless communications tower (the "Application")

- July 15, 2022: Ms. Patty Burnette requests additional information from CitySwitch
- August 12, 2022: CitySwitch submits revisions to its Application materials and additional information in response to Ms. Burnette's requests
- August 15: Ms. Burnette acknowledges receipt of the additional information
- October 13: Director of Planning Ben Smith of Morris Depew issues reports to the BOA and City Technical Review Committee (the "TRC") recommending that the BOA and TRC approve the Application with certain conditions
- October 19: SBA sends opposition materials to the TRC and BOA
- October 20: After hearing the matter, the TRC approves the Application, with conditions that CitySwitch agreed to meet; at the BOA meeting that same night, the BOA continues the hearing to its November 17 meeting
- October 27: City Administrator Gary Ritter requests additional information from Ignite Wireless
- November 3: Ms. Burnette communicates that the Application is going to be continued to the December 15 BOA meeting.

The Application

CitySwitch is seeking approval to construct a new 150 foot wireless communications facility to be topped by a 10-foot lightning rod (the "Proposed Facility") located on property owned by CSX Transportation located at 1117 NW 9th Street, Okeechobee, Florida 34972 (the "CSX Site"). The Proposed Facility will be an unlit monopole design. The CSX Site is located within an industrial zoning district and is currently used for railroad purposes. CitySwitch plans to lease a 50-foot by 50-foot compound within the CSX Site within which the Proposed Facility will be located. CSX reserves the right to place its proprietary communications equipment on the Proposed Facility.

In his staff reports to both the BOA and TRC, Mr. Smith thoroughly analyzed the Application, compared it to the requirements of the City's ordinances (and, specifically, the requirements of the City's Land Development Code Sections 90-601 *et seq.* (governing requirements and standards for telecommunications facilities) and Section 70-373 (providing the requirements for granting a special exception application)), and recommended granting the Application with certain revisions and conditions. Those conditions and revisions were as follows:

1. Applicant must submit one consistent set of plans to be reviewed by the building official for conformance with applicable code. Should total structure height exceed 160' or a design other than monopole be proposed, plans may be subject to additional review by Board of Adjustment and/or Technical Review Committee.

2. Landscaping must be provided in conformance with LDC Section 90-603(g).

3. Submittal of FAA approval for proposed tower design/height.

4. The use of any portion of a tower for sign or advertising purposes including, without limitation, company name, banner, or streamer is prohibited.

5. Per 90-603(p), if the use of any communication tower has been discontinued for a period of 180 consecutive days, the tower shall be deemed to have been abandoned. Upon such abandonment, the owner/operator of the tower shall have an additional 180 days within which to:(1)Reactivate the use of the tower or transfer the tower to another owner/operator who makes actual use of the tower; or(2)Dismantle and remove the tower.

6. Per 90-603(r), certification of compliance with all current Federal Communication Commission standards, including (FCC) nonionizing electromagnetic radiation (NIER), shall be submitted prior to receiving final inspection by the building department.

CitySwitch indicated at the October 20 TRC and BOA meetings that it consented to each of these conditions. As to Item 1, CitySwitch submitted 10 sets of construction drawings showing that the total height of the Proposed Facility (including the lightning rod) was 160 feet tall. As to Item 3, CitySwitch provided the required FAA approval at the October 20 meetings.

As to Item 2, CitySwitch confirmed at the October 20 TRC meeting that, while the landscaping requirements of LDC Section 90-603(g) served no purpose on the CSX Site and could potentially interfere with CSX's operations, CitySwitch would comply with the landscaping requirements. Revised zoning drawings are included showing compliance with this requirement (see p. 10) are enclosed.

The SBA Opposition

Before responding substantively to the issues SBA purports to raise in its October 19, 2022 letter to the BOA (the "SBA Opposition"), we would ask that the BOA keep in mind their source and SBA's true motivation. SBA is a publicly-traded company that owns wireless towers and leases on the space on those towers to wireless carriers like AT&T; it is a competitor of CitySwitch. SBA's main source of revenue is rents paid by wireless carriers and it therefore has a tremendous economic incentive to force carriers like AT&T to remain on its towers, even when, as here, AT&T has economic and technological reasons for moving off of an SBA tower. In other words, SBA has not appeared before the City out of some sense of altruism to ensure the City's LDC is complied with, but instead solely to maintain its monopoly on wireless airspace in the vicinity of the SBA Tower.

SBA raises two main arguments in its October 19 letter to the BOA to argue that the BOA should deny the Application: (1) that the Application fails to comply with the LDC's landscaping requirements for wireless communications facilities and (2) that the Proposed Facility will "have an adverse effect on the interests of the citizens of the City by allowing the proliferation of an unnecessary new tower without any additional cell coverage or benefit, contrary to LDR Section 70-373(c)(3)." As noted above, the TRC mandated that CitySwitch install landscaping as part of the Proposed Site, CitySwitch has agreed to comply with this condition, and it will be submitting

revised drawings demonstrating its intent to comply with this condition. Accordingly, SBA's first argument is moot and not worthy of further discussion.

As to SBA's second argument, LDC Section 90-602(c)(2)(b) provides that applicants must show a "demonstrated need or demand" for a proposed new communication tower. CitySwitch's Application has demonstrated that the Proposed Facility is needed and that there is a demand for it.

First, CitySwitch submitted radio frequency ("RF") propagation maps as part of the application demonstrating that AT&T's wireless coverage would be improved in the area around downtown Okeechobee if the Proposed Facility is constructed. Copies of these propagation maps, which were prepared by AT&T's RF engineer, using AT&T's proprietary software designed to model the performance of AT&T's equipment, are attached. Mr. Smith's staff report to the TRC affirmed that CitySwitch's application met this requirement.

Second, CitySwitch has proved that there is a demand for the Proposed Facility through the submission of the Affidavit of Spencer Gambrell. As noted in his affidavit, AT&T desires to move its equipment from the SBA Tower to the Proposed Facility for cost reasons. As he states, if AT&T cannot move to the Proposed Facility, it estimates that it will incur an additional \$2 million in rent and other charges as a result of being located on the SBA Tower. These monies would mean that AT&T will have less capital to invest in technology upgrades for the area.

As an example, AT&T plans to deploy FirstNet on the Proposed Facility. FirstNet, the First Responder Network Authority, is a separate network specifically dedicated for use by first responders and other public safety personnel.

The City has already taken into account SBA's concerns that tower developers might, to use SBA's term, "overbuild" wireless facilities within the City. LDC Section 90-603(d)(3) requires that a new facility of more than 75 feet be at least 500 feet from any other such tower. The Proposed Facility meets this setback requirement, as noted by Mr. Smith in his staff report, and is 0.7 miles away from the SBA Tower.

Again, SBA has only one goal in this proceeding: remaining AT&T's landlord on the SBA Tower. AT&T has been attempting to resolve its issues with SBA specific to this site since October 2020 but SBA has refused to negotiate in good faith (AT&T's October 27, 2020 letter to SBA regarding this site is attached). Because of SBA's refusal to negotiate, AT&T was forced to seek alternative sites for its equipment, culminating in the Application currently pending before the BOA.

SBA is attempting to use the LDC to prevent a lower-cost tower operator, CitySwitch, from constructing the tower to preserve its monopoly on the ability to provide wireless services in the area. The City should reject this transparent attempt to misuse its ordinances in such a way. The Kentucky Public Service Commission was faces with this exact same argument from SBA in a matter before it and saw right through it, writing:

SBA's only interest is to remain AT&T Mobility's landlord, whether by complicating the proceeding or by engaging in rent negotiations within the proceeding. As the Commission has noted in another case in which SBA sought intervention: "The Commission is under no illusion that SBA's request to intervene in this case is anything other than an attempt to protect its monopoly as the owner of the only tower in the area." Although SBA has advanced additional arguments since the Commission's decision in Case No. 2017-00345, SBA's interest remains the same: SBA is a competitor with an interest in keeping tower rents high by limiting the number of towers. This runs counter to one of the stated purposes of the Telecommunications Act of 1996, which is to promote competition, as well as KRS 278.546(4), which states that market-based competition benefits consumers. Unreasonable and excessive fees for rent on a tower have the potential to divert resources that could otherwise be used to invest in expanding wireless networks and conducting necessary network upgrades necessary to meet increased demand for wireless voice and broadband services.

The Commission has encouraged co-location as the preferred method in the provision of wireless service; however, the opportunity to co-locate must be "reasonably available." Unreasonably high rent or onerous conditions render such opportunities unreasonable.¹

CitySwitch's Application meets all of the requirements of the LDC for new telecommunications towers and for the issuance of a special exception permit, except for the landscaping requirement CitySwitch has agreed to meet. The City's Planning Director, Ben Smith, rigorously examined the Application and concluded this in both his reports to the TRC and the BOA. The Application is due to be granted.

¹ In the Matter of Electronic Application of New Cingular Wireless PCS, LLC d/b/a AT&T Mobility For Issuance Of A Certificate Of Public Convenience And Necessity To Construct A Wireless Communications Facility In The Commonwealth Of Kentucky In The County Of Pulaski, Kentucky Public Service Commission Case No. 2020-00310, at 3-4 (copy attached).

Please do not hesitate to contact me if you have any questions or need additional information.

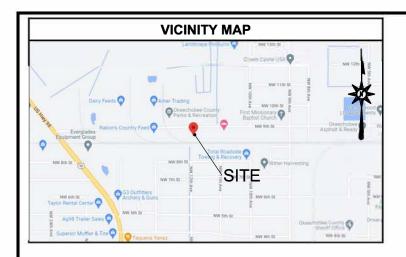
Sincerely,

BAKER, DONELSON, BEARMAN, CALDWELL & BERKOWITZ, PC

PH

W. Patton Hahn

Enclosures



SITE SUMMARY				
SITE TYPE:	NEW SITE DESIGN			
TOWER TYPE:	MONOPOLE			
TOWER HEIGHT:	150'-0"			
APPURTENANCE HEIGHT:	160'-0"			
GROUND ELEVATION:	29.3' ±			
WIND SPEED:	145 MPH			
TYPE OF OCCUPANCY:	TELECOMMUNICATIONS			
TOWER LATITUDE:	27° 15' 07.7"N (27.252140°)			
TOWER LONGITUDE:	80° 50' 41.3"W (-80.844796°)			
ZONING JURISDICTION:	CITY OF OKEECHOBEE			
COUNTY:	OKEECHOBEE			
APN #:	3-16-37-35-0160-00110-0010			
ZONING:	INDUSTRIAL			
PARCEL SIZE:	226,076± SQ. FT. (5.19 ACRES)			
LEASE AREA SIZE:	2,500 SQ.FT (0.06± ACRES)			
POWER COMPANY:	TBD			
TELEPHONE COMPANY:	TBD			

DDO					
PROJ	PROJECT DIRECTORY				
LAND OWNER:	CSX TRANSPORTATION. INC.				
	C/O TAX DEPT. J910				
	500 WATER STREET, SUITE 1208				
	JACKSONVILLE, FL 32202				
	CONTACT: THOMAS PAULY				
1	PHONE: (904) 279-3837				
	EMAIL: THOMAS_PAULY@CSX.COM				
APPLICANT:	CSX TRANSPORTATION, INC.				
	C/O TAX DEPT. J910				
	500 WATER STREET, SUITE 1208				
	JACKSONVILLE, FL 32202				
	CONTACT: THOMAS PAULY				
	PHONE: (904) 279-3837				
	EMAIL: THOMAS_PAULY@CSX.COM				
SITE DESIGN/ENGINEER:	FDH INFRASTRUCTURE SERVICES				
	6521 MERIDIEN DRIVE				
	RALEIGH, NC 27616				
	CONTACT: JAMES R. BILLUPS, PE, CFM				
	PHONE: (919) 755-1012				
SURVEYOR:	SMW ENGINEERING GROUP, INC				
	158 BUSINESS CENTER DRIVE				
	BIRMINGHAM, AL 35244				
	CONTACT:				
	PHONE: (205) 252-6985				

ZONING DRAWINGS



CITY SWITCH SITE ID: FLC034 **CITY SWITCH SITE NAME: OKEECHOBEE** SITE ADDRESS: 1117 NW 9TH ST **OKEECHOBEE, FL 34972**

NOTE: ANY CHANGES TO THE APPROVED PLANS MUST BE APPROVED BY THE PROPERTY OWNER.

DIRECTIONS

FROM PALM BEACH INTERNATIONAL AIRPORT, PALM BEACH, FL:

HEAD EAST ON WELLINGTON RD TOWARD N FLORIDA MANGO RD. IN 367 FT, TURN RIGHT ONTO N FLORIDA MANGO RD. IN 249 FT, TURN LEFT ONTO WORTHINGTON RD. IN 0.2 MI, TURN LEFT ONTO S AUSTRALIAN AVE. IN 1.0 MI, TURN LEFT ONTO THE OKEECHOBEE BOULEVARD W RAMP. IN 0.2 MI, MERGE ONTO OKEECHOBEE BLVD. IN 0.3 MI, USE THE RIGHT 2 LANES TO MERGE ONTO I-95 N VIA THE RAMP TO DAYTONA BCH. IN 5.7 MI, TAKE EXIT 76 FOR FL-708/BLUE HERON BLVD. IN 0.3 MI, USE THE LEFT 3 LANES TO TURN LEFT ONTO FL-708 W/W BLUE HERON BLVD (SIGNS FOR VA MEDICAL CNTR). IN 1.0 MI, SLIGHT RIGHT ONTO FL-710 W. IN 53.2 MI, USE ANY LANE TO TURN LEFT ONTO FL-70 WINE PARK ST. IN 2.4 MI, TURN RIGHT AFTER ADVANCE AUTO PARTS (ON THE LEFT). IN 0.6 MI, TURN LEFT ONTO NW 9TH ST DESTINATION WILL BE ON THE LEFT.

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING:

- 1. FLORIDA BUILDING CODE 2020
- ANSI/TIA-222-H NATIONAL ELECTRIC CODE 2017
 - - **GENERAL NOTES**

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION, THEREFORE HANDICAP ACCESS IS NOT REQUIRED. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE: NO SANITARY SEWER SERVICE POTABLE WATER. OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS PROPOSED.



4. LOCAL BUILDING CODE

UNDERGROUND SERVICE ALERT

UTILITIES PROTECTION CENTER, INC 811

5. CITY/COUNTY ORDINANCES 6. 2020 FLORIDA FIRE PREVENTION CODE

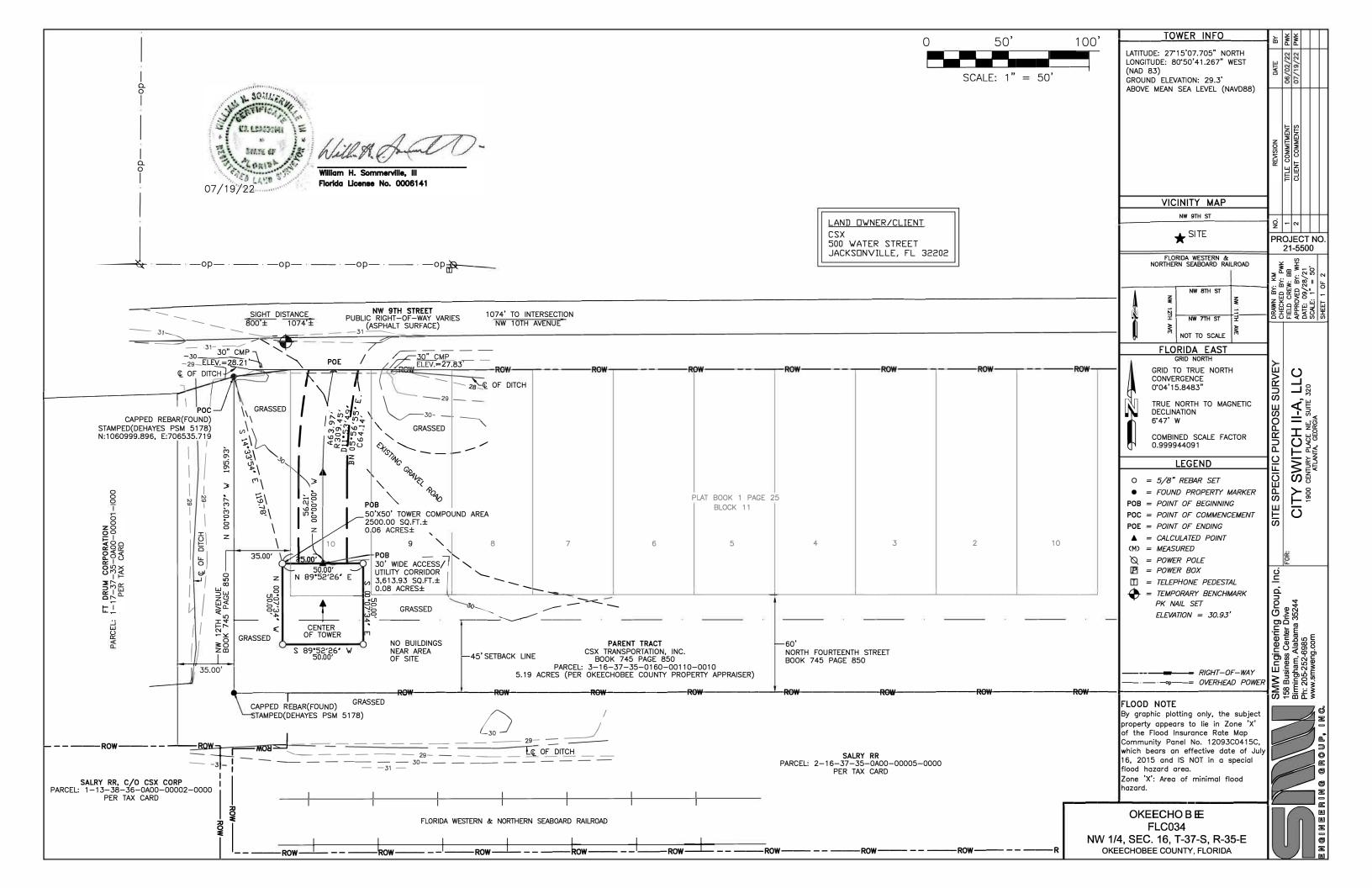


LEGAL DESCRIPTION

REFER TO TOPOGRAPHICAL SURVEY AND SITE PLAN FOR LEGAL DESCRIPTION OF PARENT PARCEL AND LEASE AREA.

	County County
sew sth St.	sovr ann. Br

	LOCAL MAP			
	Press & Recreation		**	CITYSWITCH 1900 CENTURY PLACE, SUITE 320 ATLANTA, GA 30345
Readens Country Freed		ITE	Devectoove	
				ENGINEERING INNOVATION
150'-0" MONO	SCOPE OF WORK	OWER WIL	L BE PLACED	BEST MERIDEN DRUE RALEIGH, NO 27816 PHONE: 919: 755-103 THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY MATURE. REPROLUCTION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY MATURE. REPROLUCED THE WHOLE OR ANY PART OF THESE DRAWINGS WITHOUT THE PERMISSION OF FOH IS PROHIBITED. SUBBILITALS REV DATE DESCRIPTION BY CHK'D A 4/5/2022 PRELIMINARY MTS JRB B 6/1/2022 PRELIMINARY MTS JRB 1 B 1 B 1/10/2022 CONSTRUCTION AEV JRB 1 2 1 B 6/1/2022 CONSTRUCTION AEV AEV A 11/14/2022 CONSTRUCTION <td< th=""></td<>
	SHEET INDEX			
SHEET NO.	DESCRIPTION	REV. NO.	REVISION DATE	NIS DANIE
T-1	TITLE SHEET	2	11/14/2022	STUN CENSS 704
S-1	SURVEY SHEET 1 OF 2	2	07/19/2022	No 62750
S-2	SURVEY SHEET 2 OF 2	2	07/19/2022	No 62750
GN-1	GENERAL NOTES	2	11/14/2022	
GN-2 C-1	GENERAL NOTES SATELLITE SITE PLAN	2	11/14/2022	
C-1.1	OVERALL SITE PLAN	2	11/14/2022	O STATE OF
C-2	COMPOUND DETAILS	2	11/14/2022	A CONDANN'
C-3	FENCE DETAILS	2	11/14/2022	MAS SIGNER ENGINE
L-1	LANDSCAPING PLAN	2	11/14/2022	810/2022
				DENNIS D. ABEL, PE FDH INFRASTRUCTURE SERVICES, LLC COA 28282 STATE LICENSE NO. 62750
				FDH JOB NUMBER:
				PR-006900
				SITE ID: FLC034
				FLC034
				SITE NAME:
				OKEECHOBEE
				FA LOCATION:
-				10126641
				1000500
				ADDRESS: 1117 NW 9TH ST
				OKEECHOBEE, FL 34972
				SHEET TITLE:
				TITLE SHEET
				SHEET NUMBER:
				T-1
		u		"1 ' '



SURVEYOR'S NOTES

1. This is a Site Specific Purpose Survey, made on the ground under the supervision of a Florida Registered Land Surveyor. Date of field survey is September 14, 2021.

2. The following surveying instruments were used at time of field visit: Topcon GM-55 and Topcon Hiper SR G.P.S. receiver, (R.T.K. network capable).

3. Bearings are based on Florida East State Plane Coordinates NAD 83 by GPS observation.

4. No underground utilities, underground encroachments or building foundations were measured or located as a part of this survey, unless otherwise shown. Trees and shrubs not located, unless otherwise shown.

5. Benchmark used is a GPS Continuously Operating Reference Station, PID DE9138. Onsite benchmark is as shown hereon. Elevations shown are in feet and refer to NAVD 88.

6. This survey was conducted for the purpose of a Site Specific Purpose Survey only, and is not intended to delineate the regulatory jurisdiction of any federal, state, regional or local agency, board, commission or other similar entity. 7. Attention is directed to the fact that this survey may have been reduced or enlarged in size due to reproduction. This should be taken into consideration when obtaining scaled data.

8. This Survey was conducted with the benefit of an Abstract Title search.

9. Surveyor hereby states the Geodetic Coordinates and the elevation shown for the proposed centerline of the tower are accurate to within +/-20 feet horizontally and to within +/-3 feet vertically (FAA Accuracy Code 1A).

10. Survey shown hereon conforms to the Minimum Requirements as set forth by the State Board for a Class "A" Survey. 11. Field data upon which this map or plat is based has a closure precision of not less than one-foot in 15,000 feet (1':15,000') and an angular error that does not exceed 10 seconds times the square root of the number of angles

urned. Field traverse was not adjusted.

12. This survey is not valid without the original signature and the original seal of a state licensed surveyor.

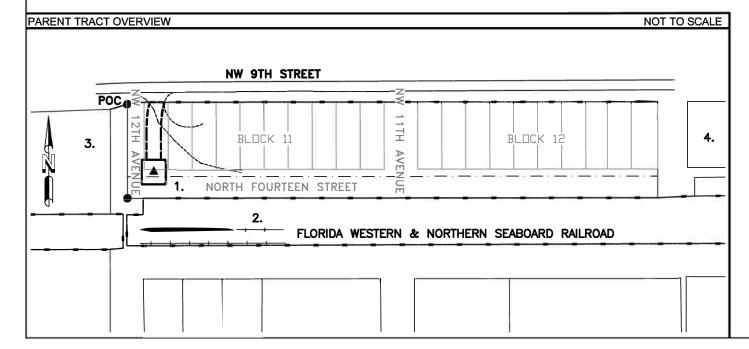
13. This is a Site Specific Purpose Survey and does not include the entire parent parcel.

14. Zoning: (as supplied by client) Zoning Jurisdiction: City

Zoning Land Use: A - Active

1. PARENT TRACT CSX TRANSPORTATION. INC.

- BOOK 745 PAGE 850 PARCEL: 3-16-37-35-0160-00110-0010 PER TAX CARD 2. SALRY RR
- PARCEL: 2-16-37-35-0A00-00005-0000 PFR TAX CARD 3. FT DRUM CORPORATION
- PARCEL: 1-17-37-35-0A00-00001-1000 PER TAX CARD
- 4. ERVIN LEVERN PARCEL: 1-15-37-35-0010-00430-0120 PER TAX CARD



PARENT TRACT (BOOK 745 PAGE 850)

A parcel of land lying in Section 16, Township 37 South, Range 35 East, Okeechobee County, Florida, and lying in and containing a portion of that certain parcel of Land as recorded in Official Records Book 379, Page 1216 of the Public Records of Okeechobee County, Florida, and being more particularly described as follows: All of Block 11 and 12; all of N.W. 11th Avenue (70 feet in width) lying between said Blocks 11 and 12; all of N.W. 12th Avenue (35 feet in width) lying West of and contiguous with said Block 11; all of North Fourteenth Street (Name per Plat)(60 feet in width) lying South of and contiguous with the above described property; all lying in the North West Addition to Okeechobee, Fla. according to the Plat thereof as recorded in Plat Book 1, Page 25 of the Public Records of Okeechobee County, Florida. Okeechobee County Parcel No.: 3-16-37-35-0160-00110-0010

5.19 Acres (per Ókeechobee County Property Appraiser)

50' x 50' TOWER COMPOUND AREA (AS-SURVEYED)

A portion of the CSX Transportation, Inc. tract described in Book 745, Page 850 as recorded in the Office of Clerk of Circuit Court for Okeechobee County, Florida, lying in the Northwest 1/4, Section 16, Township 37 South, Range 35 East, said Okeechobee County, Florida and being more particularly described as follows:

Commencing at a capped rebar, stamped DEHAYES PSM 5178, found marking the Northwest corner of said tract, having Florida East State Plane coordinates: N:1060999.896, E:706535.719; thence run S 14*33'54" E for a distance of 119.78 feet to a set 5/8" rebar and the Point of Beginning; thence run N 89°52'26" E for a distance of 50.00 feet to a point; thence run S 00°07'34" E for a distance of 50.00 feet to a point; thence run S 89°52'26" W for a distance of 50.00 feet to a point; thence run N 00°07'34" W for a distance of 50.00 feet to the Point of Beginning. Said tower compound area contains 2,500.00 square feet or 0.06 acres, more or less.

30' WIDE ACCESS & UTILITY CORRIDOR (AS-SURVEYED)

A portion of the CSX Transportation, Inc. tract described in Book 745, Page 850 as recorded in the Office of Clerk of Circuit Court for Okeechobee County, Florida, lying in the Northwest 1/4, Section 16, Township 37 South, Range 35 East, said Okeechobee County, Florida and being more particularly described as follows:

Commencing at a capped rebar, stamped DEHAYES PSM 5178, found marking the Northwest corner of said tract, having Florida East State Plane coordinates: N:1060999.896, E:706535.719; thence run S 14'33'54" E for a distance of 119.78 feet to a set 5/8" rebar: thence run N 89'52'26" E for a distance of 25.00 feet to the Point of Beainning: of an Access & Utility Corridor being 30 feet in width and lying 15 feet each side of the following described centerline; thence run N 00°00'00" W for a distance of 56.21 feet to a point; the beginning of an arc turning to the right having a radius of 309.45 feet, having a chord bearing and distance of N 05.56'55" E for a distance of 64.14 feet; thence run along said arc for 64.26 feet to a point on the Southerly right-of-way of NW 9th Street, a variable public right-of-way and the Point of Ending. Said easement contains 3,613.93 square feet or 0.08 acres, more or less.

PLOTTABLE EXCEPTIONS Fidelity National Title Insurance Company Commitment for Title Insurance Order No. 10373162 Date April 14, 2022 @ 8:00 am Schedule B. Section II

Exception No	<u>).</u>	Instru	iment	<u>C</u>
1-5,7-8				Standard excepti
6	K Book Book	731, 737,	Page Page	1040 Document Affect 1215 Insufficient inforr determine affect Ingress/Egress &

SURVEYOR'S CERTIFICATION



I certify that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Florida to the best of my knowledge, information, and belief.



William H. Sommerville, III Florida License No. 0006141

Comment

tions. Contain no survey matters.

ts Parent Tract but contains rmation to plot, show, or cts on subject Lease Area or & Utility Easement.

