

# Construction Plans FOR Glenwood Park, LLC City of Okeechobee, Florida