OKEECHOBEE FLC034 NW 1/4, SEC. 16, T-37-S, R-35-E OKEECHOBEE COUNTY, FLORIDA

GENERAL NOTES:	9. ANY SUBSTITUTIONS OF MATERIALS AND/OR EQUIPMENT, MUST BE APPROVED BY OWNER'S		ABBR
 EVERY EFFORT HAS BEEN MADE IN THE CONSTRUCTION DOCUMENTS TO PROVIDE A COMPLETE SCOPE OF WORK. MINOR DISCREPANCIES IN THE DRAWINGS AND/OR 	REPRESENTATIVE.	A/C	AIR CONDITIONING
SPECIFICATIONS SHALL NOT EXCUSE CONTRACTORS FROM COMPLETING THE PROJECT AND	10. DOCUMENT ALL CHANGES MADE IN THE FIELD BY MARKING UP THE APPROVED	AFF	ABOVE FINISHED FLOOR
IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS.	CONSTRUCTION DRAWINGS AND SUBMITTING THE REDLINED SET TO OWNER'S	AGL	ABOVE GROUND LEVEL, ABOVE GRADE LEVEL
BIDDING REQUIREMENTS	REPRESENTATIVE UPON COMPLETION. DOCUMENT ALL WORK PERFORMED WITH PHOTOGRAPHS TO BE SUBMITTED WITH REDLINED CONSTRUCTION DRAWINGS.	AWS	ABOVE GRADE LEVEL ADVANCED WIRELESS SERVICE
a. PRIOR TO THE SUBMISSION OF BIDS, VISIT THE JOB SITE TO BECOME FAMILIAR WITH	FININGRAFTS IN DE SUDMITTEN WITH KENLINEN CUNSTKUCTION DKAWINGS.	BBU	BATTERY BACKUP UNIT
ALL CONDITIONS AFFECTING THE PROPOSED PROJECT. VISIT THE SITE WITH THE	11. PROVIDE SUPPORTS FOR CABLES TO THE ELEVATION OF ALL INITIAL AND FUTURE	BLDG	BUILDING
CONSTRUCTION DOCUMENTS TO VERIFY FIELD DIMENSIONS AND CONDITIONS TO CONFIRM THAT THE PROJECT WILL BE ACCOMPLISHED AS SHOWN.	ANTENNAS IN ACCORDANCE WITH ALL MANUFACTURER'S REQUIREMENTS.	BLK	BLOCKING
D. PROVIDE NOTIFICATION TO OWNER'S REPRESENTATIVE IN WRITING OF ANY CONFLICTS.		CLG	CEILING
ERRORS, OR OMISSIONS PRIOR TO SUBMISSION OF PRICE PROPOSAL. IN THE EVENT	12. A STRUCTURAL ANALYSIS AND A MOUNT ANALYSIS (IF REQUIRED) TO DETERMINE THE	CLR	CLEAR
OF DISCREPANCIES, PRICE THE MORE COSTLY OR EXTENSIVE WORK, UNLESS	STRUCTURAL CAPACITY TO SUPPORT THIS PROPOSED EQUIPMENT WAS PERFORMED OUTSIDE THE SCOPE OF THIS PROJECT.	CONC	CONCRETE
DIRECTED OTHERWISE. D. WHEN TOWER IS OWNED BY A THIRD PARTY, CONTACT TOWER OWNER	OUTSIDE THE SCOPE OF THIS PROJECT.	CONT	CONTINUOUS
REPRESENTATIVE FOR PARTICIPATION IN BID WALK.	13. CONFIRM THAT THE REQUIREMENTS OF THE STRUCTURAL ANALYSIS, MOUNT ANALYSIS AND	D DBL	DEPTH DOUBLE
d. WHERE ANCHORING TO A CONCRETE ROOF SLAB, CONFIRM (PRIOR TO SUBMITTING	ANY ASSOCIATED MODIFICATIONS HAVE BEEN FOLLOWED AND COMPLETED AS REQUIRED TO	DEG	DEGREE
BID) THE PRESENCE OF POST TENSION TENDONS. INCLUDE PROVISIONS FOR X-RAY	SUPPORT THE EQUIPMENT ASSOCIATED WITH THIS PROJECT.	Ø, DIA	DIAMETER
PROCEDURES TO LOCATE THE TENDONS PRIOR TO CONSTRUCTION.		DIAG	DIAGONAL
	SPECIAL INSPECTIONS:	DN	DOWN
RAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS TAKE PRECEDENCE.	1. WHEN REQUIRED, PROVIDE SPECIAL INSPECTIONS PERFORMED BY AN INDEPENDENT	DET	DETAIL
	INSPECTOR, APPROVED BY OWNER'S REPRESENTATIVE AND THE LOCAL JURISDICTION.	DWG	DRAWING
FURNISH ALL MATERIALS, EQUIPMENT, LABOR, AND ANY REQUIREMENTS NECESSARY TO	2. THE SPECIAL INSPECTOR SHALL PROVIDE A COPY OF THE REPORT TO THE OWNER'S	E	EXISTING
COMPLETE PROJECT AS DESCRIBED IN THE CONSTRUCTION DOCUMENTS.	2. THE SPECIAL INSPECTOR SHALL PROVIDE A COPY OF THE REPORT TO THE OWNER'S REPRESENTATIVE, STRUCTURAL ENGINEER, CONTRACTOR, AND BUILDING OFFICIAL.	EA	EACH
			ELEVATION
SUPERVISE AND DIRECT THE PROJECT DESCRIBED IN THE CONSTRUCTION DOCUMENTS. PROVIDE ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND		ELEC EQ	ELECTRICAL EQUAL
PROCEDURES FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.		EQUIP	EQUIPMENT
		EXT	EXTERIOR
LL WORK PERFORMED ON THE PROJECT AND MATERIALS INSTALLED SHALL BE IN STRICT		FIF	FIBER INTERFACE FRAME,
CCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. GIVE ALL OTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL			FACILITY INTERFACE FRAME
RDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS,		FIN	FINISH
ND LOCAL AND STATE JURISDICTIONAL CODES APPLICABLE TO THE WORK.		FLUOR	FLUORESCENT
		FLR FT	FLOOR
DNSTRUCTION COORDINATION REQUIREMENTS		F I GA	FOOT, FEET GAUGE
 NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO START OF WORK. 		GALV	GAUGE GALVANIZED
WORK. . OBTAIN ALL PERMITS. SCHEDULE AND COORDINATE ALL INSPECTIONS.		GC	GENERAL CONTRACTOR
PROVIDE, AT THE PROJECT SITE, A FULL, CURRENT SET OF CONSTRUCTION		GRND	GROUND
DOCUMENTS FOR USE BY ALL PERSONNEL INVOLVED WITH THE PROJECT.		GSM	GLOBAL SYSTEM MOBILE
d. RECEIVE WRITTEN AUTHORIZATION TO PROCEED WITH CONSTRUCTION PRIOR TO		GYP	GYPSUM BOARD
STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DOCUMENTS.		HORZ	HORIZONTAL
PERFORM WORK DURING OWNER'S PREFERRED HOURS TO AVOID DISTURBING NORMAL		HR	HOUR
BUSINESS.		HT	HEIGHT
f. PROVIDE FALL PROTECTION IN ACCORDANCE WITH FEDERAL, STATE, LOCAL, AND		ID IN	INSIDE DIAMETER INCH, INCHES
OWNER REQUIREMENTS. a. IF FAA LIGHTING AND MARKING IS PRESENT ON SITE AND IS POWERED BY		INSUL	INCH, INCHES
g. IF FAA LIGHTING AND MARKING IS PRESENT ON SITE AND IS POWERED BY ELECTRICAL SERVICE THAT IS TO BE INTERRUPTED, MAINTAIN THE NECESSARY LIGHTS		INT	INTERIOR
DURING CONSTRUCTION AND NOTIFY THE PROPER AUTHORITIES IN THE EVENT OF A		L	LENGTH
DISRUPTION.			
h. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A10BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF PROJECT AREA			
DURING CONSTRUCTION.			
i. STRUCTURAL COMPONENTS OF ADJACENT FACILITIES SHALL NOT BE ALTERED BY THIS			
CONSTRUCTION PROJECT, UNO. ENSURE THAT EXCAVATION DOES NOT AFFECT			
ADJACENT STRUCTURES. i. SEAL ALL PENETRATIONS THROUGH FIRE—RATED AREAS WITH U.L. LISTED OR FIRE			
J. SEAL ALL PENEIRATIONS THROUGH FIRE RATED AREAS WITH U.L. LISTED OR FIRE MARSHALL-APPROVED MATERIALS, IF APPLICABLE.			
. BURIED UTILITIES MAY EXIST IN THE AREA AND UTILITY INFORMATION SHOWN MAY NOT			
BE COMPLETE. CONTACT THE UTILITY LOCATE SERVICE A MINIMUM OF 48 HOURS			
PRIOR TO CONSTRUCTION. COORDINATE ALL POWER INSTALLATION WITH POWER COMPANY AS REQUIRED. REPORT			
POWER INSTALLATION COORDINATION SOLUTION(S) TO OWNER'S REPRESENTATIVE.			
m. PROTECT EXISTING IMPROVEMENTS, EASEMENTS, PAVING, CURBING, ETC. DURING			
CONSTRUCTION. UPON COMPLETION OF WORK, REPAIR ANY DAMAGE THAT MAY HAVE			
OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.			
KEEP GENERAL WORK AREA CLEAN AND HAZARD FREE DURING CONSTRUCTION AND DISPOSE OF ALL DIRT, DEBRIS, AND RUBBISH. REMOVE EQUIPMENT NOT SPECIFIED			
AS REMAINING ON THE PROPERTY OR PREMISES. SITE SHALL BE LEFT IN CLEAN			
CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE.			
 MAINTAIN THE INTEGRITY OF THE BUILDING ENVELOPE AND CONSTRUCT BARRIERS IN THE AREA OF WORK TO PREVENT DAMAGE FROM WEATHER AS WELL AS FROM 			
CONSTRUCTION DUST AND DEBRIS.			

8. INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO MANUFACTURER'S SPECIFICATIONS, UNO, OR WHERE LOCAL CODES OR ORDINANCES DIRECT OTHERWISE.

ABBREVIATIO	DNS		
<u></u>	LBS	POUNDS	
P	LBS	LONG TERM EVOLUTION	
R			CITYSWITCH
3	MAX	MAXIMUM	
	MECH	MECHANICAL	
SERVICE	MTL	METAL	1900 CENTURY PLACE, SUITE 320
	MFR	MANUFACTURE	ATLANTA, GA 30345
	MGR	MANAGER	
	MIN	MINIMUM	
	MISC	MISCELLANEOUS	
	NA	NOT APPLICABLE	
	NIC	NOT IN CONTRACT	
	NO	NUMBER	•• ••
	NTS	NOT TO SCALE	
	OC	ON CENTER	
	OD	OUTSIDE DIAMETER	FDH INFRASTRUCTURE SERVICES
	PCS	PERSONAL COMMUNICATION	
		SERVICE	ENGINEERING INNOVATION
	PDU	POWER DISTRIBUTION UNIT	FDH INFRASTRUCTURE SERVICES, LLC 6521 MERIDIEN DRIVE RALEIGH, NC 27616
	PROJ	PROJECT	PHONE: 919-755-1012 FAX: 919-755-1031
	PROP	PROPERTY	THE INFORMATION CONTAINED IN THIS SET OF
	PT	PRESSURE TREATED	DOCUMENTS IS PROPRIETARY BY NATURE. REPRODUCTION OR CAUSING TO BE REPRODUCED
	PVC		THE WHOLE OR ANY PART OF THESE DRAWINGS WITHOUT THE PERMISSION OF FDH IS PROHIBITED.
		POLYVINYL CHLORIDE	
	REQ		SUBMITTALS
	RF	RADIO FREQUENCY	REV DATE DESCRIPTION BY CHK'D
	RM	ROOM	A 4/5/2022 PRELIMINARY MTS JRB
	RO	ROUGH OPENING	B 6/1/2022 PRELIMINARY MTS JRB 0 7/7/2022 CONSTRUCTION MTS JRB
	RRH	REMOTE RADIO HEAD	1 8/10/2022 CONSTRUCTION AEV JRB
1E,	SHT	SHEET	2 11/14/2022 CONSTRUCTION ZK JRB
AME	SIM	SIMILAR	
	SPEC	SPECIFICATION	
	SF	SQUARE FOOT	
	SS	STAINLESS STEEL	***************
	STL	STEEL	NIS DANIE
	SUSP	SUSPENDED	NIN CENT
	ТМА	TOWER MOUNTED AMPLIFIER	SUS NOENS NO
	TND	TINNED	SQ. No come
	TYP	TYPICAL	1 NO 02/50 .F
.E	UMTS	UNIVERSAL MOBILE	
.∟	010113	TELECOMMUNICATION SERVICE	10: X
	UNO	UNLESS NOTED OTHERWISE	ED: STATE OF SE
			STATE OF
	VERT	VERTICAL	E Chilomotics
	W/	WITH	S. HIVE G
	W/O	WITHOUT	MANNAL ENIM
	WCS	WIRELESS COMMUNICATION	ALL
		SERVICE	
	WP	WATER PROOF	8/10/2022
			DENNIS D. ABEL, PE FDH INFRASTRUCTURE SERVICES, LLC
			COA 28282
			STATE LICENSE NO. 62750
			FDH JOB NUMBER:
			PR-006900
			111 000000
			SITE ID:
			FLC034
			120004
			SITE NAME:
			OKEECHOBEE
			EA LOCATION:
			FA LOCATION:
			10126641
			ADDRESS:
			1117 NW 9TH ST
			OKEECHOBEE, FL 34972
			SHEET TITLE:
			GENERAL NOTES
			SHEET NUMBER:
			GN-1

SITE NOTES:

- 1. CLEAR AND GRUB SITE OF ALL VEGETATION, PAVING, GRAVEL BASE AND OTHER DEBRIS NOT TO REMAIN. SUBGRADES ARE TO BE SET PRIOR TO LANDSCAPE INSTALLATION.
- 2 PROVIDE ELEVATION OF SUBGRADE WITHIN 0.10 FOOT OF ELEVATIONS SHOWN ON PLAN MINUS DEPTH OF TOPSOIL, FILL, AND MULCH.
- 3. ROUGH GRADE ALL AREAS WITHIN 1 FOOT OF ELEVATIONS INDICATED BEFORE PLANTING. PROVIDE POSITIVE DRAINAGE AWAY FROM EQUIPMENT SLABS, BUILDINGS AND THROUGH ALL PLANTER AREAS TO AVOID LOW SPOTS AND STANDING WATER.
- 4. REWORK (DRY, SCARIFY, ETC.) ALL MATERIAL NOT SUITABLE FOR SUB GRADE IN ITS PRESENT STATE. AFTER REWORKING, IF THE MATERIAL REMAINS UNSUITABLE, UNDERCUT AND REPLACE WITH SUITABLE MATERIAL AT CONTRACTOR'S EXPENSE. ALL SUB GRADES AND AGGREAGATE BASE COURSES SHALL BE PROOF ROLLED WITH A FULLY LOADED. TANDEM DUMP TRUCK, AND ANY SOFT SPOTS SHALL BE REWORKED OR REPLACED UNTIL PASSING PROOF ROLL.
- 5. BLEND NEW GRADES NATURALLY INTO EXISTING GRADES.
- 6. MAINTAIN POSITIVE DRAINAGE ON THE SITE AT ALL TIMES, INCLUDING KEEPING ALL EXISTING AND NEW DITCHES, PIPES AND OTHER DRAINAGE STRUCTURES FREE FROM OBSTRUCTION. ANY DAMAGE RESULTING FROM FAILURE TO COMPLY SHALL BE REMEDIED BY CONTRACTOR
- 7. IF REQUIRED, MAINTAIN CONTINUOUS EROSION CONTROL ON THE DOWNSTREAM SIDE OF THE SITE.
- 8. IN LANDSCAPE AREAS. FINISH GRADES ARE TO FOLLOW THE GRADES AND EDGE DETAILS INDICATED AND BE MOUNDED 6 INCHES IN THE CENTER OF THE BED ABOVE THE EDGE OF THE LANDSCAPE AREA.
- 9. DO NOT PLACE FILL OR EMBANKMENT MATERIAL ON FROZEN GROUND. DO NOT PLACE FROZEN MATERIALS, SNOW OR ICE IN ANY FILL OR EMBANKMENT.
- 10. NOTIFY OWNER'S REPRESENTATIVE IF MODIFICATIONS TO THE PROPOSED GRADING SEEM NECESSARY AND OBTAIN APPROVAL PRIOR TO START OF WORK.
- 11. FOOTINGS SHALL BEAR ON FIRM, NATURAL, UNDISTURBED SOIL, OR ON ENGINEERED FILL (COMPACTED TO 95% ASTM D698). ENSURE THAT EXCAVATIONS ARE FREE OF ORGANIC MATERIAL, DEBRIS, OR OTHER FOREIGN MATERIAL. NOTIFY OWNER'S REPRESENTATIVE IF ANY UNUSUAL CONDITIONS ARE ENCOUNTERED.
- 12. FILL AND SLAB BASE MATERIAL SHALL BE 3/4" MINUS CRUSHED ROCK PLACED IN 8" (MAXIMUM) LOOSE LIFTS AND COMPACTED TO 98% ASTM D698.

CONCRETE NOTES:

IN A.W.S. D14 ARE SUBMITTED.

1. CONCRETE AND REINFORCING SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

CONCRETE CONSTRUCTION	ACI 318
CEMENT	ASTM C150, PORTLAND CEMENT TYPE II, UNO
REINFORCING STEEL	ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60, fy=60 Ksi, UNO
WELDED WIRE FABRIC	ASTM A185
SPIRAL REINFORCEMENT	ASTM A615, GRADE 60, fy=60 KSI
ANCHOR BOLTS	ASTM A307
GRADE 60 REBAR WELDING	ASTM A706
NOTES: ANY BARS SO NOTED OF	N THE DRAWINGS SHALL BE GRADE 60, fy=60 KSI.
REINFORCING COMPLYING WITH A	STM A615(S1) MAY BE WELDED ONLY IF MATERIAL
PROPERTY REPORTS INDICATING	CONFORMANCE WITH WELDING PROCEDURES SPECIFIED

2. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS: COTINGS AND OTHER UNEORMED SUBFACES FARTH FACE

FOUTINGS AND UTHER UNFORMED SUR	-ACES, EARTH	FACE		3
FORMED SURFACES EXPOSED TO EARTH	H OR WEATHER	(≥ #6	BARS)	2"
FORMED SURFACES EXPOSED TO EARTH	H OR WEATHER	(≤ #5	BARS)	1-1/2"
SLABS AND WALLS		(INTERIOR	FACE)	3/4"

- 3. AIR ENTRAIN ALL CONCRETE WITH SURFACES EXPOSED TO WEATHER WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260, C494, C618, C989 AND C1017. AIR ENTRAIN CONCRETE EXPOSED TO FREEZING AND THAWING WHILE MOIST IN ACCORDANCE WITH ACL 318 SECTION 4.4.1
- 4. DETAIL REINFORCING STEEL (INCLUDING HOOKS AND BENDS) IN ACCORDANCE WITH ACI 315 AND 318. LAP ALL CONTINUOUS REINFORCEMENT AT LEAST 30 BAR DIAMETERS OR A MINIMUM OF 2'-O". PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP CORNER BARS AT LEAST 30 BAR DIAMETERS OR A MINIMUM OF 2'-O". LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.
- PERFORM WELDING OF GRADE 60 REINFORCING BARS (IF REQUIRED) USING LOW HYDROGEN ELECTRODES. PERFORM WELDING OF GRADE 40 REINFORCING BARS (IF REQUIRED) USING E70 XX ELECTRODES. DO NOT WELD WITHIN 4" OF COLD BENDS IN REINFORCING STEEL.
- 6. DO NOT FIELD BEND REINFORCING PARTIALLY EMBEDDED IN CONCRETE UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE ENGINEER.
- 7. SUPPORT BARS ON CHAIRS OR DOBIE BRICKS.
- 8. FURNISH NON-SHRINK GROUT BY AN APPROVED MANUFACTURER. MIX AND PLACE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS. GROUT STRENGTH SHALL BE AT LEAST EQUAL TO THE MATERIAL ON WHICH IT IS PLACED (3 KSI, MINIMUM)
- 9. ALL EXPANSION ANCHORS TO BE HILTI BRAND, UNO. TEST ADHESIVE ANCHORS TO CONFIRM CAPACITY UNLESS WAIVED BY ENGINEER AND LOCAL JURISDICTION.

STRUCTURAL STEEL NOTES:

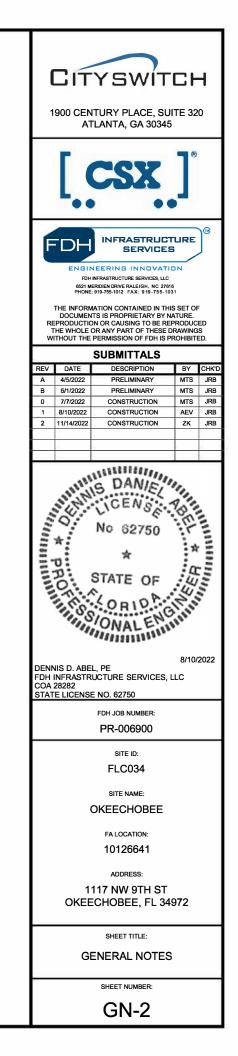
1 STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING REQUIREMENTS

TORAL STELL SHALL CONFORM TO THE FOLLOWING	NEQUINEMENTS.
WIDE FLANGE SHAPES	ASTM A992, GRADE 50
SHAPES, PLATES, ANGLES, & RODS	ASTM A36, Fy 36 KSI
SPECIAL SHAPES AND PLATES	ASTM A572, Fy 50 KSI
PIPE COLUMNS	ASTM A53, Fy 35 KSI
STRUCTURAL TUBING	ASTM A500, Fy 46KSI
ANCHOR BOLTS	ASTM A307
CONNECTION BOLTS	ASTM A325 TWIST-OFF

- 2. BASE STRUCTURAL STEEL DESIGN, FABRICATION AND ERECTION (INCLUDING FIELD WEIDING HIGH STRENGTH FIELD BOLTING EXPANSION BOLTS AND THREADED EXPANSION ANCHORS) ON THE AISC "SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS" LATEST EDITION.
- 3. HOT DIP GALVANIZE AFTER FABRICATION PER A123/A123M-00 ALL STEEL EXPOSED TO WEATHER AND WHERE NOTED.
- 4. CONFORM TO ALL AISC AND AWS STANDARDS FOR WELDING. PERFORM WELDING BY ANSI/AWS D1.1 CERTIFIED WELDERS USING E70 XX ELECTRODES. USE ONLY PRE-QUALIFIED WELDS AS DEFINED BY AWS.
- 5. PROVIDE COLD-FORMED STEEL FRAMING MEMBERS OF THE SHAPE, SIZE, AND GAGE SHOWN ON THE PLANS. PROVIDE MINIMUM SECTION PROPERTIES INDICATED. ALL COLD-FORMED STEEL FRAMING SHALL CONFORM TO THE AISI "SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS."
- 6. FOR BOLTED CONNECTIONS, USE 3/4" DIA., BEARING-TYPE, A325 BOLTS WITH A MINIMUM OF TWO BOLTS, UNO.
- 7. FOR NON-STRUCTURAL CONNECTIONS FOR STEEL GRATING, USE 5/8" DIA. A307 BOLTS, UNO.
- 8. PREPARE AND PAINT IN ACCORDANCE WITH THE PAINT MANUFACTURERS WRITTEN INSTRUCTIONS, UNO.
- 9. TOUCH UP ALL FIELD DRILLING, WELDING AND CUT SURFACES WITH 2 COATS OF GALVACON (ZINC RICH PAINT) OR APPROVED EQUAL.

SITE SPECIFIC SOIL MANAGEMENT PLAN:

1. SOIL MATERIALS EXCAVATED BY THE CONTRACTOR FROM WITHIN RAIL RIGHT-OF-WAY (ROW) SHALL BE RE-USED AS BACKFILL AT THE POINT OF ORIGIN OR SHALL BE RE-DISTRIBUTED ON THE ROW IN THE NEAR VICINITY OF THE POINT OF ORIGIN.



NOTES:

- 1. THIS PLAN IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.
- 2. PLANTING AREAS SHALL BE PROTECTED FROM DAMAGE BY VEHICLES, LUBRICANTS, OR FUELS.
- 3. THE FACILITY IS UNMANNED AND NOT INTENDED FOR HUMAN HABITATION, THERE IS NO HANDICAP ACCESS REQUIRED.
- 4. THE FACILITY IS UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SANITARY SERVICE.
- 5. UTILITIES TO BE CONFIRMED DURING SITE VISIT.
- 6. SITE PLAN AND PROPERTY LINES DEVELOPED FROM SURVEY COMPLETED BY SMW ENGINEERING GROUP, INC, DATED 9/28/2021. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 7. PROPOSED SITE IS LOCATED IN EXISTING FLOOD ZONE X ACCORDING TO FEMA PANEL # 12093C0415C DATED JULY 16, 2015.
- 8. CONTRACTOR WILL NOT START CONSTRUCTION UNTIL AFTER THEY HAVE RECEIVED THE PRE-CON PACKAGE AND HAVE A PRE-CON WALK WITH THE PROJECT MANAGER.
- CONTRACTOR TO HIRE PUBLIC (811) AND PRIVATE LOCATING SERVICE IN ORDER TO LOCATE AND PROTECT ALL SUB-SURFACE UTILITES. DO NOT SCAL OFF THESE PLANS FOR ANY BELOW GRADE UTILITIES.
- 10. CONTRACTOR SHALL VERIFY ALL EXISTING BURIED AND OVERHEAD UTILITES PIOR TO EXCAVATION. CONTRACTOR SHALL REPAIR ALL DAMAGED UTILITIES AT HIS OWN COST AND COORDINATE ANY REPAIRS WITH RESPECTIVE UTILITY COMPANY.
- 11. CONTRACTOR TO VERIFY ALL HEIGHTS AND AZIMUTHS IN FIELD PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY CARRIER AND ENGINEERING FIRM OF ANY DISCREPANCIES BEFORE PROCEEDING.
- 12. CONTRACTOR SHALL RESTORE AND REPAIR ANY DAMAGED AREAS CAUSED BY CONSTRUCTION.

PARCEL INFORMATION:

OWNER: CSX TRANSPORTATION

JURISTICTION: CITY OF OKEECHOBEE

ZONING: INDUSTRIAL

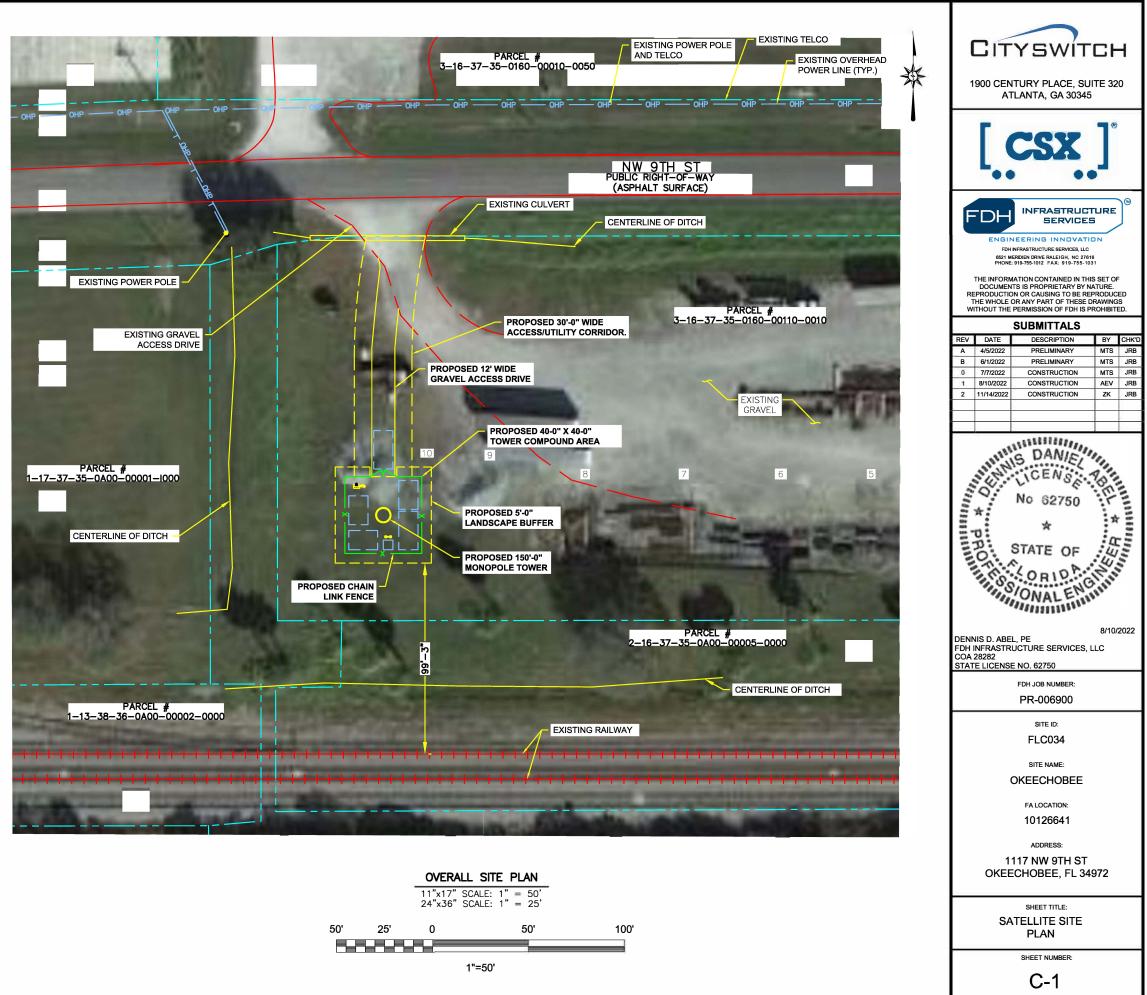
LAND USE: -

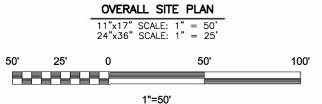
PARCEL NUMBER: 3-16-37-35-0160-00110-0010

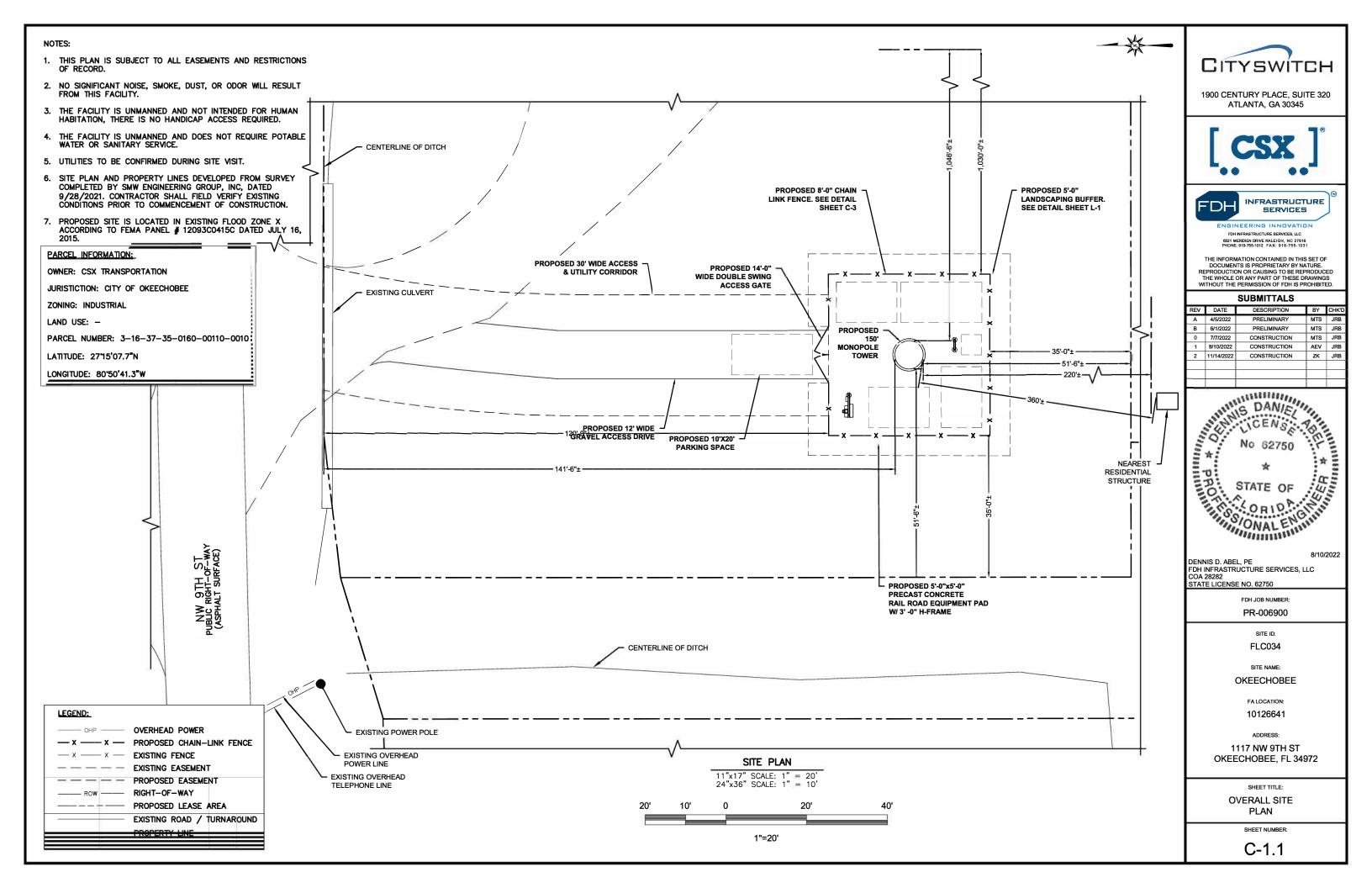
LATITUDE: 27"15'07.7"N

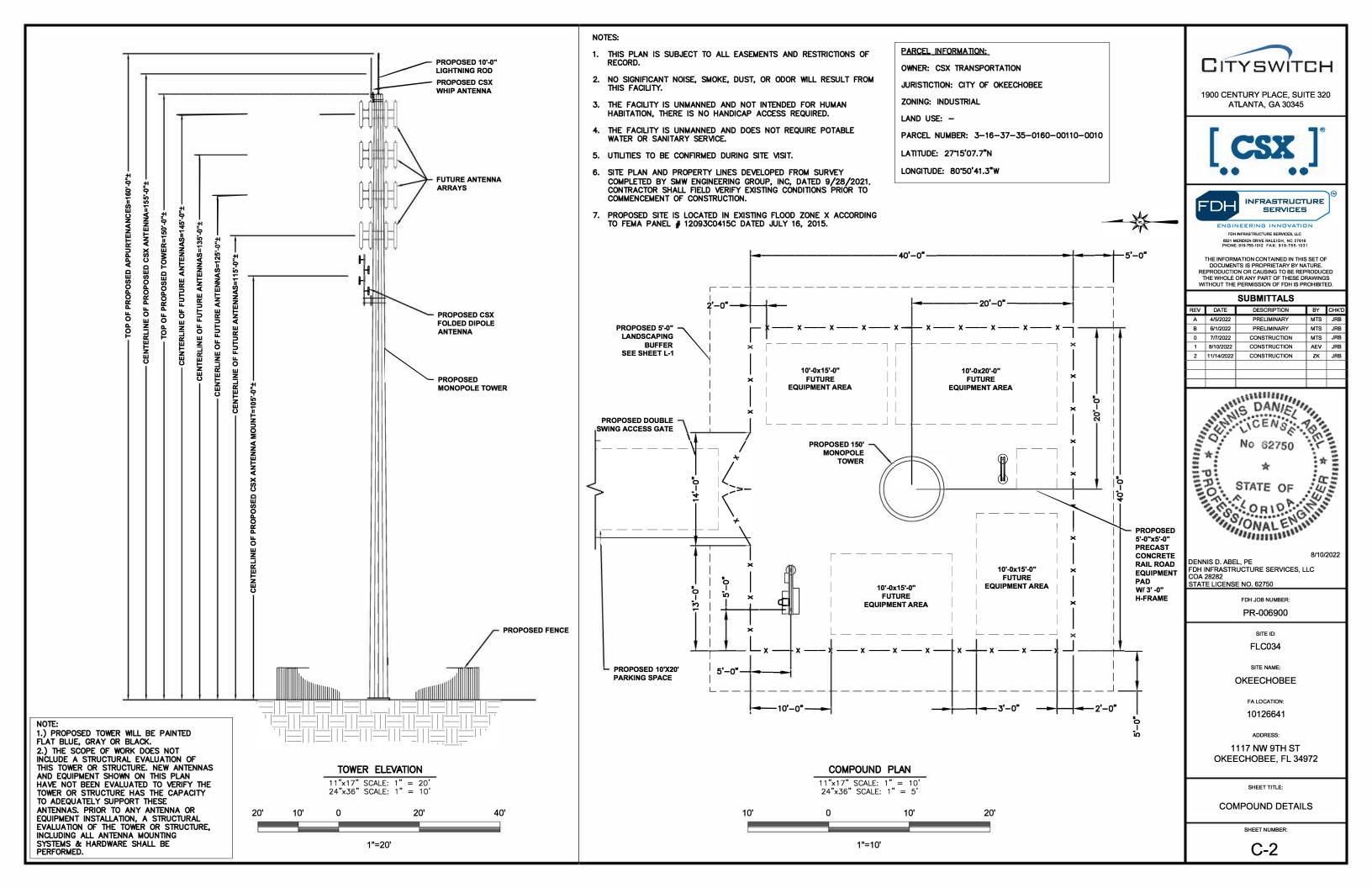
LONGITUDE: 80°50'41.3"W

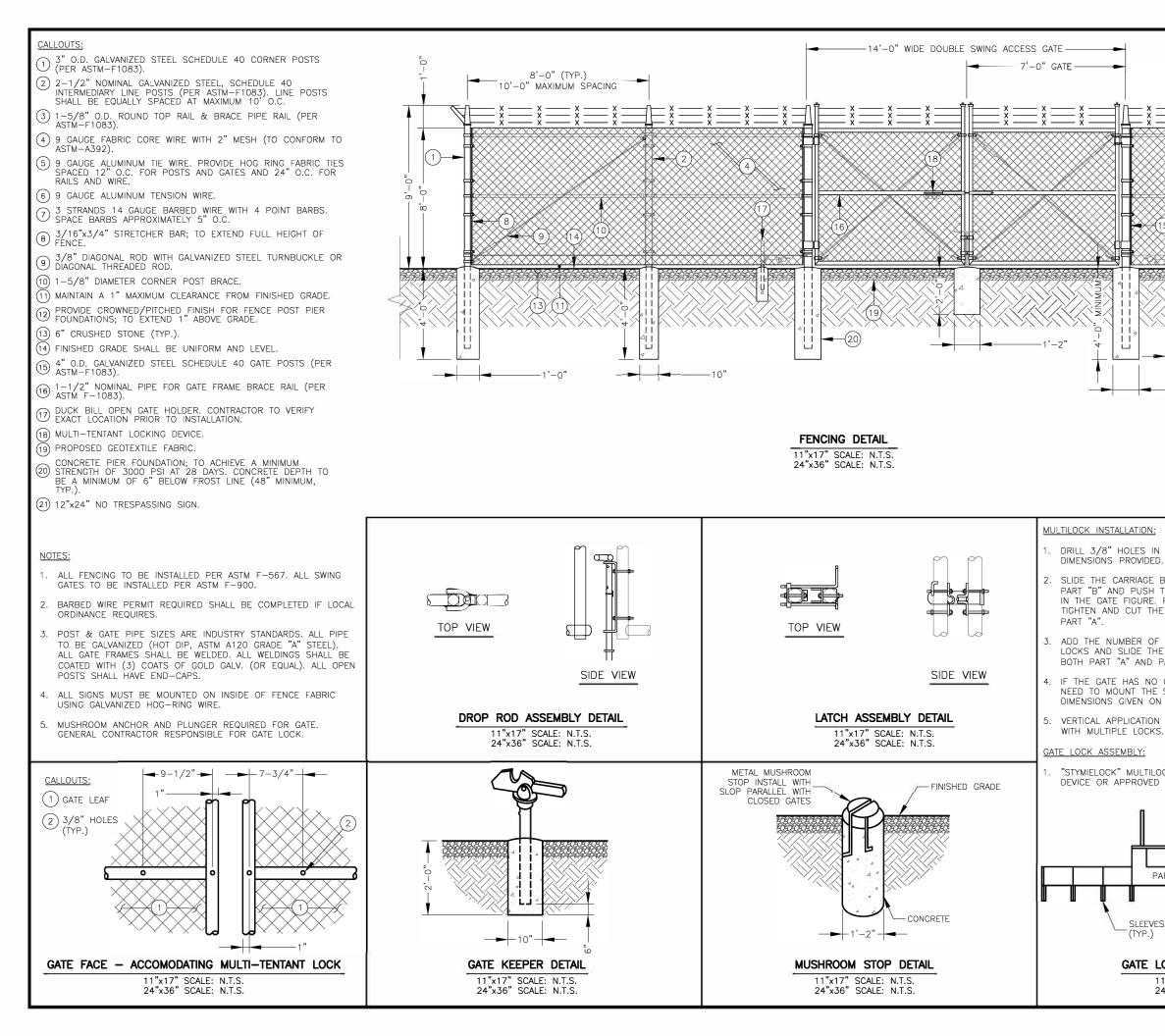
LEGEND:	
OHP	OVERHEAD POWER
— x — - x —	PROPOSED CHAIN-LINK FENCE
— x — - x —	EXISTING FENCE
	EXISTING EASEMENT
	PROPOSED EASEMENT
ROW	RIGHT-OF-WAY
	PROPOSED LEASE AREA
	EXISTING ROAD / TURNAROUND
	PROPERTY LINE

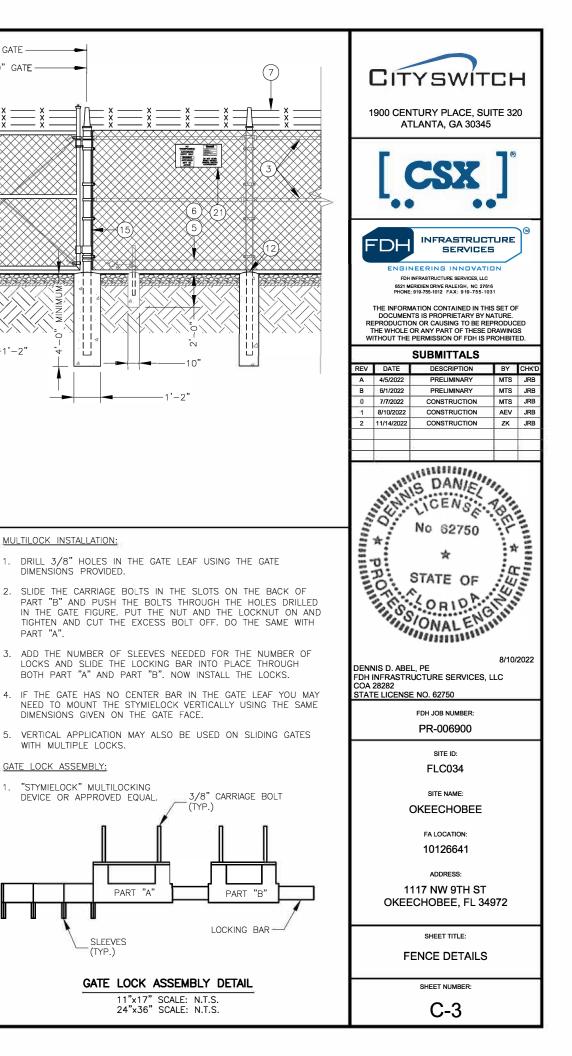












LANDSCAPING NOTES:

NOTES

- CONTRACTOR TO MINIMIZE GRADING AND CLEARING TO MAXIMIZE THE USE OF 1. EXISTING VEGETATION.
- 2. PLANTING AREAS SHALL BE PROTECTED FROM DAMAGE BY VEHICLES, LUBRICANTS, OR FUELS.
- 3. THE OWNER IS RESPONSIBLE FOR MAINTAINING ALL REQUIRED PLANT MATERIALS AND PLANTING ARES IN GOOD HEALTH AND APPEARANCE. ALL DEAD, UNHEALTHY, OR MISSING PLANTS SHALL BE REPLACED WITHIN 180 DAYS WITH VEGETATION WHICH CONFORMS TO THE INITIAL PLANTING RATES AND STANDARDS.
- CONSTRUCTION SITE ACTIVITIES SUCH AS PARKING, MATERIAL STORAGE, SOIL 4. STOCKPILING AND CONCRETE WASHOUT SHALL NOT BE PERMITTED WITHIN TREE PROTECTION AREAS.
- 5. PROPOSED VEGETATION & PLANTING MATERIAL SHALL COMPLY WITH ALL LOCAL, STATE, FEDERAL REGULATIONS.
- 6. ALL PLANTINGS SHALL BE INSTALLED WITH A LAYER OF 3" SHREDDED HARDWOOD MULCH. ALL TREES AND SHRUBS SHALL BE PLANTED IN MULCH BEDS WITH SHOVELED EDGE.

1- TREES SHALL BE OF QUALITY PRESCRIBED IN CROWN OBSERVATIONS AND

ROOT OBSERVATIONS DETAILS AND SPECIFICATIONS.

22"x34" SCALE: N.T.S.

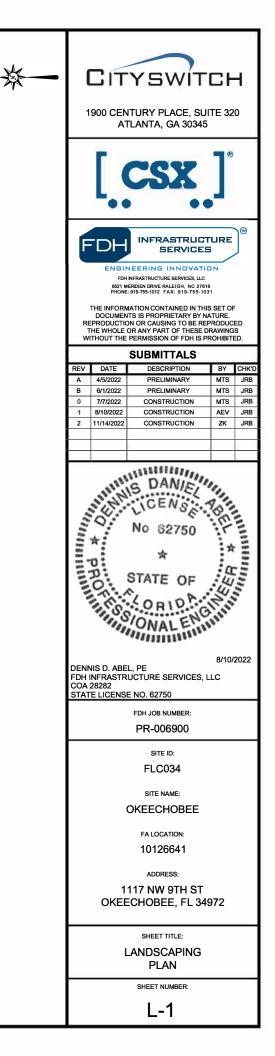
2- SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL. TRUNK CALIPER SHALL CENTRAL LEADER. (SEE MEET ANSI Z60 CURRENT EDITION FOR CROWN OBSERVATIONS DETAIL). ROOT BALL SIZE. ROOT BALL MODIFIED TOP OF ROOT BALL SHALL BE FLUSH WITH FINISHED GRADE. AS REQUIRED. ROUND-TOPPED SOIL BERM 4" HIGH X 8" WIDE ABOVE ROOT BALL 4" LAYER OF MULCH. NO MORE THAN 1" OF MULCH ON TOP OF SURFACE SHALL BE ROOT BALL. (SEE CONSTRUCTED AROUND 業 SPECIFICATIONS FOR MULCH). THE ROOT BALL. BERM SHALL BEGIN AT ROOT BALL PERIPHERY FINISHED GRADE. TAR LOOSENED SOIL. DIG AND EXISTING SOIL. COMPACTION TO THE AREA SLOPE SIDES OF AND DEPTH SHOWN. LOOSENED SOIL. PRIOR TO MULCHING, LIGHTLY BOTTOM OF ROOT BALL TAMP SOIL AROUND THE ROOT RESTS ON EXISTING OR 3X WIDEST DIMENSION BALL IN 6" LIFTS TO BRACE RECOMPACTED SOIL. TREE. DO NOT OVER COMPACT. OF ROOT BALL. WHEN THE PLANTING HOLE HAS BEEN BACKFILLED, POUR WATER AROUND THE ROOT BALL TO PLANTING DETAIL SETTLE THE SOIL. 11"x17" SCALE: N.T.S.

5' LANDSCAPING BUFFER R R R R K 10'-0x15'-0" 10'-0x20'-0" H FUTURE FUTURE EQUIPMENT AREA EQUIPMENT AREA R H \square H PROPOSED 150' MONOPOLE (H) TOWER H R R SSSS 10'-0x15'-0" FUTURE S EQUIPMENT AREA 10'-0x15'-0" FUTURE EQUIPMENT AREA R d ¥ K

> LANDSCAPING PLAN 11"x17" SCALE: 1" = 10' 24"x36" SCALE: 1" = 5" 10' 20' 10 0 1"=10'

PROPOSED PLANT SCHEDULE									
TYPE BOTANICAL NAME	COMMON NAME	SPECIFICATION							
		QUANTITY	HEIGHT	CALIPER	ROOT	SPACING	SYMBOL		
CANOPY TREE	PINUS PALUSTRIS	LONGLEAF PINE	7	8'-0" (MIN.)	3"	32"	25' C/C	0	
SHRUB	RHODODENDRON SPP.	AZALEA	56	3'-0" (MIN)	3 GAL.	-	3' C/C	æ	

NOTE 1- BEDDING MATERIAL SHALL CONSIST OF WOOD CHIP MULCH AND 3" (MIN.) EVENLY SPREAD IN A 2-FT. RADIUS SURROUNDING PROPOSED PLANTS.





October 27, 2020

SBA Corporation Site Administration 8051 Congress Avenue Baca Raton, FL 33487-1310

Re: AT&T Cell Site Lease – 2773 NORTHWEST 8TH STREET, OKEECHOBEE, FL | FA: 10126641 | Site Name: WEST OKEE

Dear Landlord,

AT&T is in a very competitive space and we need to ensure that our lease terms and conditions are supportive of our current and future needs. AT&T has the option to either extend or terminate the above referenced lease ("Lease") in approximately three years. AT&T is instituting a new program to evaluate terms and conditions of all leases coming up for renewal, explore advance renegotiation options and consider possible alternative site locations. Our first choice is to create a new agreement that serves both parties well. Conditions we desire to implement in all new "go forward" leases include:

- "Real Estate Rights": In its simplest form, a lease right to utilize the entire RAD center without any "per touch" rent upcharges.
- Rents reduced to competitive rates.
- Reduced or no annual escalators (depending on other terms of the overall new deal).
- "Fair" early termination rights.

As you know, it takes time to negotiate, plan and execute a site relocation. That is why the AT&T's review process is starting now. Please review the specifics of our Lease agreement and advise if you are willing to enter into discussions regarding a new, modified contract. For new terms consistent with the above, AT&T will in turn consider additional term extensions.

AT&T will appreciate a reply within 60 days of receipt of this letter. A "no" or non-response will trigger AT&T's review of alternate locations. A positive response will be appreciated, but satisfactory terms and conditions negotiations must conclude within 90 days or AT&T will continue to evaluate alternative site locations. Responses may be emailed, standard mail, or a call as designated below. Please reference FA number 10126641 in your response so that AT&T may ensure your response is documented accordingly.

AT&T values its association with you and looks forward to continuing this relationship for the long term.

Sincerely,

Shegan D. Ohmer

Gregory D. Ohmer Director Network Planning

Email Responses to:

g04000@att.com with a Subject line of Partnership – FA 10126641

Mail Responses to: AT&T Cell Site Partnership 2423 FA 10126641 Rm 3D22

FA 10126641 Rm 3D22 1025 Lenox Park Blvd NE Atlanta, GA 30319 Attn: Kevin Diehl 866-354-5888



SWORN STATEMENT OF SPENCER GAMRELL IN SUPPORT OF NEW TOWER CONSTRUCTION

BY CitySwitch II-A, LLC

PULASKI COUNTY)) ss. STATE OF ARKANSAS)

Spencer Gambrell, being first duly sworn on oath, deposes and says that:

 I am an adult resident of the State of Arkansas and serve as Director — Network Planning for AT&T Wireless ("AT&T").

2. I manage AT&T's high-rent relocation program, under which AT&T identifies high-cost or economically burdensome antenna site leases that accommodate AT&T's communications equipment and relocates its communications equipment onto lower-cost alternative antenna site lease locations to either improve or maintain wireless coverage.

3. I am familiar with the proposed tower to be constructed by CitySwitch II-A, LLC ("CitySwitch") at 1117 NW 9th St., Okeechobee, Florida 34972 (the "CitySwitch Tower"). I am also familiar with the existing communications tower (the "SBA Tower") owned by SBA 2012 TC Assets, LLC ("SBA Communications") which is located at 1678 Northwest Ninth Avenue, Okeechobee, FL 34972. Both the existing SBA Tower and the location of the proposed CitySwitch Tower are located in AT&T's coverage search ring for this part of the City of Okeechobee and Okeechobee County.

4. AT&T currently leases space on the SBA Tower, along with related ground space at the base of the SBA Tower, to locate its communications equipment (the **"Wireless Facilities"**). AT&T has located its Wireless Facilities on the SBA Tower since August 2014, but AT&T now desires to relocate its Wireless Facilities onto the CitySwitch Tower as the SBA Tower has become a high-cost antenna site structure for AT&T.

5. This sworn statement is made to attest that having its Wireless Facilities remain on the SBA Tower, which is the only existing communications support structure in AT&T's search ring, is economically burdensome for AT&T and would not result in the same cost-effective operation as compared to what AT&T could achieve if it relocated its Wireless Facilities to the CitySwitch Tower.

Co-Location on the SBA Tower is Economically Burdensome

6. AT&T maintains a co-location agreement with SBA for the SBA Tower. Under this agreement, SBA increases the rent, assesses other costs and poses other logistical issues when AT&T installs additional Wireless Facilities on the SBA Tower. AT&T anticipates future rent increases and costs from SBA if it remains co-located at the SBA Tower. Those rent increases and costs would result from, among other things, AT&T's equipment rights on the SBA Tower.

7. The current rent charged by SBA to co-locate on the SBA Tower is over two- & one-half times what CitySwitch will charge AT&T to co-locate on the CitySwitch Tower. Pursuant to the agreement between AT&T and CitySwitch, annual rent increases are less than the annual rent increases charged by SBA. At the current rate of rent increases, over the next twenty (20) years, the difference in rent paid by AT&T to remain on the SBA Tower versus relocating on the CitySwitch Tower is well over two million dollars.

8. Since AT&T located on the SBA Tower in August 2014, rent and escalators have become more competitive in the tower marketplace. New tower companies have entered the marketplace since August 2014, which has also led to more competitive economic terms in tower lease agreements. Considering these competitive economic terms from other tower companies, AT&T has requested tower rent reductions from SBA. Unlike other tower companies, SBA has resisted an economically sustainable cost structure with its existing AT&T co-location leases, such that many of these leases have become economically burdensome for AT&T.

9. Decommissioning an existing Wireless Facility in favor of moving to an alternate tower location is something AT&T will only do in limited circumstances. AT&T will bear a significant capital cost in decommissioning its Wireless Facilities installation on the SBA Tower and relocating to the CitySwitch Tower. Despite these relocation costs, the CitySwitch Tower remains a better co-location option for AT&T.

10. AT&T has made this determination because the current rents and other charges to co-locate on the SBA Tower have been categorized as high-cost as compared to other existing sites in AT&T's portfolio and the rents charged by other tower companies, such as CitySwitch.

11. AT&T has entered into nationwide development and master lease agreements with CitySwitch, which I am familiar with. Under these agreements, CitySwitch will construct at its own expense and own communications towers upon which AT&T will lease space to install its Wireless Facilities. AT&T does not bear any costs for the construction of a tower owned by CitySwitch.

12. Per these agreements and as is the case with the CitySwitch Tower, AT&T pays CitySwitch rent in return for 30,000 square inches of wind load surface area of loading and defined space on each tower and does not pay increased rent for additions to its Wireless Facilities provided said facilities remain within the predetermined space and loading limits. The agreed upon tower space and loading limits have taken into consideration the future additions and upgrades projected for AT&T's Wireless Facilities.

13. There are no other structures (other than the SBA Tower) located in AT&T's search ring capable of accommodating its Wireless Facilities.

14. The economic terms imposed upon AT&T by SBA to remain co-located on the SBA Tower are not cost-effective and are economically burdensome for AT&T especially when the nearby CitySwitch Tower presents a more competitive and flexible co-location option.

The CitySwitch Tower provides superior mobile service functionality.

15. Technological changes and market trends in the wireless communications industry require AT&T to continuously upgrade its Wireless Facilities. AT&T is also obligated to build out FirstNet, which is our country's first nationwide integrated data network for providers of emergency services.

AT&T's lease agreement for the SBA Tower does not include "set aside" capacity reserved for the future needs of AT&T's Wireless Facilities. Every time AT&T desires to improve the Wireless Facilities installed on the SBA Tower, it must apply to SBA which then triggers an application fee and a lengthy administrative review process, which typically includes a structural analysis of the tower and an amendment to

the existing lease agreement. This administrative process may take several months and results in unnecessary time delay and additional costs in the deployment of the upgraded Wireless Facilities.

16. Conversely, AT&Ts master tower lease agreement with CitySwitch allows AT&T to rent 30,000 square inches of tower space and loading on a CitySwitch Tower. This space and loading capacity is reserved exclusively for AT&T and will accommodate the needs for AT&T's Wireless Facilities well into the future. This arrangement benefits AT&T because it increases the speed of deploying Wireless Facilities and gives AT&T greater flexibility to upgrade technologies and respond to the ever-changing coverage and capacity demands of its wireless network. Provided it does not exceed the reserved space and capacity limits in the colocation agreement, AT&T is free to upgrade its Wireless Facilities on the CitySwitch Tower with little to no delay.

nine Subell

Spencer Gambrell

Subscribed and sworn to before me this 20 day of **1** (10) 202.

Notary Public State of Arkansas My Commission Expires



[West Okee Relo] FA#[15611191]

COMMONWEALTH OF KENTUCKY

BEFORE THE PUBLIC SERVICE COMMISSION

In the Matter of:

ELECTRONIC APPLICATION OF NEW CINGULAR WIRELESS PCS, LLC D/B/A AT&T MOBILITY FOR ISSUANCE OF A CERTIFICATE OF PUBLIC CONVENIENCE AND NECESSITY TO CONSTRUCT A WIRELESS COMMUNICATIONS FACILITY IN THE COMMONWEALTH OF KENTUCKY IN THE COUNTY OF PULASKI

CASE NO. 2020-00310

)

On September 21, 2020, New Cingular Wireless PCS, LLC, d/b/a AT&T Mobility (AT&T Mobility), and Uniti Towers LLC (jointly, Joint Applicants) filed an application seeking a Certificate of Public Convenience and Necessity (CPCN) to construct and operate a wireless telecommunications facility. The proposed facility consists of a tower not to exceed 317 feet in height, with attached antennas, to be located at 240 Happy Ridge Road, Nancy, Pulaski County, Kentucky 42544. The coordinates for the proposed facility are North Latitude 37°06'00.76" by West Longitude 84°46'36.42".

The Joint Applicants have provided information regarding the structure of the tower, safety measures, and antenna design criteria for the proposed facility. Based upon the application, the design of the tower and foundation conforms to applicable nationally recognized building standards, and a licensed professional engineer has certified the plans.

Pursuant to 807 KAR 5:063, the Joint Applicants have filed statements of having provided the required notifications regarding the proposed construction. Pursuant to 807

KAR 5:063, the Joint Applicants have filed evidence that the county judge/executive and all property owners within 500 feet and contiguous to the cell site have been notified of the proposed construction. The notices solicited any comments and informed the recipients of their right to request intervention.

The Joint Applicants have filed applications with the Federal Aviation Administration and the Kentucky Airport Zoning Commission seeking approval for the construction and operation of the proposed facility. Both applications have been approved.

On October 29, 2020, SBA Communications Corporation (SBA) filed a motion for intervention in this matter. As grounds for the intervention, SBA avers that the proposed construction would not provide services to a currently unserved part of Kentucky and would be duplicative due to the proximity of SBA's existing tower in the area.¹ In addition, SBA argues that it has the ability to help develop facts that will assist the Commission in determining whether the Joint Applicants have met all of the requirements of 807 KAR 5:063.² On September 9, 2021, the Commission denied SBA's motion, finding that SBA's only interest in AT&T Mobility's rates and service is as a competitor, and thus does not have a special interest in the proceeding that is not otherwise adequately represented, and is not likely to present issues or develop facts that would assist the Commission in considering this matter without unduly complicating the proceeding.³

¹SBA's Motion to Intervene (filed Oct. 29, 2020).

² Id.

³Order (Ky. PSC Sept. 9, 2021) at 5–6.

SBA owns the tower on which AT&T Mobility currently has its antennae. AT&T Mobility plans to move its antennae from SBA's tower to the new tower once it is built.⁴ While SBA's motion to intervene was pending, SBA filed a total of three public interim comments into the record in support of its motion to intervene and seeking to prevent Joint Applicant's construction of the proposed tower.⁵ The Commission acknowledges that SBA indicates through public comment that it offered to lower the rent on its existing tower;⁶ however, the Commission affords this comment little weight, given the timing and circumstances under which it was filed. Assuming, *arguendo*, that the Commission afforded weight to the offer of lowered rental rates, leases are for a defined time and yet, given the probability this very issue would arise again upon expiration of the lease, evade the Commission's review because of another last-minute offer to lower rental rates. The Commission notes that this offer was made approximately seven months after the filing of the application, which only served to disrupt and delay the proceedings before the Commission.

SBA's only interest is to remain AT&T Mobility's landlord, whether by complicating the proceeding or by engaging in rent negotiations within the proceeding. As the Commission has noted in another case in which SBA sought intervention: "The Commission is under no illusion that SBA's request to intervene in this case is anything

⁴ The Commission approved construction of SBA's tower in Case No. 2001-00384, *Application of Third Kentucky Cellular Corporation DBA Wireless 2000 Telephone and Northstar Technology, LLC. for Issuance of a Certificate of Public Convenience and Necessity to Construct a Wireless Communications Facility In The Louisville-Lexington-Evansville Major Trading Area, Russell Springs, Pulaski County, Kentucky [Nancy] (Ky. PSC Apr. 20, 2002).*

⁵ This does not support SBA's argument that its participation would not unduly complicate the proceedings if it were to be granted intervention.

⁶ SBA's Interim Public Comment (filed Apr. 5, 2021).

other than an attempt to protect its monopoly as the owner of the only tower in the area."⁷ Although SBA has advanced additional arguments since the Commission's decision in Case No. 2017-00345, SBA's interest remains the same: SBA is a competitor with an interest in keeping tower rents high by limiting the number of towers. This runs counter to one of the stated purposes of the Telecommunications Act of 1996, which is to promote competition,⁸ as well as KRS 278.546(4), which states that market-based competition benefits consumers. Unreasonable and excessive fees for rent on a tower have the potential to divert resources that could otherwise be used to invest in expanding wireless networks and conducting necessary network upgrades necessary to meet increased demand for wireless voice and broadband services.

The Commission has encouraged co-location as the preferred method in the provision of wireless service; however, the opportunity to co-locate must be "reasonably available."⁹ Unreasonably high rent or onerous conditions render such opportunities unreasonable.

The Commission, in addition to state law, is bound by federal law when considering the construction of wireless facilities:

A State or local government or instrumentality thereof shall act on any request for authorization to place, construct, or modify personal wireless service facilities within a reasonable period

⁷ Case No. 2017-00435, Application of Tillman Infrastructure LLC and New Cingular Wireless PCS, LLC d/b/a AT&T Mobility for Issuance of a Certificate of Public Convenience and Necessity to Construct a Wireless Communications Facility in the Commonwealth of Kentucky in the County of Marshall (Ky. PSC Mar. 26, 2018), Order at 5.

⁸ *T-Mobile USA INC. v. City of Anacortes*, 572 F.3d 987, 991 (9th Cir. 2009).

⁹ 807 KAR 5:063(1)(s).

of time after the request is duly filed with such government or instrumentality.¹⁰

Based upon the foregoing, the Commission finds that Joint Applicants, because of the lack of reasonable opportunities to co-locate due to high rental rates, have established a need for the proposed tower.¹¹ The Joint Applicants' determination that based on available information it is economically feasible to construct a tower rather than remain on SBA's tower due to the lower costs, underscores the need for the tower. Furthermore, the Commission finds that while the proposed tower may result in duplication of facilities, it is not wasteful duplication under Kentucky law. Kentucky's highest court has determined that wasteful duplication is "an excessive investment in relation to productivity or efficiency, and an unnecessary multiplicity of physical properties, such as right of ways, poles and wires."¹² Building a new tower to avoid excessive rental rates is not an excessive investment; neither is an investment to avoid continual contentious rental rate negotiations that pose a significant risk of excess expense. Furthermore, should SBA's tower cease to host cellular antennae for a period longer than three months, SBA must

¹⁰47 U.S.C.A. § 332(c)(7)(B)(ii).

¹¹ The wireless market is competitive and, other than the placement of towers and interconnection with other telecommunications providers, the Commission has little jurisdiction over wireless providers, including no jurisdiction over the rates and earnings of a wireless provider. *See* KRS 278.54611. Thus, unlike traditionally regulated utilities, the Commission does not monitor wireless providers for unwise or unreasonable investments in utility plant.

¹² Kentucky Utilities Co. v. Public Service Com'n, 252 S.W.2d 885, 890 (Ky. 1952).

notify the Commission,¹³ at which point the Commission will determine the future of the tower, alleviating any concerns of "unnecessary multiplicity" of wireless tower.

Having considered the evidence of record and being otherwise sufficiently advised, the Commission finds that the Joint Applicants have demonstrated that a facility is necessary to provide adequate utility service and, therefore, a CPCN to construct the proposed facility should be granted.

Pursuant to KRS 278.280, the Commission is required to determine proper practices to be observed when it finds, upon complaint or on its own motion, that the facilities of any utility subject to its jurisdiction are unreasonable, unsafe, improper, or insufficient. To assist the Commission in its efforts to comply with this mandate, the Joint Applicants should notify the Commission if the antenna tower is not used to provide service in the manner set out in the application and this Order. Upon receipt of such notice, the Commission may, on its own motion, institute proceedings to consider the proper practices, including removal of the unused antenna tower, which should be observed by the Joint Applicants.

IT IS THEREFORE ORDERED that:

1. The Joint Applicants are granted a CPCN to construct a wireless telecommunications facility. The proposed facility consists of a tower not to exceed 317 feet in height, with attached antennas, to be located at 240 Happy Ridge Road,

¹³ Case No. 2001-00384, Application of Third Kentucky Cellular Corporation DBA Wireless 2000 Telephone and Northstar Technology, LLC. for Issuance of a Certificate of Public Convenience and Necessity to Construct a Wireless Communications Facility in the Louisville-Lexington-Evansville Major Trading Area, Russell Springs, Pulaski County, Kentucky [Nancy] (Ky. PSC Apr. 20, 2002), Order at 3.

Nancy, Pulaski County, Kentucky. The coordinates for the proposed facility are North Latitude 37°06'00.76" by West Longitude 84°46'36.42".

2. The Joint Applicants shall immediately notify the Commission in writing if, after the antenna tower is built and utility service is commenced, the tower is not used for three months in the manner authorized by this Order.

3. Documents filed, if any, in the future pursuant to ordering paragraph 2 herein shall reference this case number and shall be retained in the post-case correspondence file.

4. This case is closed and removed from the Commission's docket.

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By the Commission



ATTEST:

Sinde G. Bridgell Executive Director

Case No. 2020-00310

*Christopher Shouse Attorney Pike Legal Group PLLC 1578 Highway 44 East, Suite 6 P. O. Box 369 Shepherdsville, KENTUCKY 40165-0369

*Honorable David A Pike Attorney at Law Pike Legal Group PLLC 1578 Highway 44 East, Suite 6 P. O. Box 369 Shepherdsville, KENTUCKY 40165-0369

*New Cingular Wireless PCS, LLC dba AT&T 1010 N St Mary's Street, 9th Floor San Antonio, TX 78215

DOCUMENTS SUBMITTED IN OPPOSITION OF PETITION #22-003-SE:

Letter from JBJimersonBIRR, dated 10-19-2022, 4 Pages Exhibit A, 2 Pages Exhibit B, 6 Pages Exhibit 1 of Exhibit B, 14 Pages Exhibit C, 2 Pages

> Submitted to City Staff on 10-19-2022 Via email

document provided at meeting

C. Ryan Maloney Partnor Florida Bar Board Certified in Construction Law

BJIMERSON BIRR

nnaloney@iimetsonfirm.com

October 19, 2022

VIA ELECTRONIC MAIL

(dhoover@cityofokeechobee.com) (dmccoy@cityofokeechobee.com) (pbaughman@cityofokeechobee.com) (kbrass@cityofokeechobee.com) (rchartier@cityofokeechobee.com) (mjonassaint@cityofokeechobee.com) (dmcauley@cityofokeechobee.com) (jshaw@cityofokeechobee.com) (cberlin@cityofokeechobee.com) (pburnette@cityofokeechobee.com)

City of Okeechobee Board of Adjustment Attn: Dawn Hoover (Chairperson) Douglas McCoy (Vice Chairperson) Phil Baughman Karyne Brass Rick Chartier Mac Jonassaint David McAuley James Shaw (Alternate) Carl "Butch" Berlin, Jr. (Alternate) Patty Burnette (Board Secretary)

Re: Opposition to Special Exception Petition No. 22-003-SE

Dear City of Okeechobee Board of Adjustment Members,

This letter is written on behalf of SBA 2012 TC Assets, LLC, a subsidiary of SBA Communications Corporation ("SBA"), in opposition to the Application for Special Exception ("Application") submitted by Ignite Wireless/Kyle Lotze, as authorized agent for CitySwitch II-A, LLC ("CitySwitch"), which is scheduled to be considered by the Board of Adjustment at its upcoming meeting on October 20, 2022, at 6:00 p.m.

The Application seeks approval for the construction of a new 150-foot telecommunications tower, with an additional 10-foot lightning rod (total above ground level ("AGL") height of 160-feet) ("**Proposed Tower**") on CSX Transportation Inc.'s ("CSX") property located at 1117 NW 9th Street, Okeechobee, FL 34972, under Application File Number 22-003-SE. SBA is the owner of an existing 150-foot telecommunications tower ("SBA's Tower") located at 3079 NW 8th Street, Okeechobee, Florida 34972, just 0.7 miles from the planned location of the Proposed Tower. Please see Exhibit A for the specific location of the Proposed Tower and SBA's Tower.

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City of Okeechobee Board of Adjustment October 19, 2022

Page |2

SBA's Tower has additional space available for wireless antennae and equipment, including CSX's equipment, making the Proposed Tower duplicative and unnecessary.

As described in more detail below, the Board should deny the Application because CitySwitch failed to demonstrate compliance with all of the requirements of the City's Land Development Regulations ("LDR") necessary for the Application to be approved, as follows:

(1) The Proposed Tower does not meet the standards for granting a Special Exception provided under LDR Section 70-373(b) because CitySwitch has not provided any landscaping plans to visually screen the Proposed Tower from adjacent uses; and

(2) the Proposed Tower will have an adverse effect on the interests of the citizens of the City by allowing the proliferation of an unnecessary new tower without any additional cell coverage or benefit, contrary to LDR Section 70-373(c)(3).

The Proposed Tower Does Not Meet the City's Standards for Granting a Special Exception

To obtain a Special Exception from the Board, CitySwitch must demonstrate <u>each</u> of the standards for granting a special exception provided in LDR Section 70-373(b). Specifically, CitySwitch must "[d]emonstrate any landscaping techniques to visually screen the use from adjacent uses." As further required by LDR Section 90-603(g), CitySwitch is required to mitigate the visual impacts of the Proposed Tower by installing landscaping and buffering around the entire perimeter of the Proposed Tower. Specifically, CitySwitch is required to install the following landscaping to meet the LDR's landscaping requirements:

- (1) A row of trees a minimum of three inches at dbh (diameter at breast height) and a minimum of eight feet tall and a maximum of 25 feet apart shall be planted around the perimeter of the fence; and
- (2) A contiguous hedge at least 30 inches high at planting capable of growing to at least 36 inches in height within 18 months shall be planted in front of the tree line referenced in subsection g(1) of this section.

However, as acknowledged in the City's Staff Report regarding the Application, CitySwitch has not agreed to provide <u>any</u> landscaping, despite specific requests by Staff to provide proposals for landscaping. Importantly, CitySwitch has not submitted a variance application to the Board to request relief from the landscaping requirements, as required by LDR Section 70-374(a) ("A variance is authorized only as to physical requirements of these regulations including ... buffer."), and public notice regarding a request for variance has not been provided, as required by LDR Section 70-335 ("Until public notice has been given and a public hearing has been held, no action shall be taken by the ... board of adjustment ... on any petition for the following: (6) Variance.").

Accordingly, CitySwitch fails to meet the standards for granting a Special Exception provided under LDR Section 70-373(b), and therefore, the Application should be denied.



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City of Okeechobee Board of Adjustment October 19, 2022

Page 3

<u>The Proposed Tower Will Have an Adverse Effect on The Interests of the Citizens of The</u> <u>City by Allowing the Proliferation of an Unnecessary New Tower</u>

Further, in granting a special exception use, the Board is required to find that the proposed special exception use "will not have an adverse effect on the public interest." LDR Section 70-373(c)(3). As stated in the Application, the Proposed Tower is being sought for AT&T to relocate its equipment from SBA's Tower to the Proposed Tower to receive a lower lease rate.

However, if the Board approves the Application and allows an entirely new communications tower to be constructed less than a mile from SBA's Tower solely for economic reasons, and without any additional cell coverage or benefit, it will have an adverse effect on the interests of the citizens of the City by allowing the proliferation of an unnecessary new tower.

Importantly, SBA's Tower is only 0.7 miles from the location of the Proposed Tower, and is available for collocation of both AT&T's and CSX's proposed antennas and equipment. As set forth in the Declaration under oath of SBA Site Marketing Manager Brooke Irby, attached as **Exhibit B**, AT&T has collocated on SBA's Tower since 2008, pursuant to the existing lease agreement originally established between Nextel South Corp. and AT&T. Since AT&T has collocated on SBA's Tower, mentioned any concerns or issues with SBA's Tower. Should AT&T require modifications to SBA's Tower to meet any additional collocation needs, SBA certainly would be willing to discuss those needs with AT&T.

Specifically, should AT&T require accommodation on SBA's Tower at a higher height, LDR Section 90-603(h)(3) specifically permits SBA to modify SBA's Tower to a taller height not to exceed 20 feet over SBA's Tower's existing height. Accordingly, SBA is able and willing to modify SBA's Tower to a taller height to accommodate AT&T at a higher height of 155-feet, which would be 10 feet higher than the proposed height of AT&T's antenna and equipment on the Proposed Tower.

Further, as demonstrated in the Coverage Plot Analysis and Plot Maps by SBA, attached to the Declaration of Brooke Irby as **Exhibit 1**, the Proposed Tower will not appreciably expand the scope or strength of available coverage in the area. Rather, the Proposed Tower will provide duplicative or overlapping coverage with SBA's Tower. For wireless operators with antennas mounted on SBA's Tower, the installation of additional antennas would be considered an overbuild (or impractical) based on the coverage overlap.

Moreover, as set forth in the Declaration Brooke Irby, if AT&T has concerns with existing lease rates on SBA's Tower, AT&T has not provided SBA with an opportunity to discuss its lease terms in order to address any of those concerns. Importantly, the letter from AT&T attached to the Application, which is also attached hereto as **Exhibit** C, is a letter to the owner of the real property on which SBA's Tower is located under a ground lease, and not to SBA.

Of course, wireless carriers will always be able to find a tower developer willing to charge a lower rent to attract relocation in the short term. Wireless carriers seeking to renegotiate existing tower lease terms, like AT&T, likewise can always seek the threat of relocation to improve negotiating position with existing landlords. Importantly, due to its longstanding relationship with



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City of Okeechobee Board of Adjustment October 19, 2022

Page 4

AT&T, SBA would be willing to discuss the current terms of the lease on SBA's existing tower with AT&T.

Should the Board approve the Application and allow for construction of the Proposed Tower without experiencing any additional cell coverage or benefit, and solely for economic reasons, it will set a dangerous precedent resulting in the proliferation of multiple unnecessary towers throughout the landscape. Clearly, such a situation would be to the detriment of the citizens of the City, and contrary to the intent and plain language of the City's LDR. Accordingly, because the Proposed Tower will have an adverse effect on the interests of the citizens of the City, the Application should be denied.

Conclusion.

In sum, the Application is should be denied because (1) The Proposed Tower does not meet the standards for granting a Special Exception provided under LDR Section 70-373(b); and (2) the Proposed Tower will have an adverse effect on the interests of the citizens of the City by allowing the proliferation of an unnecessary new tower without any additional cell coverage or benefit, contrary to LDR Section 70-373(c)(3). Accordingly, SBA respectfully requires for the Board to deny the Application.

Sincerely. an Maloney

CRM/mgm Enclosures: (Exhibits A-C)

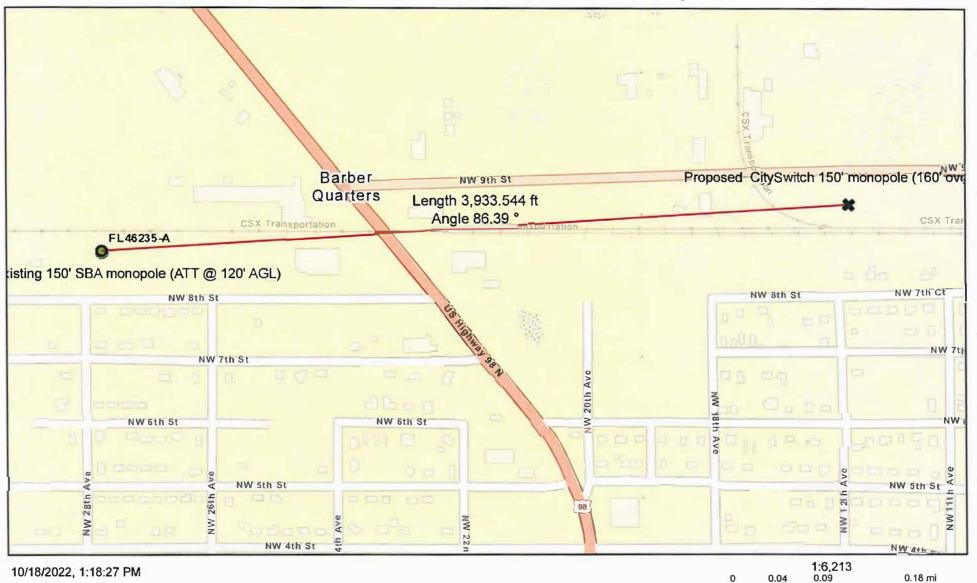
cc: Client (via email w/enclosures) File



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Exhibit "A"

SBA FL46235-A Okeechobee Distance Map



0 0.07 0.15 0.3 km Esri Community Maps Contributors, University of South Florida, FDEP, O OpenStreetMap, Microsoft, Esri, HERE, Germin, SafeGraph, GeoTechnologies, Inc, METIMASA, USGS, EPA, NPS, US Census Bureau, USDA

SBA Communications

VCGI | TNRIS, Various Counties, Various Vendors | Ohio Department of Natural Resources | Washington State Department of Eeology, Washington State Office of the Chief Information Officer (OCIO), Washington State Counties | Commonwealth of Massachusetts Office of Geographic

Exhibit "B"



SBA Communications Corporation 8051 Congress Avenue Boca Raton, FL 33487-1307

> T + 561.995.7670 F + 561.995.7626

> > sbasite.com

City of Okeechobee Technical Review Committee City of Okeechobee Board of Adjustment

RE: Application Nos. 22-004-TRC and 22-003-SE

DECLARATION OF BROOKE IRBY

STATE OF GEORGIA COUNTY OF FULTON

I, Brooke Irby, hereby certify and state as follows:

 I am the Site Marketing Manager for SBA 2012 TC Assets, LLC, a subsidiary of SBA Communications Corporation ("SBA").

2. I make this Declaration with the understanding that it is to be used in opposition to the Application for Site Plan Review, Application No. 22-004-TRC, and the Application for Special Exception, Application No. 22-003-SE, submitted by Ignite Wireless/Kyle Lotze, as authorized agent for CitySwitch II-A, LLC ("CitySwitch"). All statements contained in this Declaration are based upon my personal knowledge or my personal knowledge of the business records of SBA. I am over the age of eighteen and I am fully competent to testify to the facts recited herein.¹

¹ In my capacity working for SBA, I am one of the primary custodians of the organizational documents, files, applications, letters, correspondence, reports, and other paperwork transmitted or received in connection with the dealings with AT&T Wireless ("AT&T") in Florida (the "Records"). SBA's files contain documents which were made and/or kept as part of the Records, contemporaneously at or near the time of the events so memorialized herein, by or from information transmitted by SBA's employees and personnel who had knowledge of the facts set forth in such documents. The Records are kept in the course of a regularly conducted business activity and for each such document. To the extent that I refer to any such document other than those made or received by me personally, such document is one of SBA's Records.

3. It is my job to interact with carriers, such as AT&T, who have located, or are interested in locating, onto an SBA telecommunications tower in Florida.

4. I maintain an open line of communication with the carriers to discuss tenant issues, including but not limited to, collocation, new equipment, centerline placement of equipment onto SBA communication towers, and other related matters. This would include the communications tower SBA has owned, operated, and maintained since October 1, 2012 in Okeechobee County, FL on property located at 3079 NW 8th Street, Okeechobee, Florida 34972 ("SBA's Tower").

5. AT&T currently leases space and maintains its communications equipment on SBA's Tower. AT&T has co-located on the SBA Tower since 2008 prior to SBA's ownership. Nextel South Corp. originally constructed the tower in 2008. On September 22, 2008, Nextel South Corp and New Cingular Wireless entered into a Site Lease Agreement dated September 22, 2008. The tower and associated agreements transferred ownership from Nextel South Corp to TowerCo Assets LLC on September 23, 2008. On October 1, 2012, SBA became successor in interest to TowerCo Assets LLC.

6. In exchange for collocating on SBA's Tower, AT&T agreed to make rent payments to SBA, in accordance with a lease agreement originally established between Nextel South Corp and AT&T. SBA has always billed AT&T in accordance with their lease agreement.

7. As with all other matters, AT&T has been directed to send any communication related to SBA's communication towers in Florida, including SBA's Tower, to my attention.

8. I understand CitySwitch is seeking approval for the construction of a new 150-foot telecommunications tower, with an additional 10-foot lightning rod (total above ground level ("AGL") height of 160-feet) ("Proposed Tower") on CSX Transportation Inc.'s ("CSX") property located at 1117 NW 9th Street, Okeechobee, FL 34972.

2

9. I was surprised by CitySwitch's Application for Site Plan Review and Application for Special Exception that identified AT&T as the primary intended tenant on the Proposed Tower, as I regularly communicate with AT&T.

10. In my prior communications with AT&T, it has not mentioned concerns or issues with SBA's Tower, nor inquired whether SBA's Tower could accommodate additional equipment. Nor has AT&T raised any other concerns to SBA about its occupancy on SBA's Tower.

11. Notably, AT&T has never contacted me about reducing lease rates on SBA's Tower, nor attempted to re-negotiate the lease rates for SBA's Tower under the lease agreement.

12. AT&T is currently a tenant on over 6,690 SBA telecommunications towers nationwide. Given our relationship with AT&T, SBA would certainly appreciate the opportunity to work with AT&T to stay collocated on SBA's Tower, which prevents the unnecessary and needless proliferation of telecommunication towers in the City of Okeechobee, Florida.

13. Having reviewed SBA's corporate records, I can confirm SBA most certainly can accommodate additional equipment for AT&T, including FirstNet, and can accommodate CSX's equipment, on SBA's Tower.

14. Should AT&T's needs require modifications to SBA's Tower, SBA is willing to discuss AT&T's needs with them further. Such modifications as may be needed to accommodate AT&T at a higher height or for more/larger equipment are common practice in the telecommunications industry.

15. In sum, there is ample structural capacity for SBA's Tower to handle more equipment, including CSX's equipment, as SBA constructed SBA's Tower to house multiple tenants.

3

16. The SBA Records include an RF Coverage Plot Analysis and RF Coverage Plots, which are attached to this Declaration as <u>Exhibit 1</u> (the "SBA RF Analysis").

17. As stated in the SBA RF Analysis, due to the close proximity to SBA's Tower, the Proposed Tower would not appreciably expand the scope or strength of available coverage in the area, but would instead provide duplicative or overlapping coverage provided by SBA's Tower. Further, the installation of additional antennas on the Proposed Tower would be considered an "overbuild" or impractical given the coverage overlap with SBA's Tower.

[Signature follows on next page]

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING STATEMENTS, AND THAT THE FACTS STATED THEREIN ARE TRUE AND CORRECT.

Date: 10/19/2022

Broke my

BROOKE IRBY

Exhibit 1

TO: SBA

Subject: RF Coverage Plot Analysis: City of Okeechobee, FL

Date: October 18, 2022

1. METHODOLOGY. The attached plots depict broadcast radio frequency (RF) coverage from the existing site to City of Okeechobee, FL and a proposed site approximately 0.7452 miles to the East. At each location, cellular industry typical LTE operating parameters were considered for omnidirectional antennas mounted at 120 and 155 feet above ground level at the existing site, and at 145 feet above ground level for the proposed site. Ground elevations are 33 and 29 feet above mean sea level, respectively.

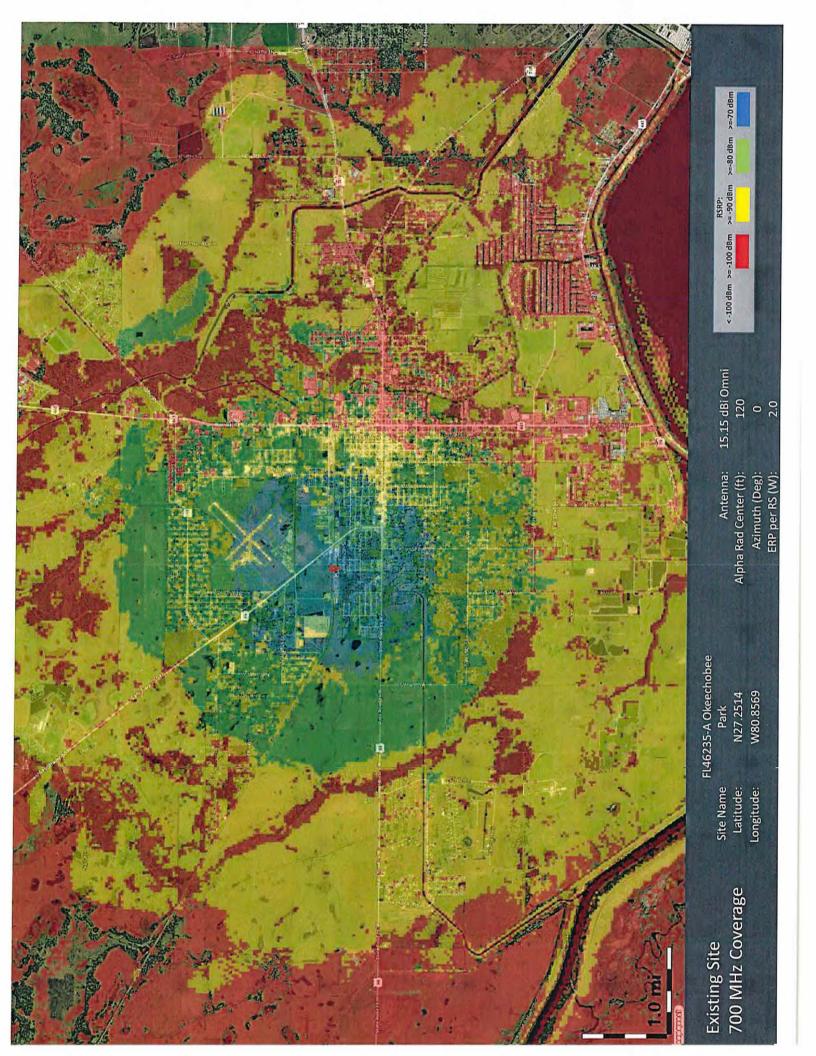
Plots for both locations were generated for 700, 850, 1900 and 2100 MHz operations. The signal levels depicted are associated with LTE service reliability where the strong coverage levels in green and blue occur near the towers and decrease with distance from the sites and intervening terrain obstructions. Signal levels greater than -70 dBm shown as blue are associated with feasible coverage within buildings. Marginal coverage is provided in the regions depicted in yellow between -90 dBm and -80 dBm and signal levels between -100 dBm and -90 dBm shown as red represent poor coverage associated with call failures.

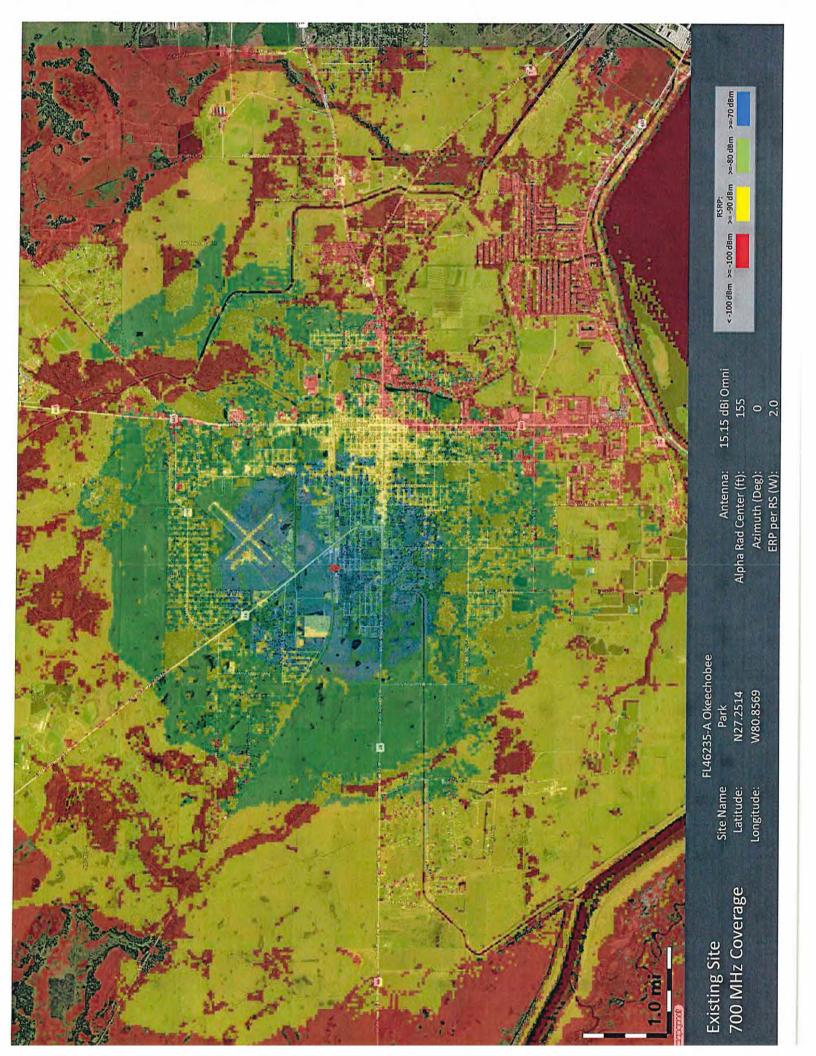
A comparison of coverage performance for each site is based on low band (700 and 850 MHz) and high band (1900 and 2100 MHz) prediction results. Radiowave propagation conditions between these bands differ because of terrain and ground clutter (e.g. vegetation) effects at different frequencies. Generally, low band operations provide greater area coverage. Therefore, high band operations provide additional customer traffic capacity closer to the cellular site.

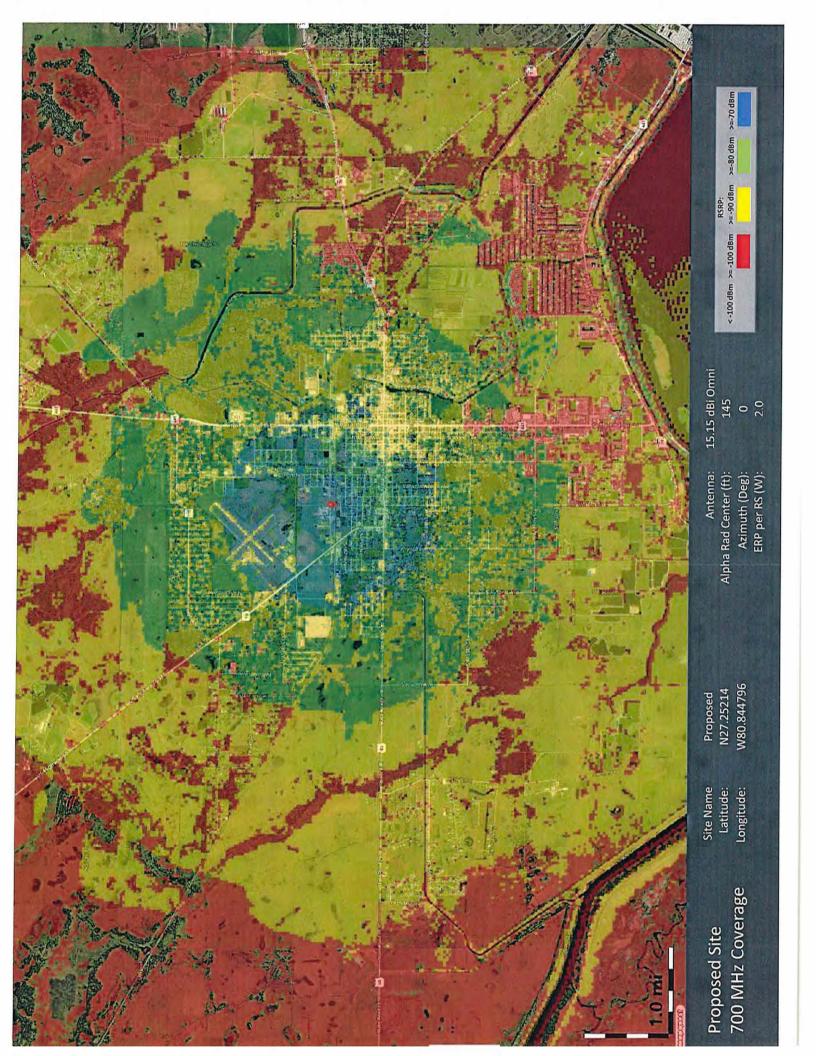
2. COMPARISON. The sites considered in these coverage plots provide service to the depicted locations and roads leading to City of Okeechobee, FL. For low band operations, the existing site provides strong coverage approximately 1.3 miles in all directions and to non-contiguous areas to 1.7 miles from the site. This includes 1.6 miles of US Hwy 98. The proposed site provides strong coverage approximately 1.3 miles in all directions areas to 1.7 miles from the site. This includes and to non-contiguous areas to 1.7 miles from the site.

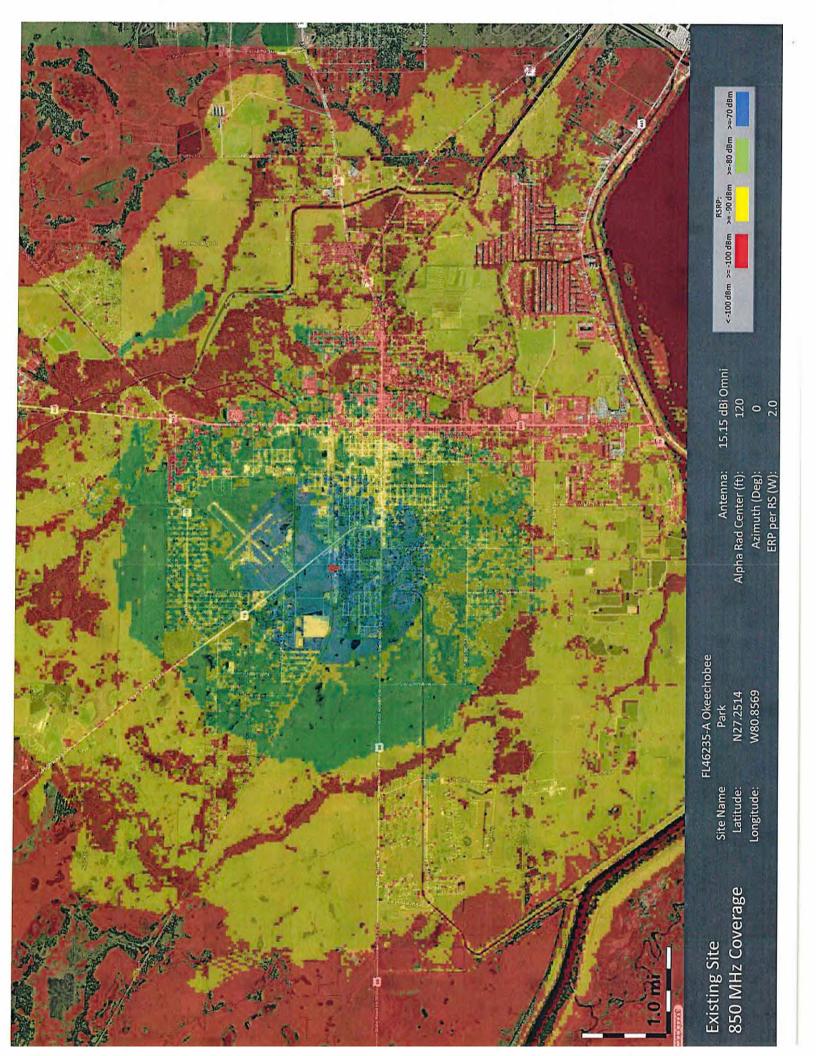
For high band operations, both sites provide strong coverage to non-contiguous areas 0.7 miles in all directions.

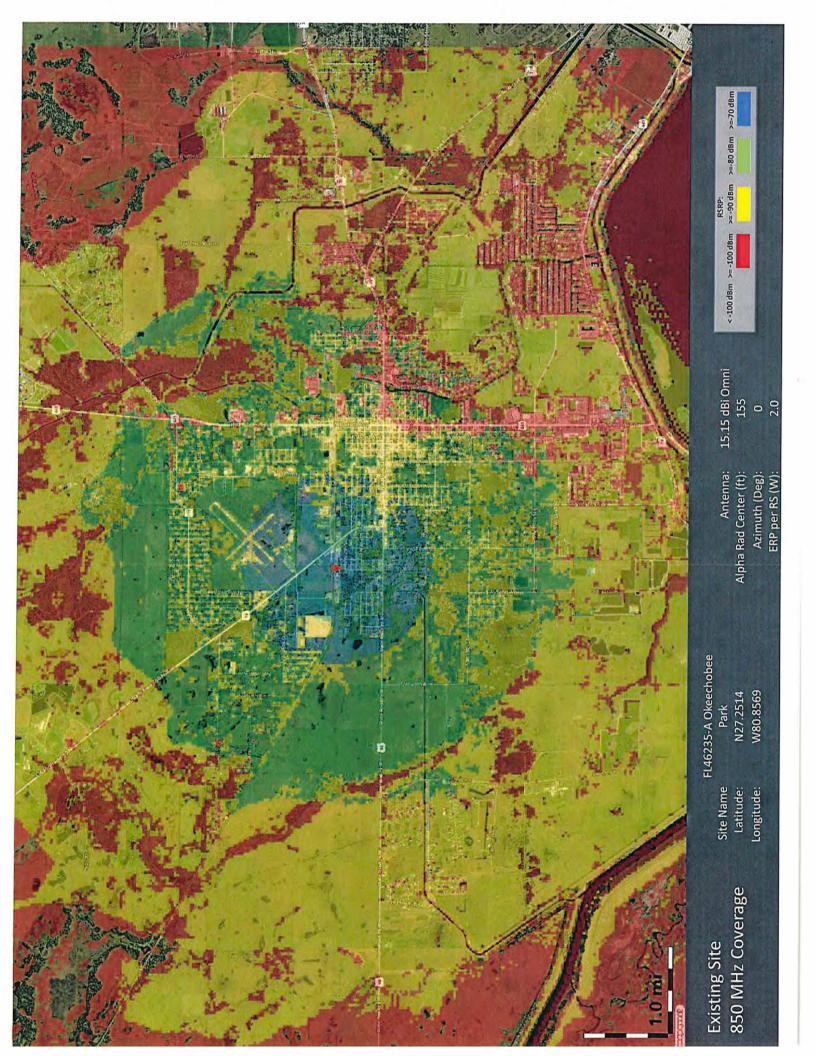
3. CONCLUSION. Based on the coverage comparison presented above, the proposed site provides comparable coverage to City of Okeechobee, FL due to its close proximity to the existing site. For wireless operators with antennas mounted on the existing site, the installation of additional antennas on the proposed site would be considered to be an "overbuild" or impractical given the coverage overlap.

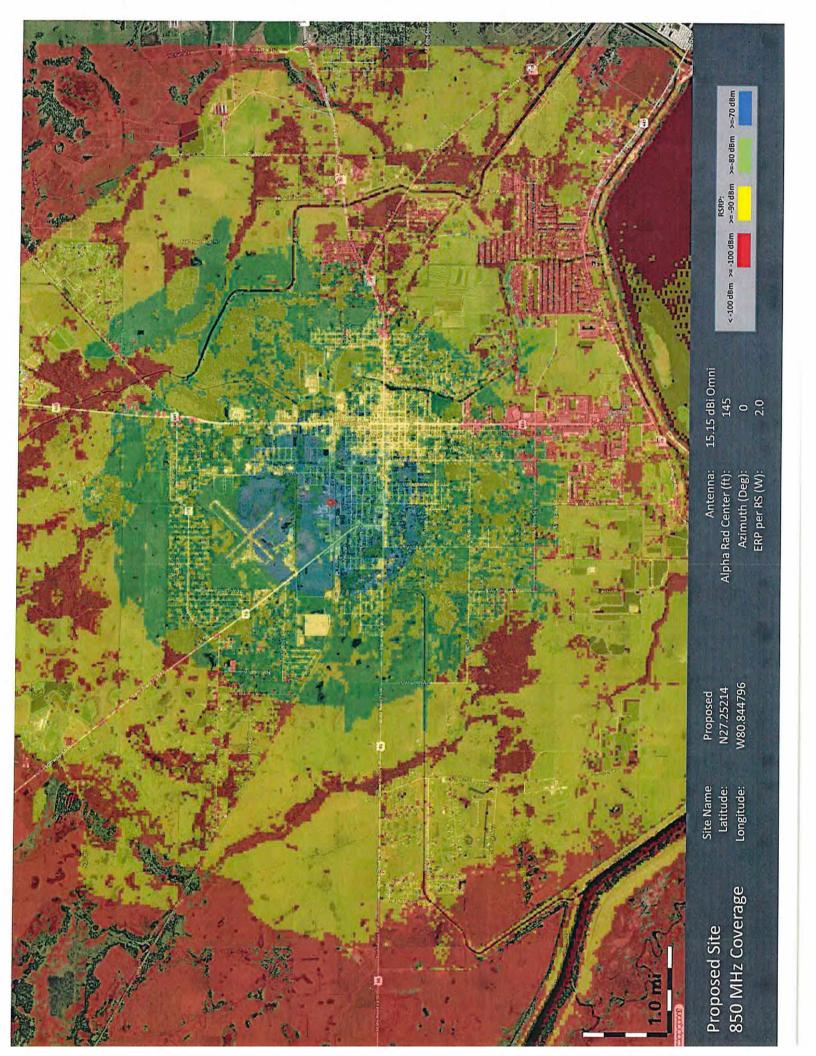


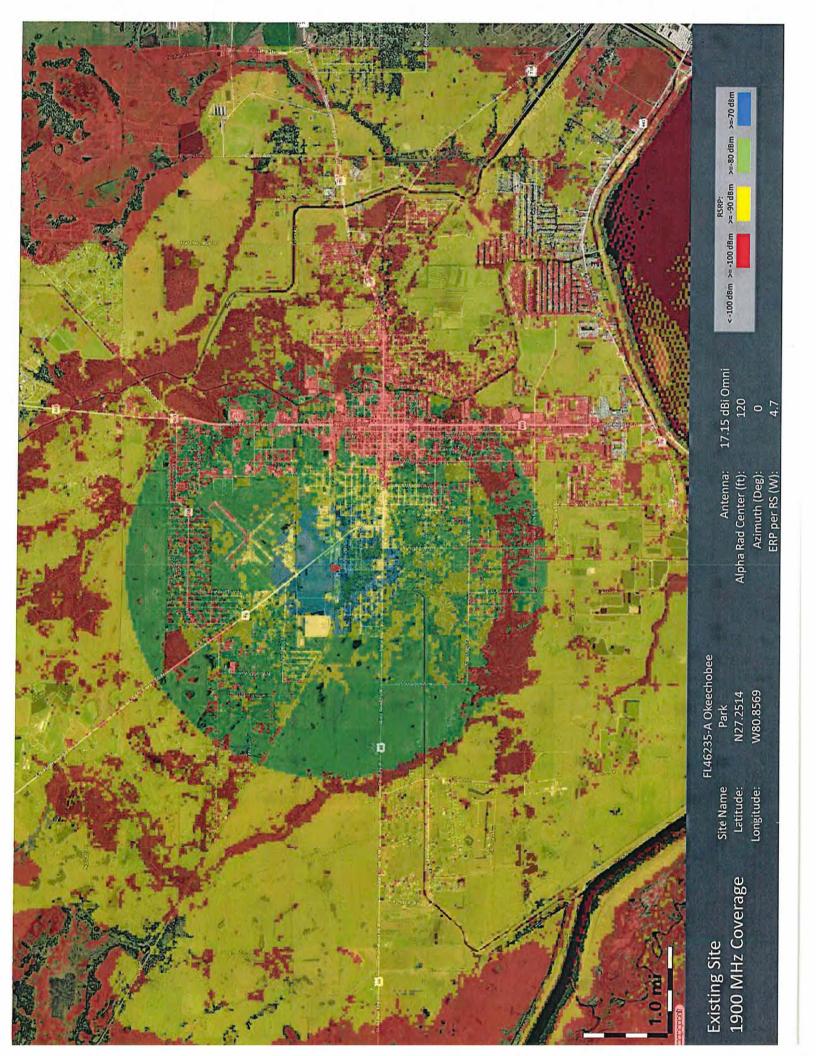


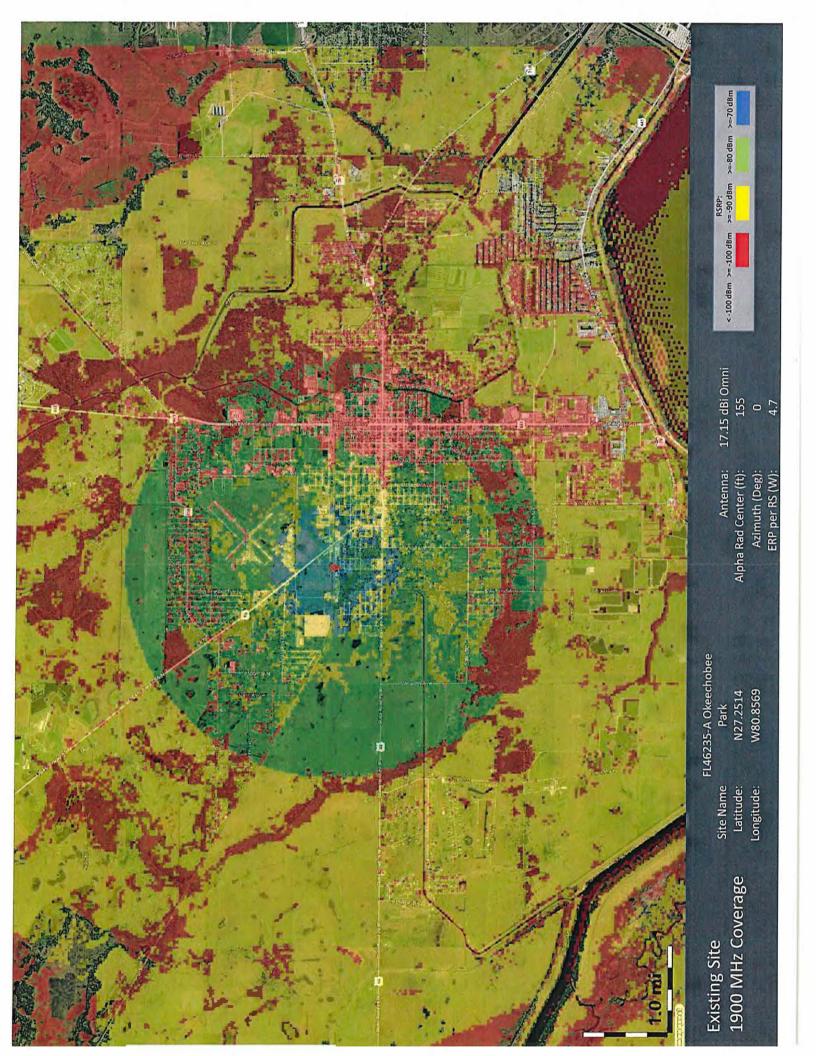


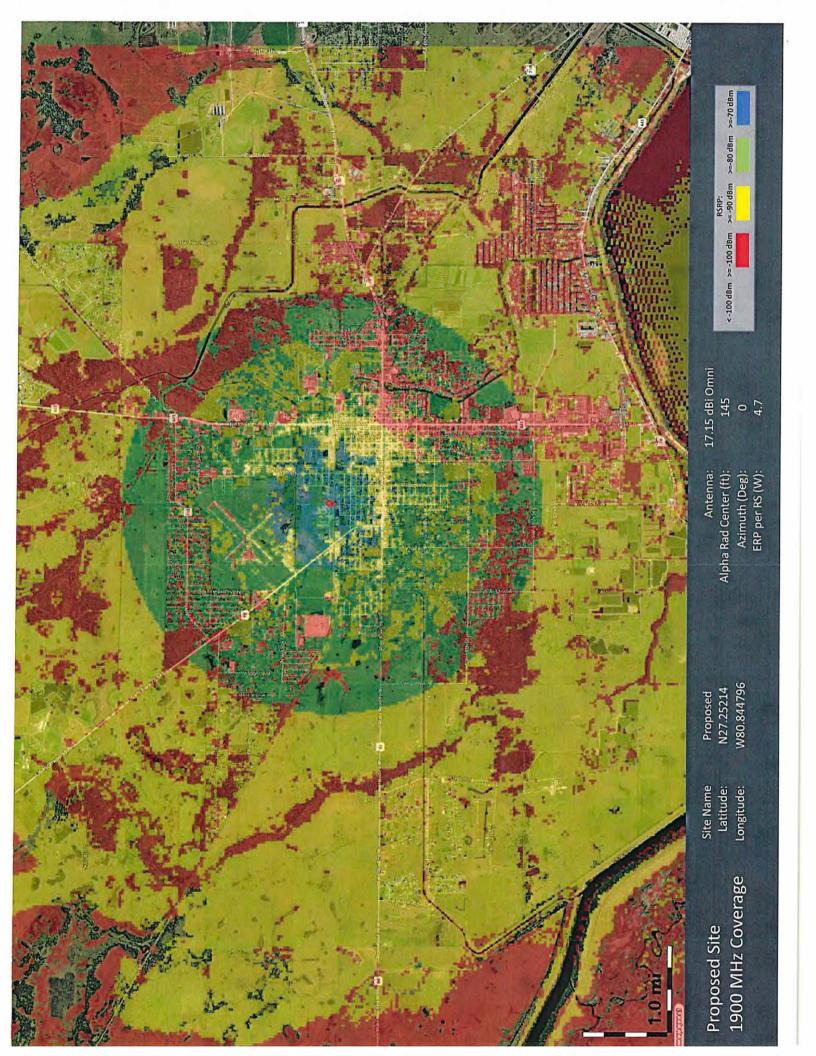


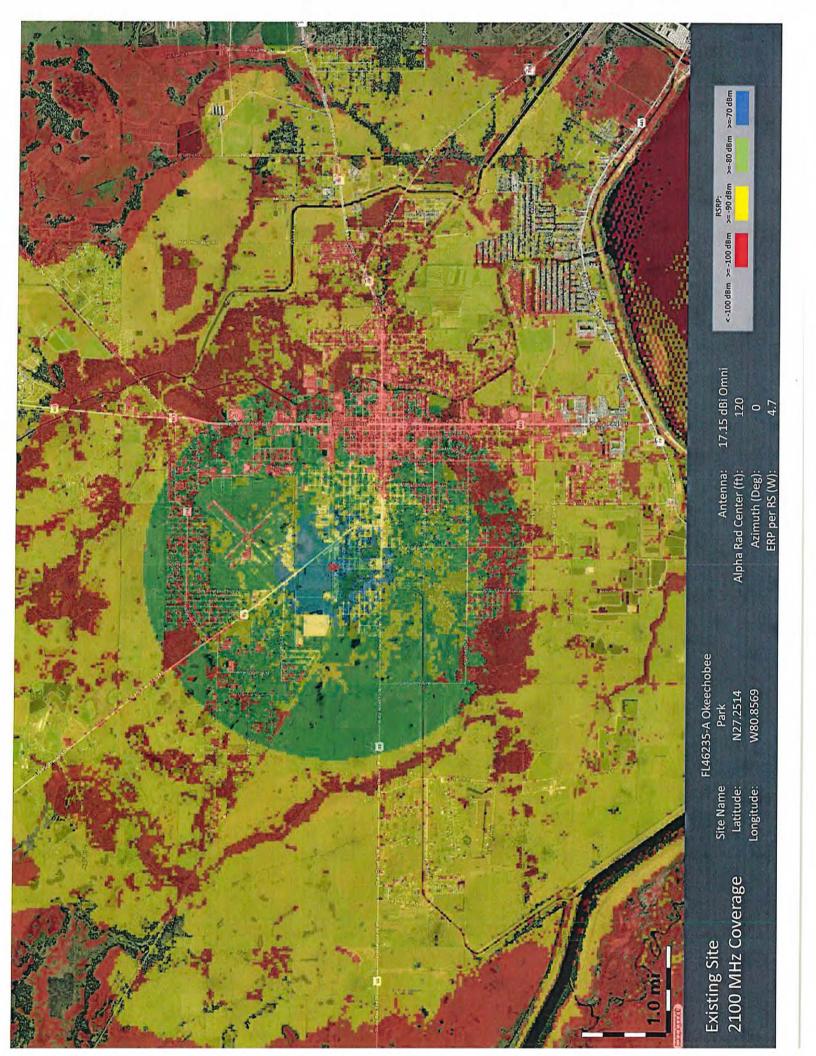


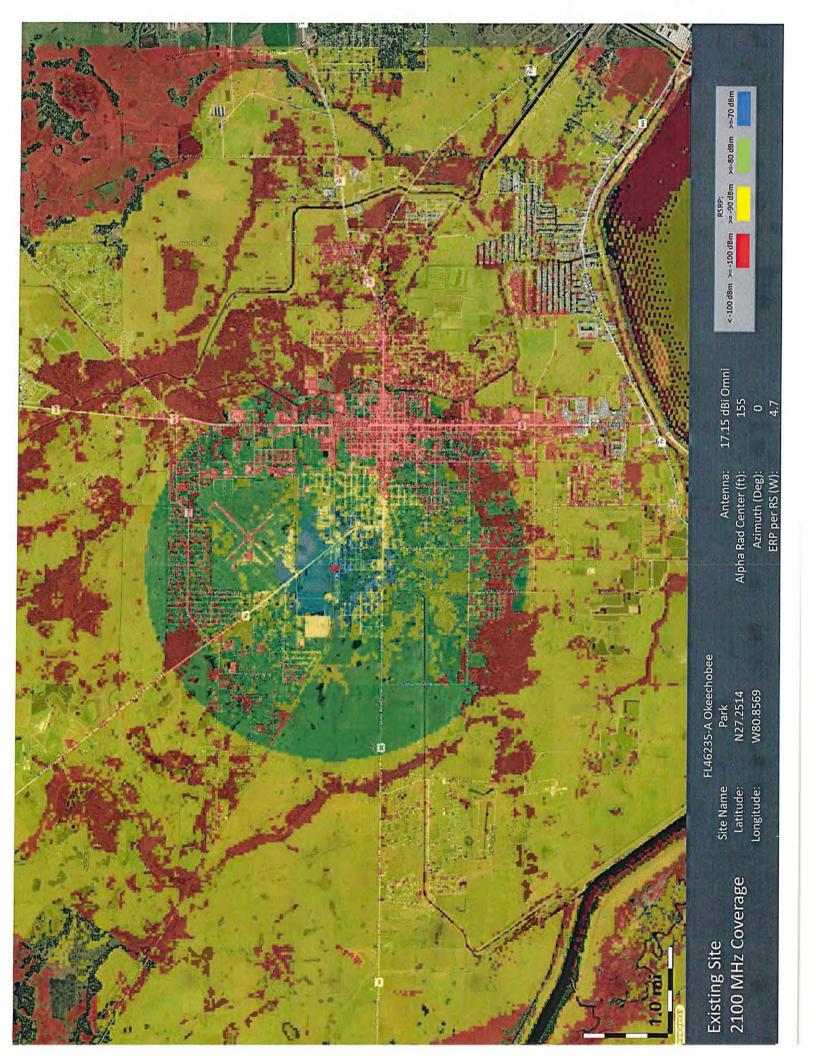












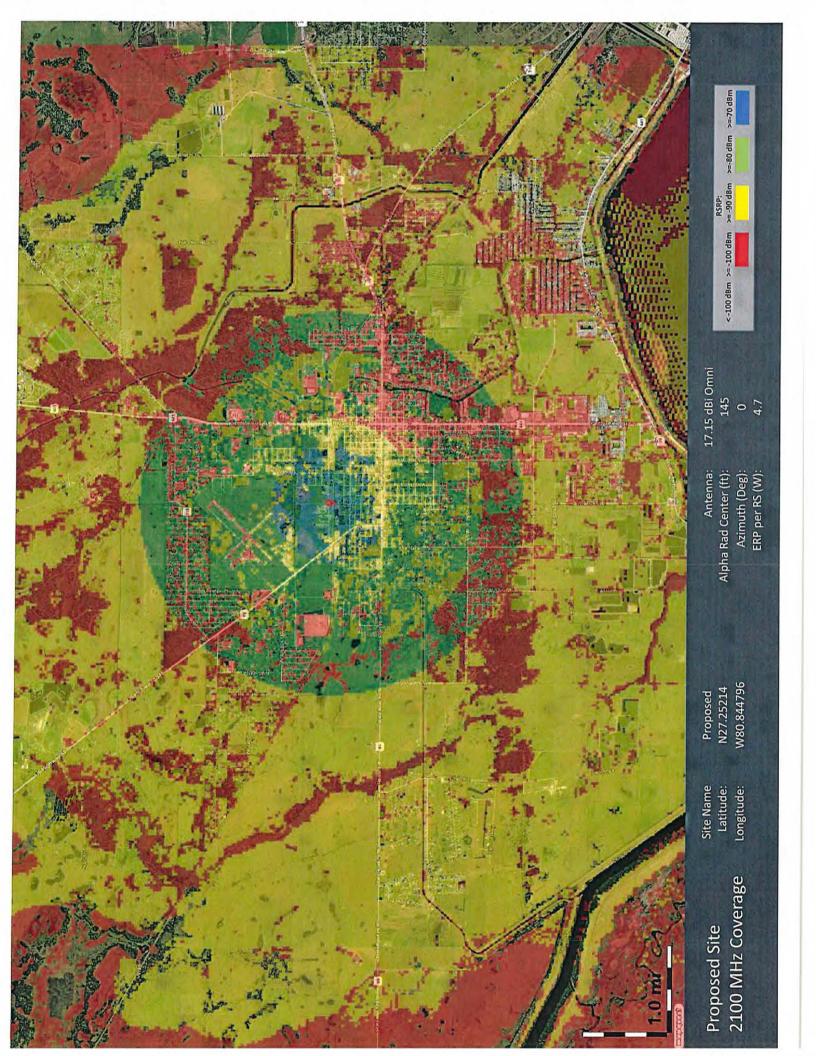


Exhibit "C"



October 27, 2020

Edwin E. Walpole, III P.O. Box 1177 Okeechobee, FL 34973

Re: AT&T Cell Site Lease – 2773 NORTHWEST 8TH STREET, OKEECHOBEE, FL | FA: 10126641 | Site Name: WEST OKEE

Dear Landlord,

AT&T is in a very competitive space and we need to ensure that our lease terms and conditions are supportive of our current and future needs. AT&T has the option to either extend or terminate the above referenced lease ("Lease") in approximately three years. AT&T is instituting a new program to evaluate terms and conditions of all leases coming up for renewal, explore advance renegotiation options and consider possible alternative site locations. Our first choice is to create a new agreement that serves both parties well. Conditions we desire to implement in all new "go forward" leases include:

- "Real Estate Rights": In its simplest form, a lease right to utilize the entire RAD center without any "per touch" rent upcharges.
- Rents reduced to competitive rates.
- Reduced or no annual escalators (depending on other terms of the overall new deal).
- "Fair" early termination rights.

As you know, it takes time to negotiate, plan and execute a site relocation. That is why the AT&T's review process is starting now. Please review the specifics of our Lease agreement and advise if you are willing to enter into discussions regarding a new, modified contract. For new terms consistent with the above, AT&T will in turn consider additional term extensions.

AT&T will appreciate a reply within 60 days of receipt of this letter. A "no" or non-response will trigger AT&T's review of alternate locations. A positive response will be appreciated, but satisfactory terms and conditions negotiations must conclude within 90 days or AT&T will continue to evaluate alternative site locations. Responses may be emailed, standard mail, or a call as designated below. Please reference FA number 10126641 in your response so that AT&T may ensure your response is documented accordingly.

AT&T values its association with you and looks forward to continuing this relationship for the long term.

Sincerely,

Slegon D. Ohmer

Gregory D. Ohmer Director Network Planning

Email Responses to:

g04000@att.com with a Subject line of Partnership - FA 10126641

Mall Responses to:

AT&T Cell Site Partnership 2423 FA 10126641 Rm 3022 1025 Lenox Park Blvd NE Atlanta, GA 30319 Attn: Kevin Diehl 866-354-5888

Telephone Number

DOCUMENTS SUBMITTED IN OPPOSITION OF PETITION #22-003-SE:

Letter from JBJimersonBIRR, dated 12-14-2022, 5 Pages Exhibit A, 2 Pages Exhibit B, 6 Pages Exhibit 1 of Exhibit B, 2 Pages Exhibit C, 7 Pages Exhibit 1 of Exhibit C, 14 Pages Exhibit 2 of Exhibit C, 3 Pages

Exhibit 3 of Exhibit C, 2 Pages

Submitted to City Staff on 12-14-2022 Via email **C. Ryan Maloney** Partner Florida Bar Board Certified in Construction Law



December 14, 2022

VIA ELECTRONIC MAIL

(dhoover@cityofokeechobee.com) (dmccoy@cityofokeechobee.com) (pbaughman@cityofokeechobee.com) (kbrass@cityofokeechobee.com) (rchartier@cityofokeechobee.com) (mjonassaint@cityofokeechobee.com) (dmcauley@cityofokeechobee.com) (jshaw@cityofokeechobee.com) (cberlin@cityofokeechobee.com) (pburnette@cityofokeechobee.com) (jfumero@nasonyeager.com) (gvelazquez@nasonyeager.com) (phahn@bakerdonelson.com)

City of Okeechobee Board of Adjustment Attn: Dawn Hoover (Chairperson) Douglas McCoy (Vice Chairperson) Phil Baughman Karyne Brass Rick Chartier Mac Jonassaint David McAuley James Shaw (Alternate) Carl "Butch" Berlin, Jr. (Alternate) Patty Burnette (Board Secretary)

Re: Opposition to Special Exception Petition No. 22-003-SE

Dear City of Okeechobee Board of Adjustment Members,

This letter is written on behalf of SBA 2012 TC Assets, LLC, a subsidiary of SBA Communications Corporation ("SBA"), in opposition to the Application for Special Exception ("Application") submitted by Ignite Wireless/Kyle Lotze, as authorized agent for CitySwitch II-A, LLC ("CitySwitch"), which is scheduled to be considered by the Board of Adjustment at its upcoming meeting on December 15, 2022, at 6:00 p.m. This Opposition amends and replaces the Opposition submitted by SBA on October 19, 2022.

The Application seeks approval for the construction of a new 150-foot telecommunications tower, with an additional 10-foot lightning rod (total above ground level ("AGL") height of 160-feet) ("**Proposed Tower**") on CSX Transportation Inc.'s ("**CSX**") property located at 1117 NW 9th Street, Okeechobee, FL 34972, under Application File Number 22-003-SE. SBA is the owner

of an existing 150-foot telecommunications tower ("SBA's Tower") located at 3079 NW 8th Street, Okeechobee, Florida 34972, just 0.7 miles from the planned location of the Proposed Tower. Please see Exhibit A for the specific location of the Proposed Tower and SBA's Tower.

As described in more detail below, the Board should deny the Application because CitySwitch failed to demonstrate compliance with all of the requirements of the City's Land Development Regulations ("LDR") necessary for the Application to be approved, as follows:

(1) CitySwitch failed to demonstrate a need or demand for the Proposed Tower, as required by LDR Section 90-602(2)(b), because:

(a) AT&T's argument that the Proposed Tower is needed due to the cost of rent on SBA's Tower is no longer applicable because SBA offered to match the monthly rent rate currently offered to AT&T by CitySwitch on the Proposed Tower, less \$10.00; and

(b) the Proposed Tower would not provide any appreciable increase in signal coverage or strength over the SBA's Tower due to its close proximity to SBA's Tower and another existing tower owned by American Tower Corporation which is located to the West of the Proposed Tower and available for AT&T's collocation ("**Existing ATC Tower**"); and

(2) the Proposed Tower will have an adverse effect on the interests of the citizens of the City contrary to LDR Section 70-373(c)(3), by allowing the proliferation of an unnecessary new tower without any additional cell coverage or benefit, and AT&T's relocation from SBA's Tower to the Proposed Tower will decrease available coverage to the citizens located to the West of the SBA's Tower.

CitySwitch Fails to Demonstrate a Need or Demand for the Proposed Tower

For the Application to be approved, CitySwitch is required to demonstrate a "need or demand for the" Proposed Tower under LDR Section 90-602(2)(b). In its Application, CitySwitch states that the Proposed Tower is needed for AT&T to "relocate equipment off an existing tower where rent has become exorbitantly high."

However, the "need" referenced in LDR Section 90-602(2)(b) was clearly intended to be the "need" of the public, i.e., the citizens of the City, for a new communications tower for cellular coverage. "Need" under that section of the Code was certainly not intended to be the desire of a Fortune 100 company like AT&T to get out of a lease that it previously signed and agreed to as a contract.

Further, any alleged need related to the rental payments under AT&T's lease with SBA is negated by the fact that on December 14, 2022, <u>SBA offered to match the monthly rental rate</u> <u>currently offered to AT&T by CitySwitch on the Proposed Tower, less \$10.00</u>. As set forth in the Declaration under oath of SBA Site Marketing Manager Brooke Irby, attached as **Exhibit B**, in a good faith effort to accommodate AT&T's newly expressed desire to re-negotiate the terms of its lease with SBA for AT&T to continue collocating on SBA's Tower, SBA sent a letter to AT&T on December 14, 2022, offering to match the monthly rental rate currently offered to AT&T



by CitySwitch, less \$10.00, upon AT&T providing a copy of bona fide documentation of the monthly rental rate offered by CitySwitch. <u>In short, SBA has offered AT&T lease terms at a</u> lower cost than what AT&T could obtain from CitySwitch.

As stated in the Sworn Statement of Spencer Gamrell with AT&T that CitySwitch provided in support of the Application, AT&T will bear a significant capital cost in decommissioning its equipment from SBA's Tower and re-locating to the Proposed Tower, and would prefer not to do so. As SBA has offered to match the monthly rental rate offered by CitySwitch, less \$10.00, AT&T will be better positioned by remaining on SBA's Tower and avoiding the cost of re-locating to the Proposed Tower. AT&T can instead use the relocation costs to benefit the public by upgrading its equipment and installing FirstNet equipment on SBA's Tower.

Moreover, although AT&T provided an RF analysis and RF maps ("AT&T RF Analysis") which appear to depict a slight gap in coverage in the middle of the map and to the East of SBA's Tower, the AT&T RF Analysis fails to consider coverage from all of the existing and available towers located in AT&T's search ring, including the Existing ATC Tower. As demonstrated below, the Existing ATC Tower is located in the exact area that AT&T claims there is a gap in coverage:

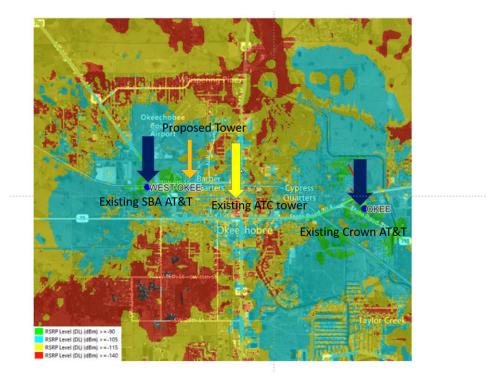


Figure 1 – Predicted coverage map of AT&T's Mobility network with the SBA site (West Okee) and its antennas at 120'

As explained in the Declaration under oath of SBA Vice President, New Business Technology and Operations Sanjay Dhawan, attached as **Exhibit C**, when considering the scope or strength of available coverage in the area, it is necessary to consider coverage from both SBA's Tower and the Existing ATC Tower. In comparing coverage from SBA's Tower and the Existing ATC Tower, it is clear that the Proposed Tower will not appreciably expand



One Independent Drive - Suite 1400 | Jacksonville, FL 32202 | Telephone: (904) 389-0050 | Facsimile: (904) 212-1269 | www.jimersonfirm.com

the scope or strength of available coverage in the area. Rather, the Proposed Tower will provide duplicative or overlapping coverage with SBA's Tower and the Existing ATC Tower, making the Proposed Tower unnecessary.

Instead of constructing another new tower in AT&T's identified search ring, AT&T should instead put its equipment in a location where it expands coverage to the citizens of the City by keeping its equipment on SBA's Tower and putting any new equipment on the Existing ATC Tower. This is exactly what other carriers in the area have done, including T-Mobile and Verizon.

Should the Board approve the Application and allow for construction of the Proposed Tower without a demonstrated need, it will set a dangerous precedent that could result in the proliferation of multiple unnecessary towers throughout the landscape. Clearly, such a situation would be to the detriment of the citizens of the City, and contrary to the intent and plain language of the City's LDR. Accordingly, because CitySwitch fails to demonstrate a need for the Proposed Tower, the Application should be denied.

<u>The Proposed Tower Will Have an Adverse Effect on The Interests of the Citizens of The</u> <u>City by Allowing the Proliferation of an Unnecessary New Tower and By Decreasing</u> <u>Available Cell Coverage To The Citizens Located To The West of SBA's Tower</u>

Further, in granting a special exception use, the Board is required to find that the proposed special exception use "will not have an adverse effect on the public interest." LDR Section 70-373(c)(3). As stated in the Application, the Proposed Tower is being sought for AT&T to relocate its equipment from SBA's Tower to the Proposed Tower to receive a lower lease rate.

However, if the Board approves the Application and allows an entirely new communications tower to be constructed less than a mile from SBA's Tower without any additional cell coverage or benefit, it will have an adverse effect on the interests of the citizens of the City by allowing the proliferation of an unnecessary new tower. Further, if AT&T removes its equipment from SBA's Tower, it will result in a loss of some of the available cell coverage to the citizens located to the West of SBA's Tower.

As explained in the Mr. Dhawan's Declaration (Exhibit C), the Proposed Tower will shift the available coverage in the area 0.7 miles to the East, causing at best a marginal improvement of coverage 0.7 miles to the East. However, this relocation would also eliminate some of the available coverage to the citizens located to the West of SBA's Tower. Rather than building an entirely new tower that would at best only marginally improve coverage to slightly to the East of SBA's Tower, while also reducing some of the available coverage to the West of SBA's Tower, AT&T could remain on SBA's Tower and also collocate onto the Existing ATC Tower, which would maximize coverage to all citizens in the area. In fact, carriers in the area including Verizon and T-Mobile are collocated on both SBA's Tower and the Existing ATC Tower to achieve maximum cell coverage to its customers in the area.

Should the Board approve the Application and allow for construction of the Proposed Tower, it will be at the expense of the citizens located to the West of SBA's Tower, who will experience a decrease in the available cell coverage, as well as all of the citizens in the City, who



will experience the proliferation of an unnecessary and unsightly new tower. Clearly, such a situation would be to the detriment of the citizens of the City, and contrary to the intent and plain language of the City's LDR. Accordingly, because the Proposed Tower will have an adverse effect on the interests of the citizens of the City, the Application should be denied.

Conclusion

In sum, the Application should be denied because (1) CitySwitch failed to demonstrate a need or demand for the Proposed Tower, as required by LDR Section 90-602(2)(b), and (2) the Proposed Tower will have an adverse effect on the interests of the citizens of the City, contrary to LDR Section 70-373(c)(3). Accordingly, SBA respectfully requires for the Board to deny the Application.

Sincerely. Ryan Maloney

CRM/mgm Enclosures: (Exhibits A-C)

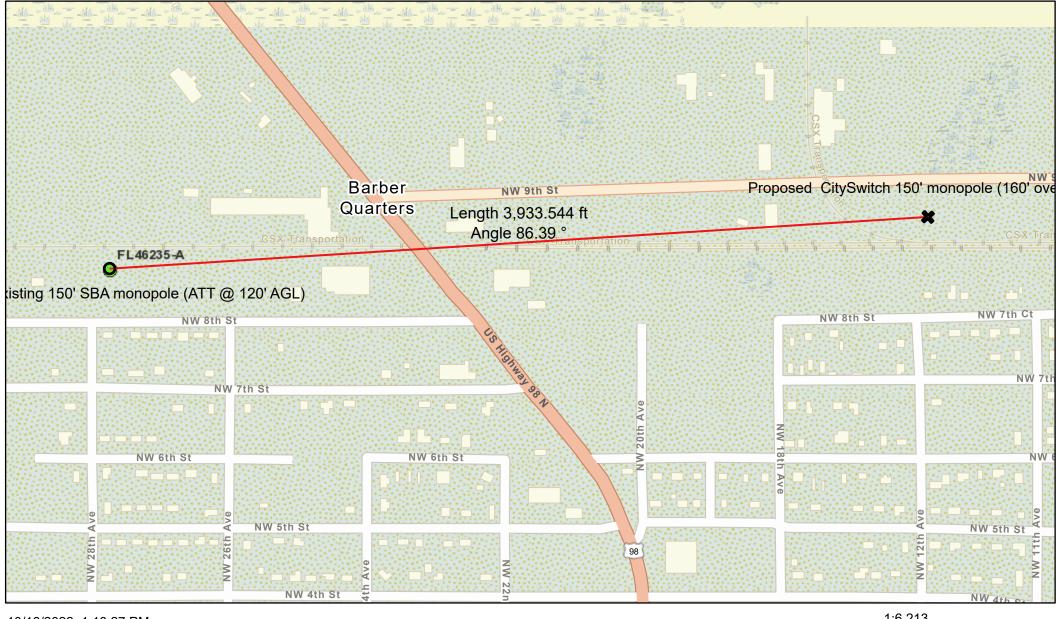
cc: Client (via email w/enclosures) File

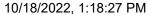


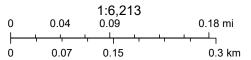
Exhibit

"A"

SBA FL46235-A Okeechobee Distance Map







Esri Community Maps Contributors, University of South Florida, FDEP, © OpenStreetMap, Microsoft, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA

Exhibit

"B"



T + 561.995.7670 F + 561.995.7626

sbasite.com

City of Okeechobee Board of Adjustment

RE: <u>Application No. 22-003-SE</u>

DECLARATION OF BROOKE IRBY

STATE OF GEORGIA COUNTY OF FULTON

I, Brooke Irby, hereby certify and state as follows:

1. I am the Site Marketing Manager for SBA 2012 TC Assets, LLC, a subsidiary of

SBA Communications Corporation ("SBA").

2. I make this Declaration with the understanding that it is to be used in opposition to the Application for Special Exception, Application No. 22-003-SE, submitted by Ignite Wireless/Kyle Lotze, as authorized agent for CitySwitch II-A, LLC ("**CitySwitch**"). All statements contained in this Declaration are based upon my personal knowledge or my personal knowledge of the business records of SBA. I am over the age of eighteen and I am fully competent to testify to the facts recited herein.¹

3. It is my job to interact with carriers, such as AT&T, who have located, or are interested in locating, onto an SBA telecommunications tower in Florida.

¹ In my capacity working for SBA, I am one of the primary custodians of the organizational documents, files, applications, letters, correspondence, reports, and other paperwork transmitted or received in connection with the dealings with AT&T Wireless ("AT&T") in Florida (the "Records"). SBA's files contain documents which were made and/or kept as part of the Records, contemporaneously at or near the time of the events so memorialized herein, by or from information transmitted by SBA's employees and personnel who had knowledge of the facts set forth in such documents. The Records are kept in the course of a regularly conducted business activity and for each such document contained in the Records, it was the regular practice of business activity to make or retain such document. To the extent that I refer to any such document other than those made or received by me personally, such document is one of SBA's Records.

4. I maintain an open line of communication with the carriers, such as AT&T, to discuss tenant issues, including but not limited to, collocation, new equipment, centerline placement of equipment onto SBA communication towers, and other related matters. This would include the communications tower SBA has owned, operated, and maintained since October 1, 2012, in Okeechobee County, FL on property located at 3079 NW 8th Street, Okeechobee, Florida 34972 ("SBA's Tower").

5. I understand CitySwitch is seeking approval for the construction of a new 150-foot telecommunications tower, with an additional 10-foot lightning rod (total above ground level ("AGL") height of 160-feet) ("**Proposed Tower**") on CSX Transportation Inc.'s ("**CSX**") property located at 1117 NW 9th Street, Okeechobee, FL 34972.

6. I was surprised by CitySwitch's Application for Special Exception that identified AT&T as the primary intended tenant on the Proposed Tower, as I regularly communicate with AT&T.

7. AT&T currently leases space and maintains its communications equipment on SBA's Tower. AT&T has collocated on SBA's Tower since 2008, prior to SBA's ownership.

8. In exchange for collocating on SBA's Tower, AT&T agreed to make rent payments to SBA, in accordance with the Site Lease Agreement dated September 23, 2008, originally established between Nextel South Corp and AT&T. SBA has always billed AT&T in accordance with the agreed upon Site Lease Agreement.

9. Since AT&T has collocated on SBA's Tower, the Site Lease Agreement has been amended 6 times. The most recent amendment to the Site Lease Agreement is dated August 30, 2021, for AT&T to make changes to its equipment mounted on SBA's Tower.

10. When AT&T executed the Site Lease Agreement on August 30, 2021, AT&T did not mention any issues or concerns with the Site Lease Agreement with SBA or raise any concerns about the amount of the rent due to SBA for collocating on SBA's Tower.

11. In my prior communications with AT&T, it has not mentioned concerns or issues with SBA's Tower, inquired whether SBA's Tower could accommodate FirstNet equipment, nor has AT&T raised any other concerns to SBA about its occupancy on SBA's Tower. Notably, AT&T has never contacted me about reducing the overall monthly rent rate on SBA's Tower, nor attempted to re-negotiate the terms of the Site Lease Agreement relating to the monthly rent rate.

12. AT&T is currently a tenant on over 6,690 SBA telecommunications towers nationwide. Given our relationship with AT&T, SBA would certainly appreciate the opportunity to work with AT&T to stay collocated on SBA's Tower, which prevents the unnecessary and needless proliferation of telecommunication towers in the City of Okeechobee, Florida.

13. Notably, on December 14, 2022, in an effort to accommodate AT&T's newly expressed desire to re-negotiate the terms of the Site Lease Agreement for AT&T to continue collocating on SBA's Tower, I sent an email to AT&T offering to match the monthly rent rate currently offered to AT&T by CitySwitch on the Proposed Tower, less \$10.00 ("SBA's Rent Match Email"). A copy of SBA's Rent Match Email that was sent to AT&T on December 14, 2022, is attached as **Exhibit 1**.

14. As stated in SBA's Rent Match Email, SBA is willing to match the monthly rental rate currently offered to AT&T by CitySwitch on the Proposed Tower, less \$10.00, upon AT&T providing a copy of bona fide documentation of the monthly rental rate offered by CitySwitch on the Proposed Tower.

15. Further, having reviewed SBA's corporate records, I can confirm SBA most certainly can accommodate additional equipment for AT&T, including FirstNet equipment, and can accommodate CSX's equipment, on SBA's Tower.

16. Should AT&T's needs require modifications to SBA's Tower, SBA is willing to discuss AT&T's needs with them further. Such modifications as may be needed to accommodate AT&T at a higher height or for more/larger equipment are common practice in the telecommunications industry.

17. In sum, there is ample structural capacity for SBA's Tower to handle more equipment, including CSX's equipment and AT&T's FirstNet equipment, as SBA constructed SBA's Tower to house multiple tenants.

[Signature follows on next page]

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING STATEMENTS, AND THAT THE FACTS STATED THEREIN ARE TRUE AND CORRECT.

Date: <u>12/13/2022</u>

Broke by BROOKE IRBY

Exhibit 1

From: Brooke Irby
Sent: Wednesday, December 14, 2022 11:57 AM
To: John Heggy (jh7803@att.com) < jh7803@att.com>
Subject: SBA site FL14326-A Okeechobee Park in the City of Okeechobee, FL / AT&T Cell Site ID: 10126641 West Okee
(FL)
Importance: High

Re: SBA collocation lease offer to AT&T at SBA Site#: FL14326-A Okeechobee Park in the City of Okeechobee, FL Site Address: 30709 NW 8th Street, Okeechobee, FL AT&T Cell Site ID: 10126641 Cell Site Name: West Okee (FL)

Good Morning John,

I hope this email finds you well and please consider this email as SBA's offer to renegotiate the lease terms at the referenced SBA Site in the City of Okeechobee, FL.

I did not know that AT&T had any interest in renegotiating the current lease or moving away from SBA's tower until SBA discovered CitySwitch's and AT&T's application to construct a new wireless communications facility (.7 miles from the SBA tower) after it already had been filed. It surprises SBA that AT&T did not reach out to SBA or contact me to attempt to renegotiate the lease at issue before moving forward with relocation efforts especially since AT&T just amended this lease in 2021. SBA comes in good faith, seeking to negotiate a lease for AT&T's continued collocation at this site.

Please accept this email as SBA's offer to match the corresponding monthly rental rate currently offered to AT&T by CitySwitch on the above referenced tower lease for the above referenced site, less \$10.00. SBA will require AT&T first to provide a copy of bona fide documentation proving the rate offered by CitySwitch to AT&T. In order to expedite this process, please send the requested documentation to me via e-mail at <u>birby@sbasite.com</u>.

SBA is hopeful we can reach a solution that is best for the City of Okeechobee community while helping AT&T be successful.

Thanks in advance, Brooke

Brooke Irby Site Marketing Manager



SBA Communications Corporation 11415 Old Roswell Road Suite 300 Alpharetta, GA 30009

678.386.5587 + **T** Blrby@sbasite.com

Your Signal Starts Here.

Exhibit

"C"



T + 561.995.7670 F + 561.995.7626

sbasite.com

City of Okeechobee Board of Adjustment

RE: <u>Application No. 22-003-SE</u>

DECLARATION OF SANJAY DHAWAN

STATE OF FLORIDA COUNTY OF PALM BEACH

I, Sanjay Dhawan, hereby certify and state as follows:

1. I am employed as the Vice President, New Business Technology and Operations for SBA Communications Corporation. I am providing this Declaration on behalf of SBA Towers IX, LLC, a subsidiary of SBA Communications Corporation ("SBA").

2. I have thirty (30) years of wireless experience working in designing, deploying, and optimization of networks with wireless carriers. During my tenure in the wireless industry, I have worked with wireless carriers on multiple generations of deployment from 2G to 5G. Additionally, I manage a team of Radio Frequency ("RF") Engineers, who focus on wireless design and engineering, in and among other things.

3. I make this Declaration with the understanding that it is to be used in opposition to the Application for Special Exception, Application No. 22-003-SE ("**Application**"), submitted by Ignite Wireless/Kyle Lotze, as authorized agent for CitySwitch II-A, LLC ("**CitySwitch**"). All statements contained in this Declaration are based upon my personal knowledge or my personal

knowledge of the business records of SBA. I am over the age of eighteen (18) and I am fully competent to testify to the facts recited herein.¹

4. SBA has owned, operated, and maintained a 150-foot communications tower situated on property located at 23079 NW 8th Street, Okeechobee, Florida 34972 ("SBA's Tower").

5. I understand the Application is seeking to construct a new 150-foot communications tower, with an additional 10-foot lightning rod (total above ground level ("AGL)" height of 160-feet, to be situated on property located at 1117 NW 9th Street, Okeechobee, Florida 34972 ("**Proposed CitySwitch Tower**"), which is only 0.747 miles from SBA's Tower.

6. The SBA Records include an RF Coverage Plot Analysis and the RF Coverage Plots, which compare the available coverage at varying frequencies on SBA's Tower at 120-feet and 155-feet, and the Proposed CitySwitch Tower at 145-feet (collectively, the "SBA RF Analysis"). The SBA RF Analysis is attached to this Affidavit as **Exhibit 1**.

7. I have reviewed the SBA RF Analysis, and based upon my education, training, and experience, I can confirm that the SBA RF Analysis is an accurate depiction and comparison of the RF coverage between SBA's Tower and the Proposed CitySwitch Tower at varying frequencies.

¹ In my capacity working for SBA, I am one of the primary custodians of the organizational documents, files, applications, letters, correspondence, reports, and other paperwork transmitted or received in connection with communication towers located in Florida (the "SBA Records"). SBA's files contain documents which were made and/or kept as part of the SBA Records, contemporaneously at or near the time of the events so memorialized herein, by or from information transmitted by SBA's employees and personnel who had knowledge of the facts set forth in such documents. The SBA Records are kept in the course of regularly conducted business activity and for each such documents. To the extent that I refer to any such document other than those made or received by me personally, such document is one of the SBA Records.

8. Based upon my education, training, and experience, I agree with and adopt the findings in the SBA RF Analysis that the Proposed CitySwitch Tower would not appreciably expand the scope or strength of available coverage in the area, but would instead provide duplicative or overlapping coverage with the that provided by SBA's Tower. Further, the installation of additional antennas on the Proposed CitySwitch Tower would be considered an "overbuild" or impractical given the coverage overlap with SBA's Tower.

9. I have also reviewed the RF analysis by AT&T entitled, "RF Justification for HRR Site FA 15611191, West Okee Relo" (the "AT&T RF Analysis"), which was included with the Application. A copy of the AT&T RF Analysis is attached to this Affidavit as **Exhibit 2**.

10. The AT&T RF Analysis only considers coverage from SBA's Tower which is 0.747 miles to the West of the Proposed CitySwitch Tower and another tower which is 3.107 miles to the East of the Proposed CitySwitch Tower (the "**OKEE Tower**"), on which AT&T also currently has active antennas.

11. However, the AT&T RF Analysis does not consider coverage from another existing tower owned by American Tower Corporation which is 0.866 miles to the East of the Proposed CitySwitch Tower and available for collocation (the "**Existing ATC Tower**"). A map identifying the locations of SBA's Tower, the Proposed CitySwitch Tower and the Existing ATC Tower is attached as **Exhibit 3**, and the specific addresses of each Tower are set out below:

- <u>SBA's Tower (existing AT&T colocation)</u> Address: 3079 NW 8th Street, Okeechobee, FL 34972 Coordinates: Latitude 27.2514; Longitude -80.85687
- <u>Proposed CitySwitch Tower</u> Address: 1117 NW 9th Street, Okeechobee, FL Coordinates: Latitude 27.25214; Longitude -80.84480
- <u>Existing ATC Tower (colocation candidate)</u> Address: 119 NW 8th Street, Okeechobee, FL

Coordinates: Latitude 27.250869; Longitude -80.830700

12. SBA's Tower and the Existing ATC Tower are both located within the search ring identified by AT&T in the AT&T RF Analysis.

13. When considering the scope or strength of available coverage in the area, it is necessary to consider coverage from the towers that are located within AT&T's search ring and are available for collocation, including SBA's Tower and the Existing ATC Tower. In comparing coverage from SBA's Tower and the Existing ATC Tower to the Proposed CitySwitch Tower, it is clear that from the SBA RF Analysis, that the Proposed CitySwitch Tower would not appreciably expand the scope or strength of available coverage in the area, but would instead provide duplicative or overlapping coverage with SBA's Tower and the Existing ATC Tower.

14. Further, if AT&T re-located from SBA's Tower to the Proposed CitySwitch Tower, it would shift the available coverage in the area 0.7 miles to the East, causing at best a marginal improvement in coverage 0.7 miles to the East. However, this relocation would also eliminate some of the available coverage to the citizens located to the West of SBA's Tower.

15. Rather than building an entirely new tower that would at best only marginally improve coverage to slightly to the East of SBA's Tower, while hurting coverage at the expense of the citizens located to the West of SBA's Tower, AT&T could remain on SBA's Tower and also collocate onto the Existing ATC Tower, which would maximize coverage to all citizens in the area.

16. In fact, the other carriers on SBA's Tower (Verizon and T-Mobile) are already collocated on both SBA's Tower and the Existing ATC Tower to achieve maximum coverage to all citizens in the area.

17. Instead of constructing another new tower in AT&T's identified search ring, AT&T should instead put its equipment in a location where it expands coverage to the citizens of the City of Okeechobee by keeping its equipment on SBA's Tower and putting any new equipment on the Existing ATC Tower.

[Signature follows on next page]

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING STATEMENTS, AND THAT THE FACTS STATED THEREIN ARE TRUE AND CORRECT.

12/14/2022 Date:___

SANJAY DHAWAN

Exhibit 1

TO: SBA

Subject: RF Coverage Plot Analysis: City of Okeechobee, FL

Date: October 18, 2022

1. METHODOLOGY. The attached plots depict broadcast radio frequency (RF) coverage from the existing site to City of Okeechobee, FL and a proposed site approximately 0.7452 miles to the East. At each location, cellular industry typical LTE operating parameters were considered for omnidirectional antennas mounted at 120 and 155 feet above ground level at the existing site, and at 145 feet above ground level for the proposed site. Ground elevations are 33 and 29 feet above mean sea level, respectively.

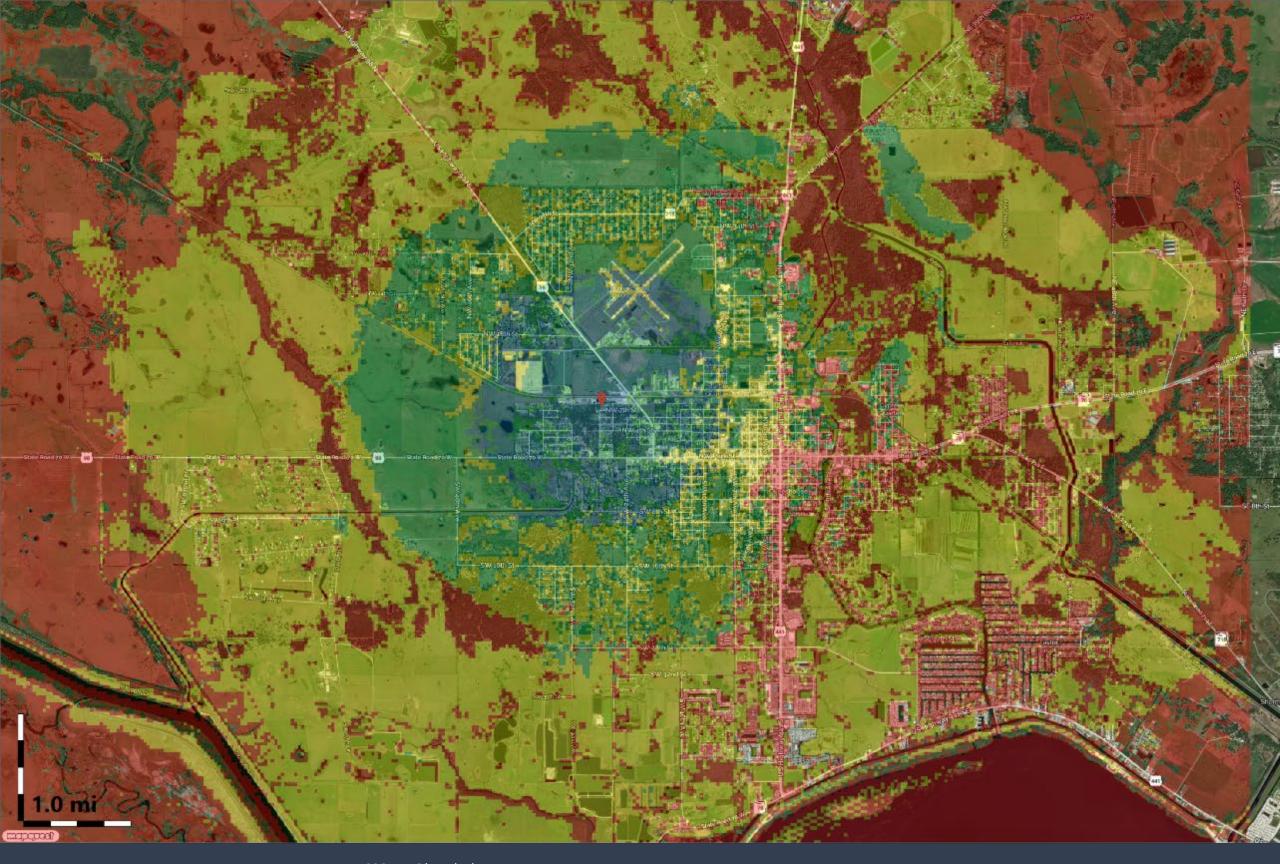
Plots for both locations were generated for 700, 850, 1900 and 2100 MHz operations. The signal levels depicted are associated with LTE service reliability where the strong coverage levels in green and blue occur near the towers and decrease with distance from the sites and intervening terrain obstructions. Signal levels greater than -70 dBm shown as blue are associated with feasible coverage within buildings. Marginal coverage is provided in the regions depicted in yellow between -90 dBm and -80 dBm and signal levels between -100 dBm and -90 dBm shown as red represent poor coverage associated with call failures.

A comparison of coverage performance for each site is based on low band (700 and 850 MHz) and high band (1900 and 2100 MHz) prediction results. Radiowave propagation conditions between these bands differ because of terrain and ground clutter (e.g. vegetation) effects at different frequencies. Generally, low band operations provide greater area coverage. Therefore, high band operations provide additional customer traffic capacity closer to the cellular site.

2. COMPARISON. The sites considered in these coverage plots provide service to the depicted locations and roads leading to City of Okeechobee, FL. For low band operations, the existing site provides strong coverage approximately 1.3 miles in all directions and to non-contiguous areas to 1.7 miles from the site. This includes 1.6 miles of US Hwy 98. The proposed site provides strong coverage approximately 1.3 miles in all directions areas to 1.7 miles from the site. This includes and to non-contiguous areas to 1.7 miles from the site. This includes 1.6 miles of US Hwy 98.

For high band operations, both sites provide strong coverage to non-contiguous areas 0.7 miles in all directions.

3. CONCLUSION. Based on the coverage comparison presented above, the proposed site provides comparable coverage to City of Okeechobee, FL due to its close proximity to the existing site. For wireless operators with antennas mounted on the existing site, the installation of additional antennas on the proposed site would be considered to be an "overbuild" or impractical given the coverage overlap.



Existing Site 700 MHz Coverage FL46235-A Okeechobee Site Name Park Latitude: N27.2514

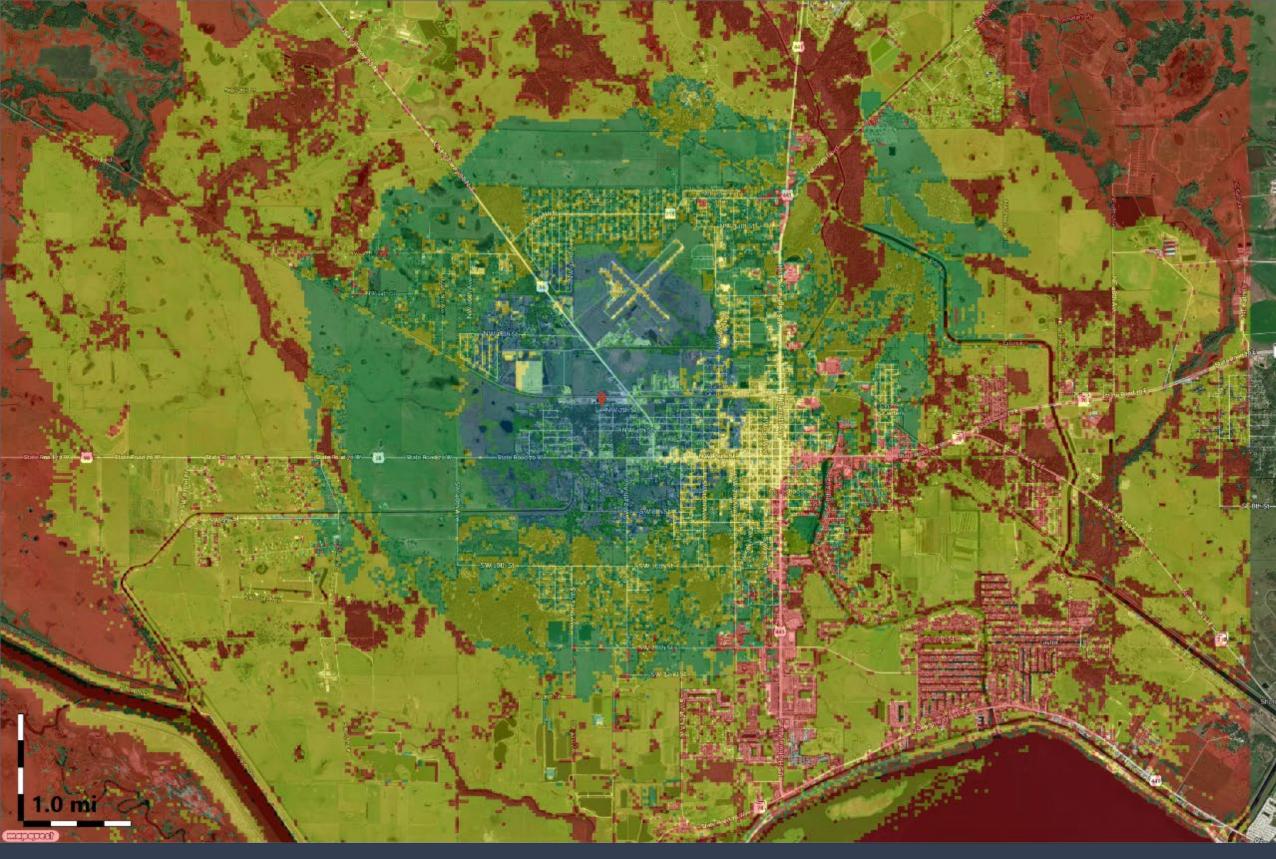
W80.8569

Longitude:

Antenna: Alpha Rad Center (ft): Azimuth (Deg): ERP per RS (W):

15.15 dBi Omni 120 0 2.0

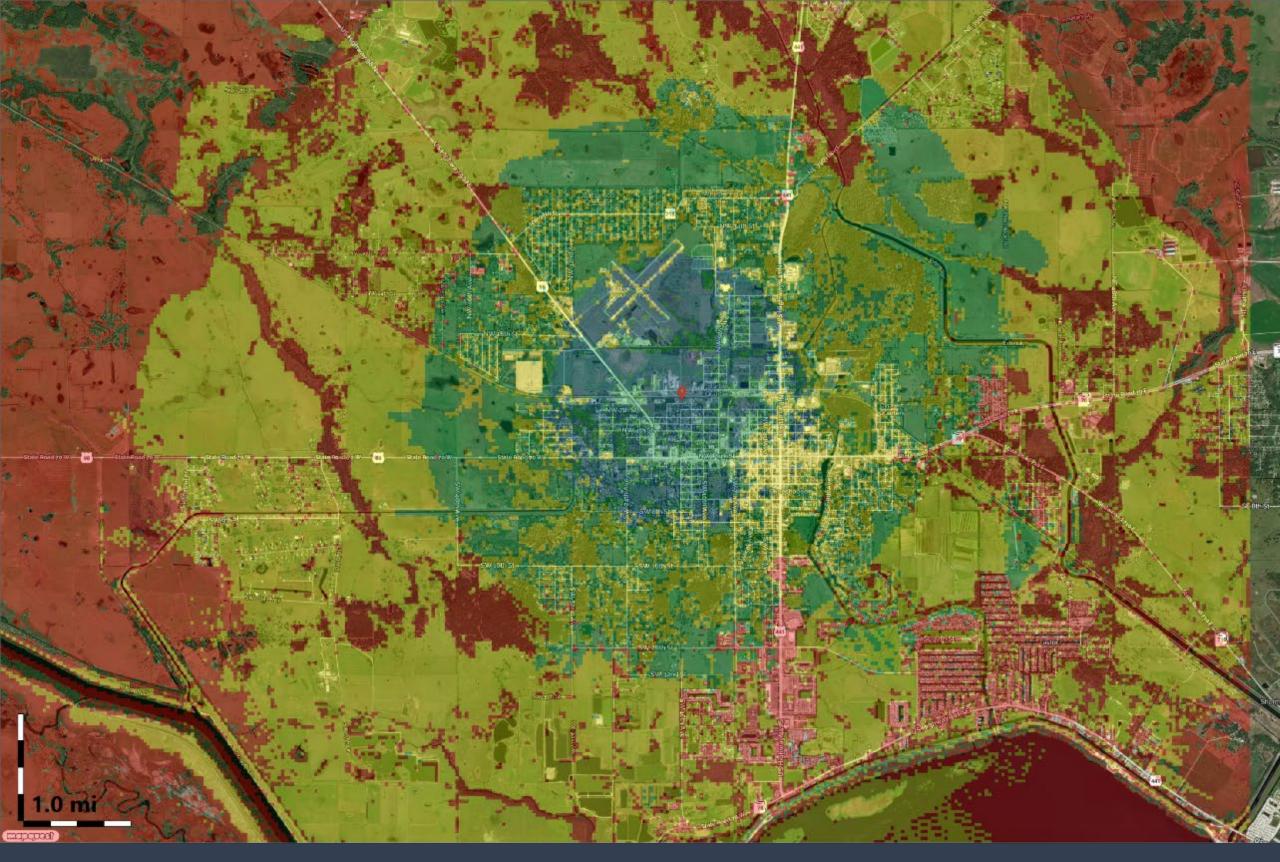




Existing Site 700 MHz Coverage FL46235-A Okeechobee Site Name Park Latitude: N27.2514 Longitude: W80.8569

Antenna:15.15 dBi OmniAlpha Rad Center (ft):155Azimuth (Deg):0ERP per RS (W):2.0



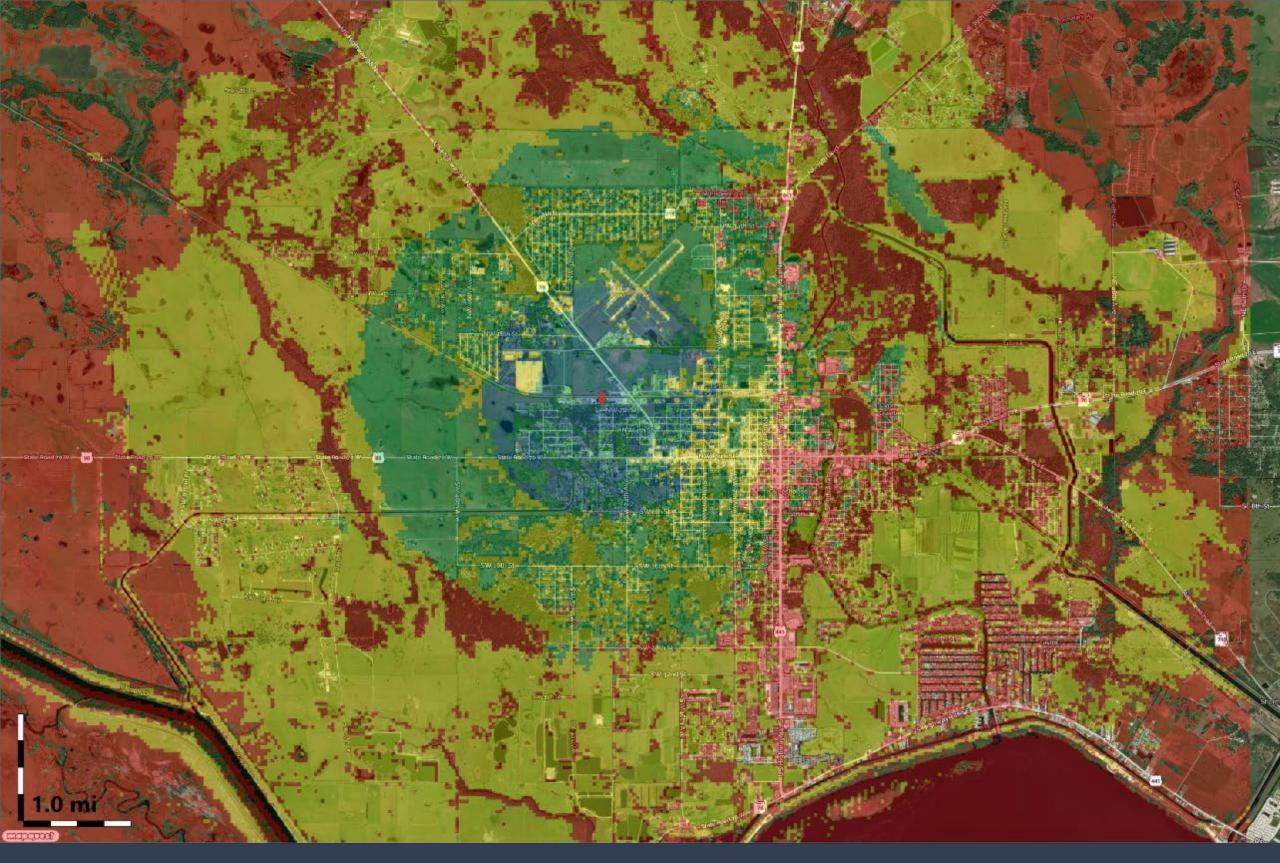


Proposed Site 700 MHz Coverage Site NameProposedLatitude:N27.25214Longitude:W80.844796

d 4 96 Antenna: 1 Alpha Rad Center (ft): Azimuth (Deg): ERP per RS (W):

15.15 dBi Omni 145 0 2.0





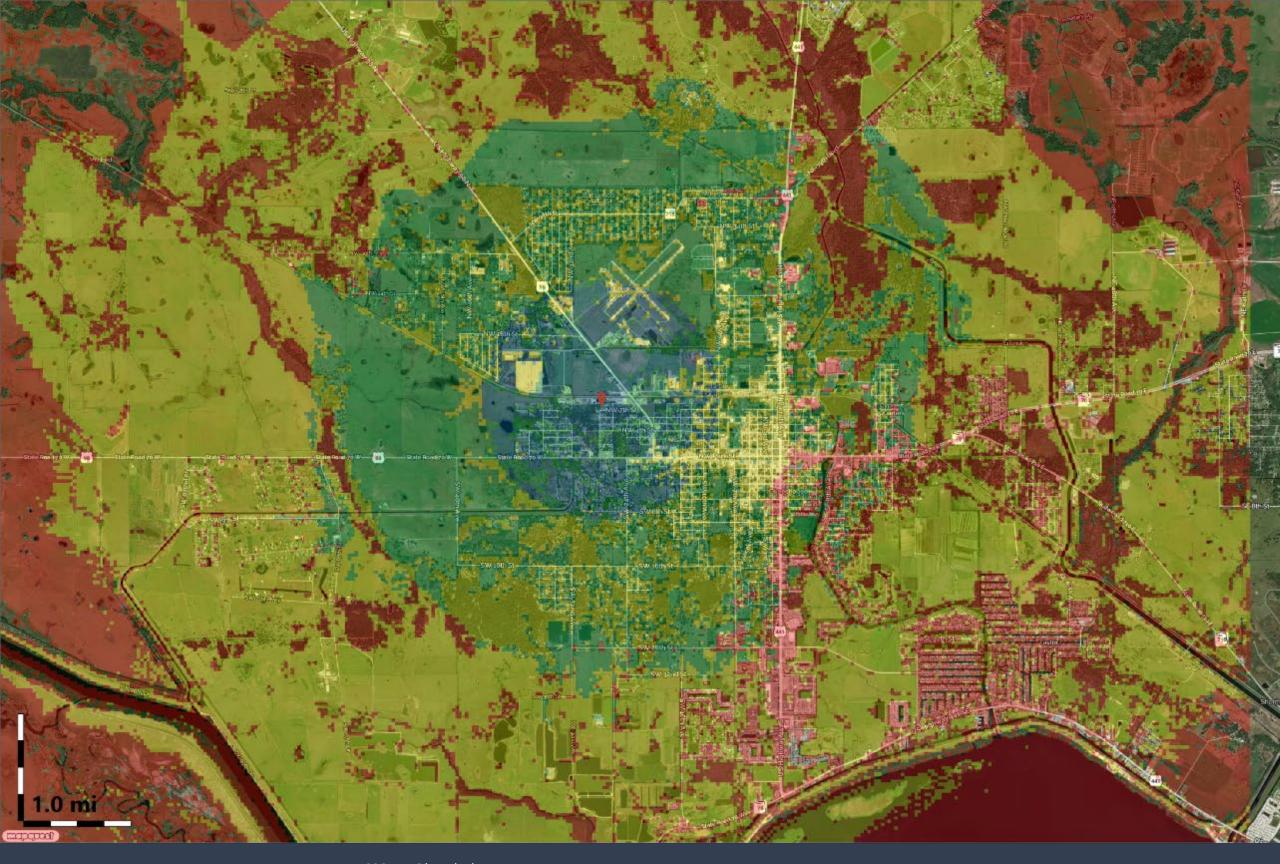
Existing Site 850 MHz Coverage FL46235-A Okeechobee Site Name Park Latitude: N27.2514

Longitude:

Park N27.2514 W80.8569

Antenna:15.15 dBi OmniAlpha Rad Center (ft):120Azimuth (Deg):0ERP per RS (W):2.0





Existing Site 850 MHz Coverage FL46235-A Okeechobee Park N27.2514

W80.8569

Site Name

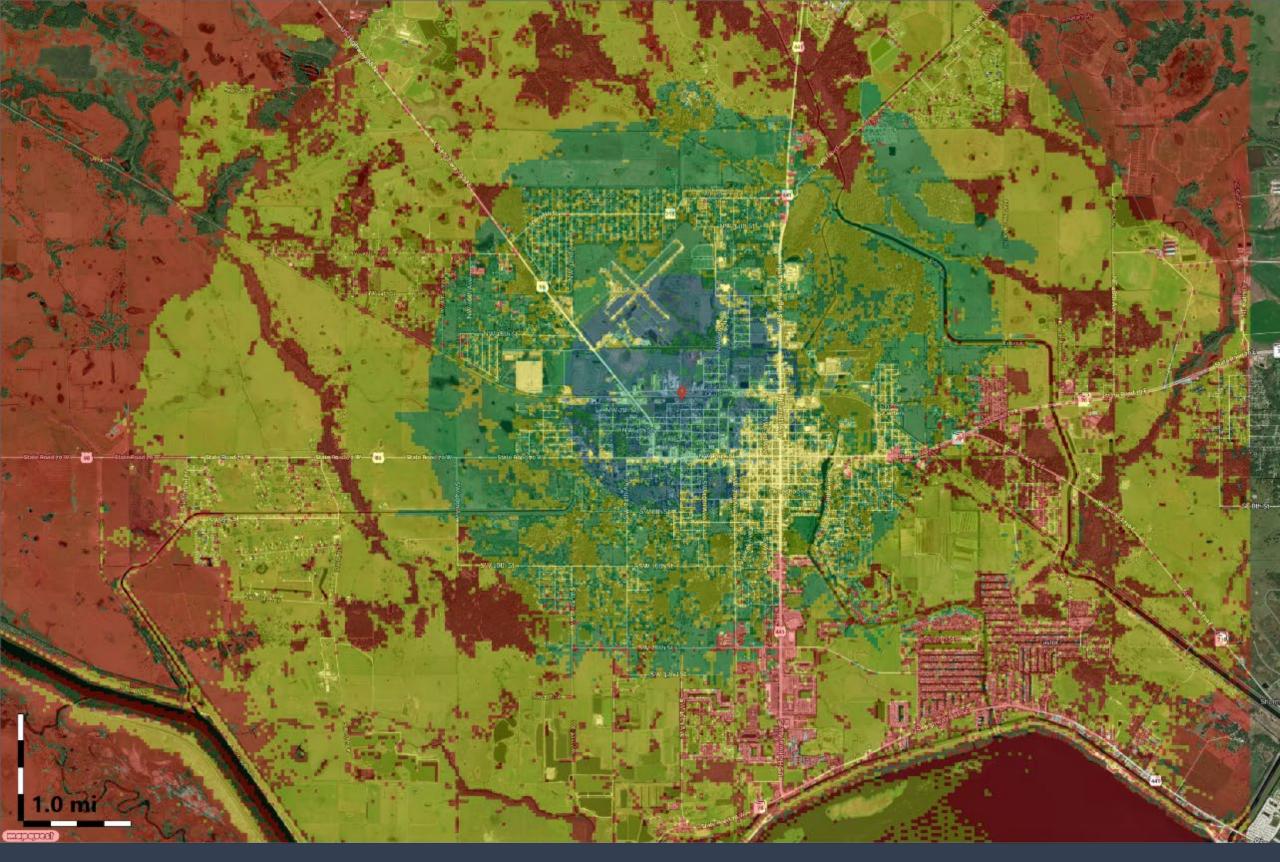
Latitude:

Longitude:

15.15 dBi Omni Antenna: Alpha Rad Center (ft): Azimuth (Deg): ERP per RS (W):

155 2.0



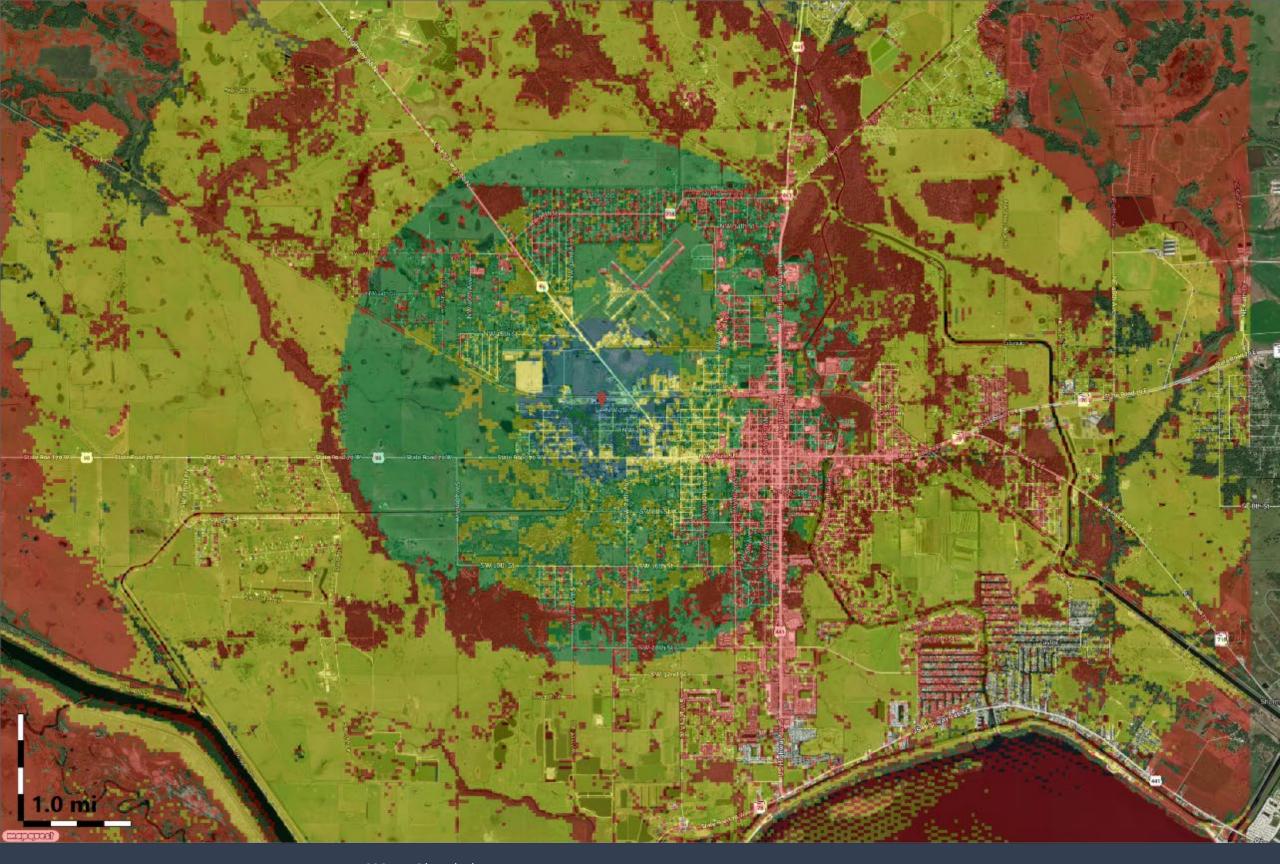


Proposed Site 850 MHz Coverage Site NameProposedLatitude:N27.25214Longitude:W80.844796

ed 14 796 Antenna: 1 Alpha Rad Center (ft): Azimuth (Deg): ERP per RS (W):

15.15 dBi Omni 145 0 2.0





Existing Site 1900 MHz Coverage FL46235-A Okeechobee

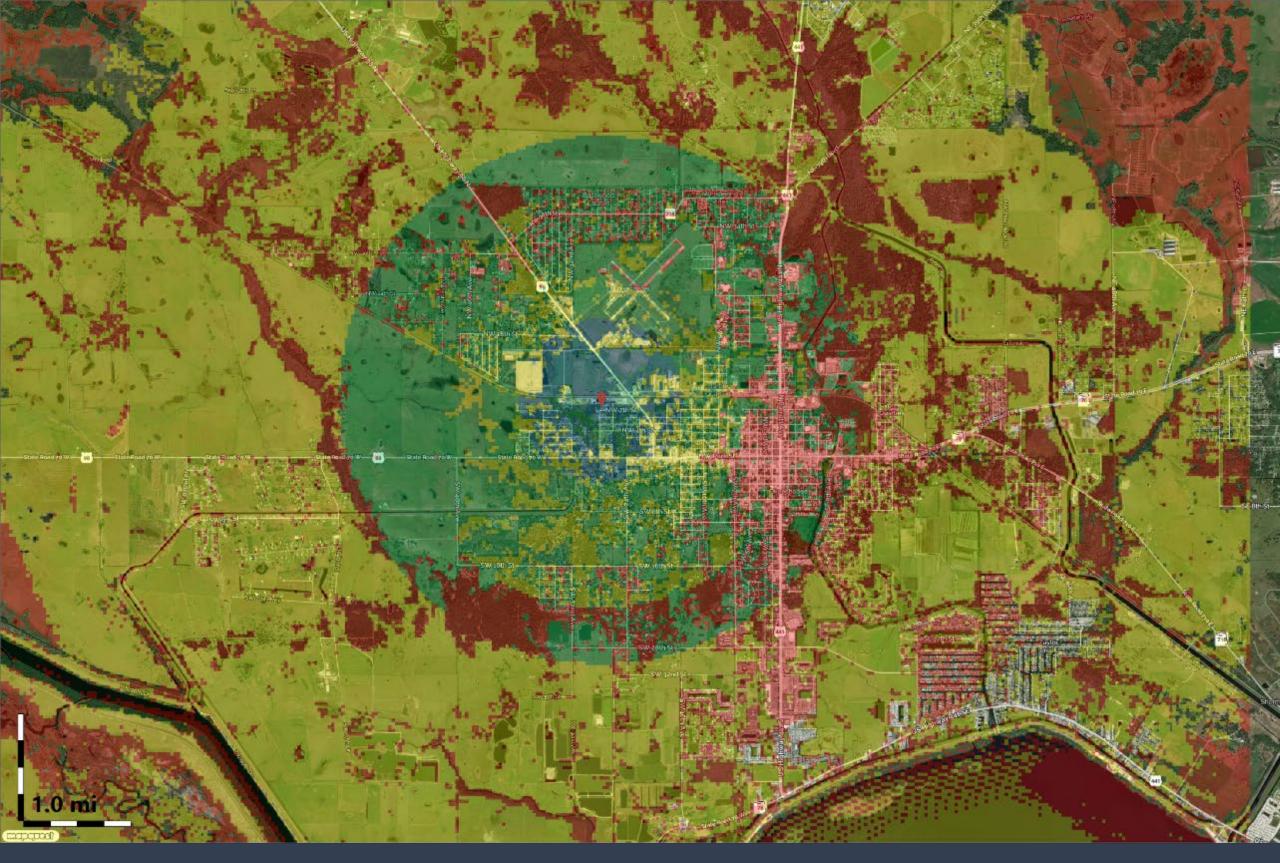
Site Name

Latitude:

Longitude:

Park N27.2514 W80.8569 Antenna: 17.15 dBi Omni Alpha Rad Center (ft): 120 Azimuth (Deg): 0 ERP per RS (W): 4.7





Existing Site 1900 MHz Coverage FL46235-A Okeechobee

Park N27.2514 W80.8569

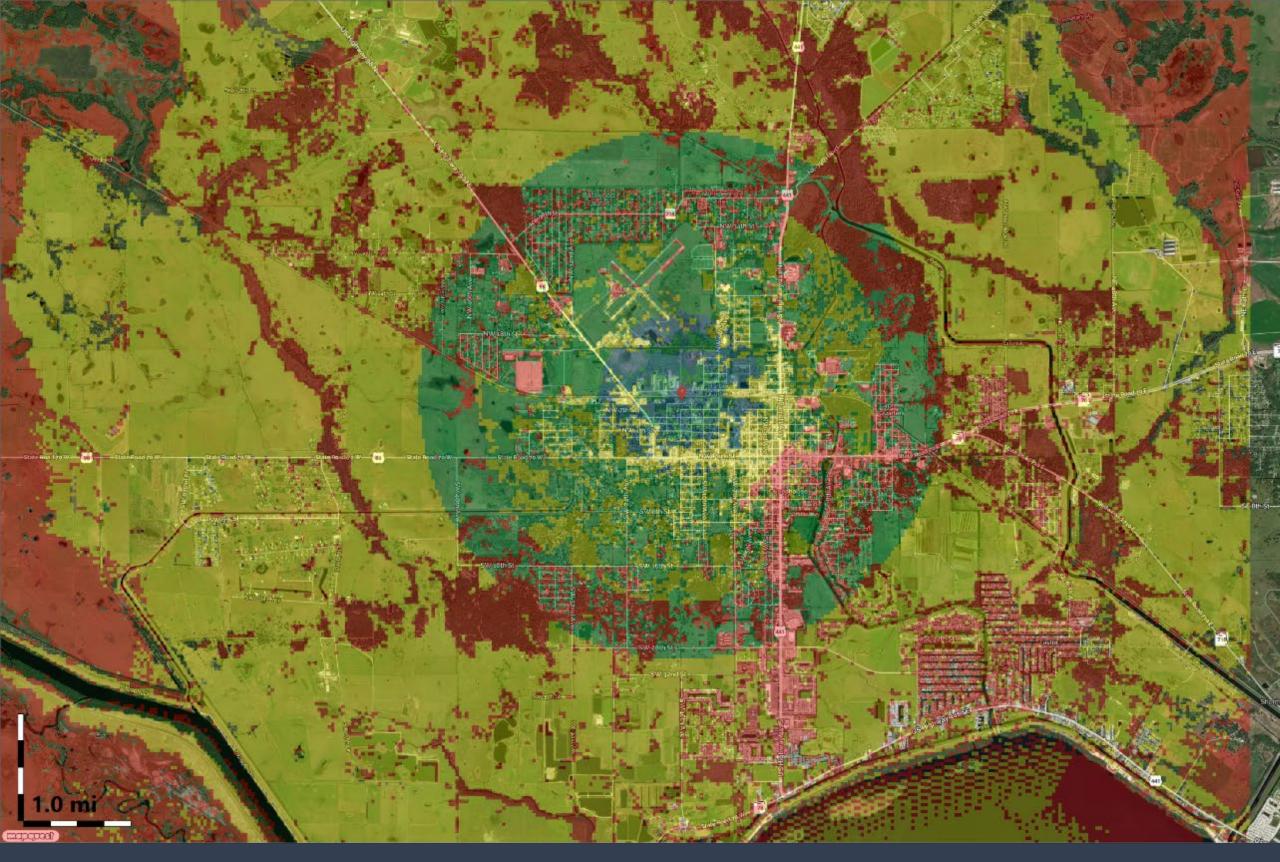
Site Name

Latitude:

Longitude:

Antenna:17.15 dBi OmniAlpha Rad Center (ft):155Azimuth (Deg):0ERP per RS (W):4.7

RSRP: < -100 dBm >= -100 dBm >= -90 dBm >=-80 dBm >=-70 dBm

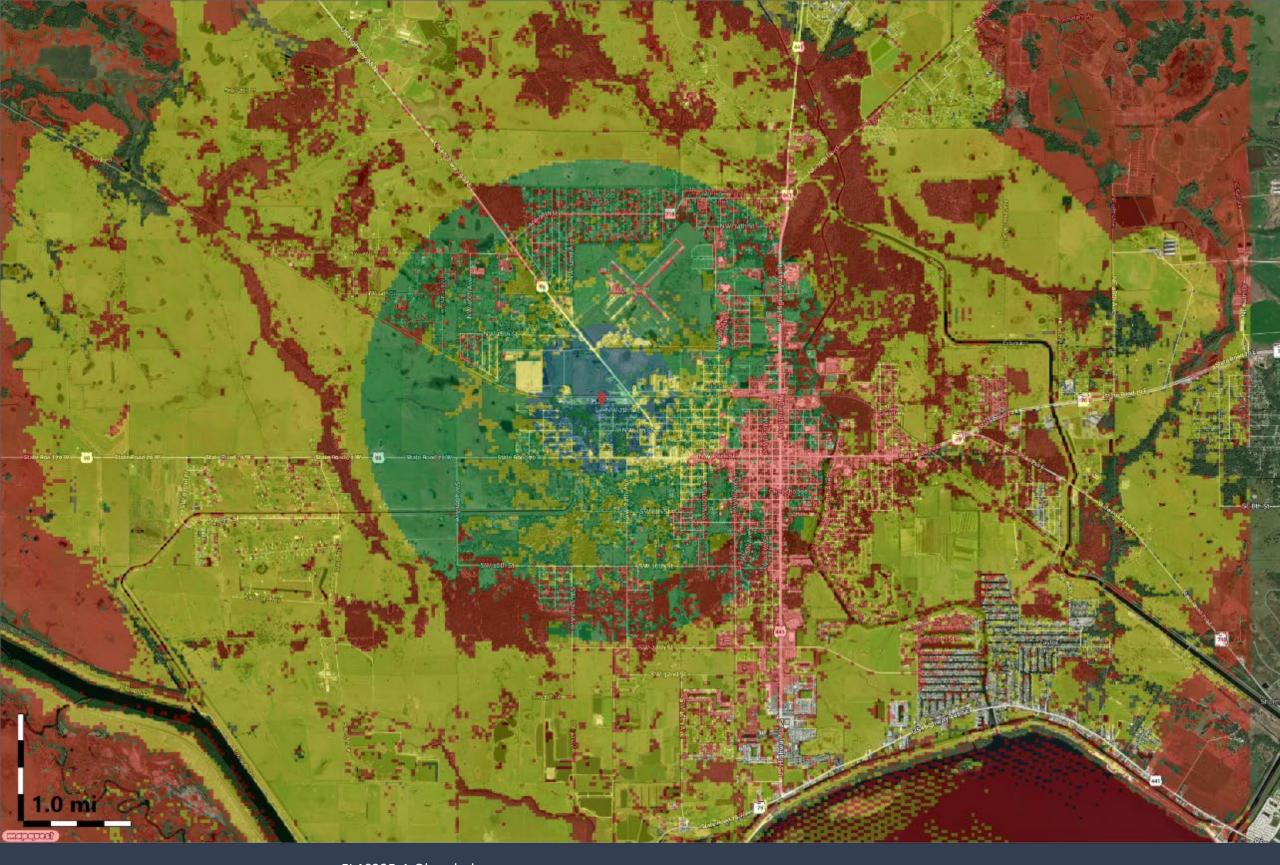


Proposed Site 1900 MHz Coverage Site NameProposedLatitude:N27.25214Longitude:W80.844796

d L4 '96 Antenna: Alpha Rad Center (ft): Azimuth (Deg): ERP per RS (W):

17.15 dBi Omni 145 0 4.7





Existing Site 2100 MHz Coverage FL46235-A Okeechobee Park

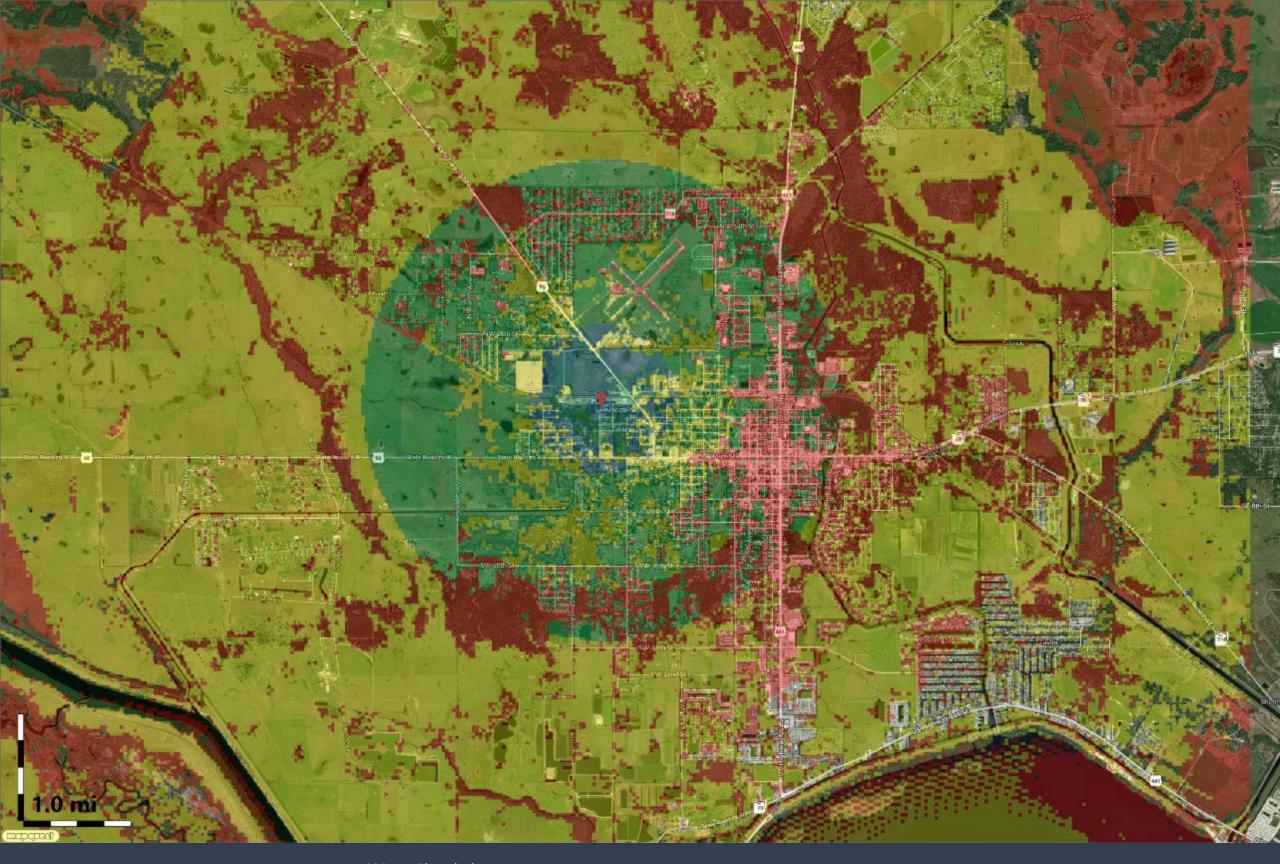
Site Name

Latitude:

Longitude:

Park N27.2514 W80.8569 Antenna:17.15 dBi OmniAlpha Rad Center (ft):120Azimuth (Deg):0ERP per RS (W):4.7

RSRP: < -100 dBm >= -100 dBm >= -90 dBm >=-80 dBm >=-70 dBm



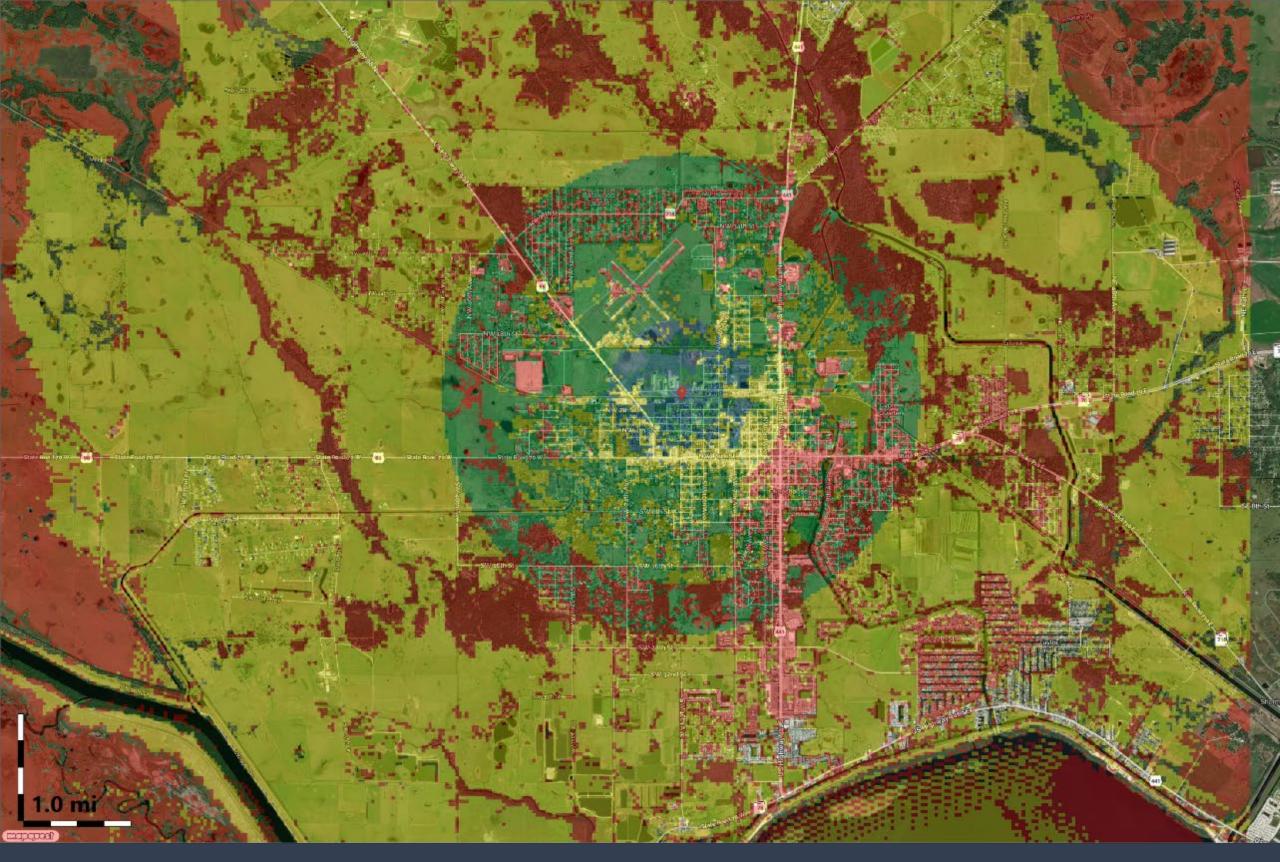
Existing Site 2100 MHz Coverage FL46235-A Okeechobee Park

Site Name

Latitude:

Longitude:

Park N27.2514 W80.8569 Antenna: 17.15 dBi Omni Alpha Rad Center (ft): 155 Azimuth (Deg): 0 ERP per RS (W): 4.7 RSRP: < -100 dBm >= -100 dBm >= -90 dBm >=-80 dBm >=-70 dBm



Proposed Site 2100 MHz Coverage Site NameProposedLatitude:N27.25214Longitude:W80.844796

5

Antenna: 1 Alpha Rad Center (ft): Azimuth (Deg): ERP per RS (W):

17.15 dBi Omni 145 0 4.7



Exhibit



May 24, 2022

Re: RF Justification for HRR Site FA 15611191, West Okee Relo

AT&T's RF department has been asked to provide RF coverage maps for proposed site West Okee Relo, the subject of this application. AT&T intends to remove its equipment from the SBA tower (West Okee) located at 2773 NW 8th Street in Okeechobee and install it on the proposed tower to be located at 1678 NW 9th Avenue in Okeechobee.

Figure 1 below shows a predicted cellular coverage map for the AT&T network with the SBA site as the network exists today and Figure 2 shows the same predicted cellular coverage map view with the SBA site replaced by the proposed West Okee Relo site.

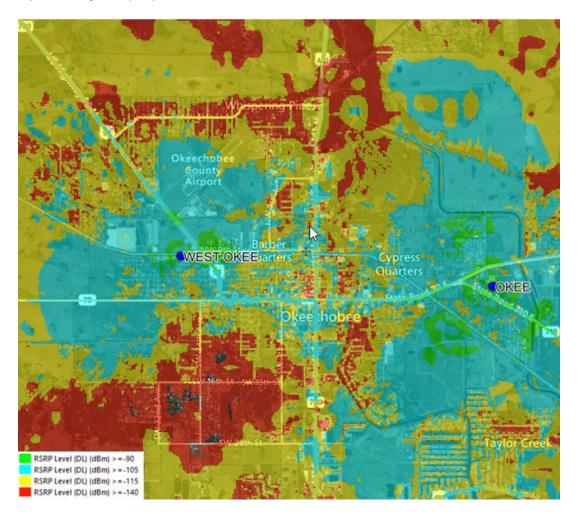


Figure 1 – Predicted coverage map of AT&T's Mobility network with the SBA site (West Okee) and its antennas at 120'

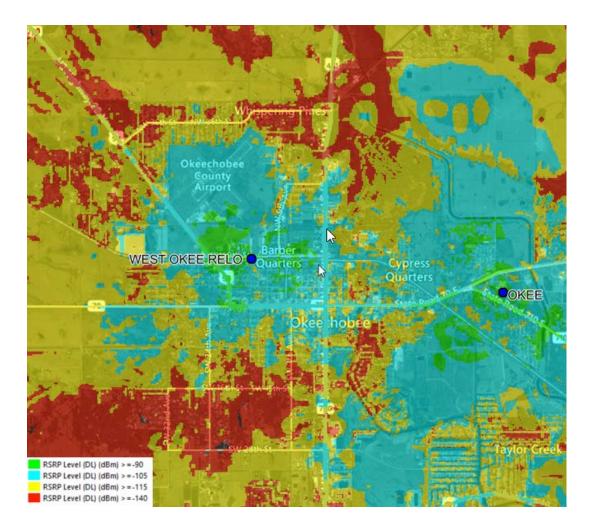


Figure 2 – Predicted coverage map of AT&T's Mobility network with proposed West Okee Relo site and its antennas at 145'

AT&T moving their cellular equipment from the SBA tower West Okee to the proposed West Okee Relo tower will enable AT&T to maintain existing service toward the west and improve indoor service levels in downtown Okeechobee where the area's structure density exists the most

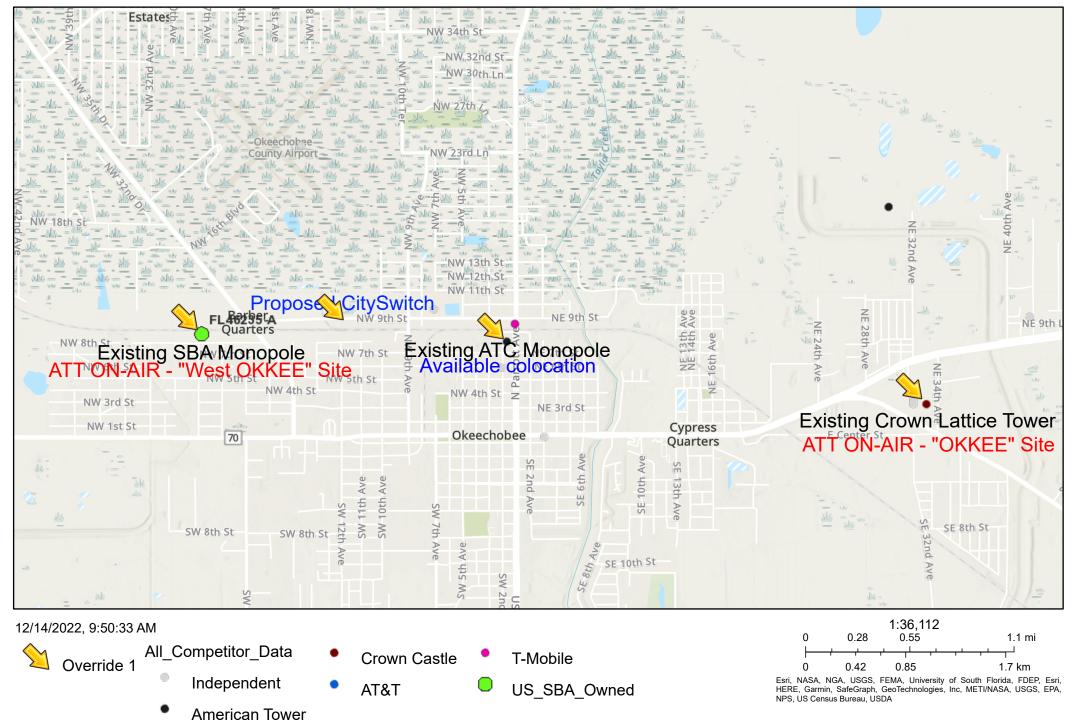
Sincerely,

George Brosseau

George Brosseau Principal RF Design Engineer AT&T Mobility (561) 312-3000

Exhibit

Surrounding Towers



SBA Communications

Esri, NASA, NGA, USGS, FEMA | Esri Community Maps Contributors, University of South Florida, FDEP, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA | VCGI | TNRIS, Various Counties, Various Vendors | Ohio Department of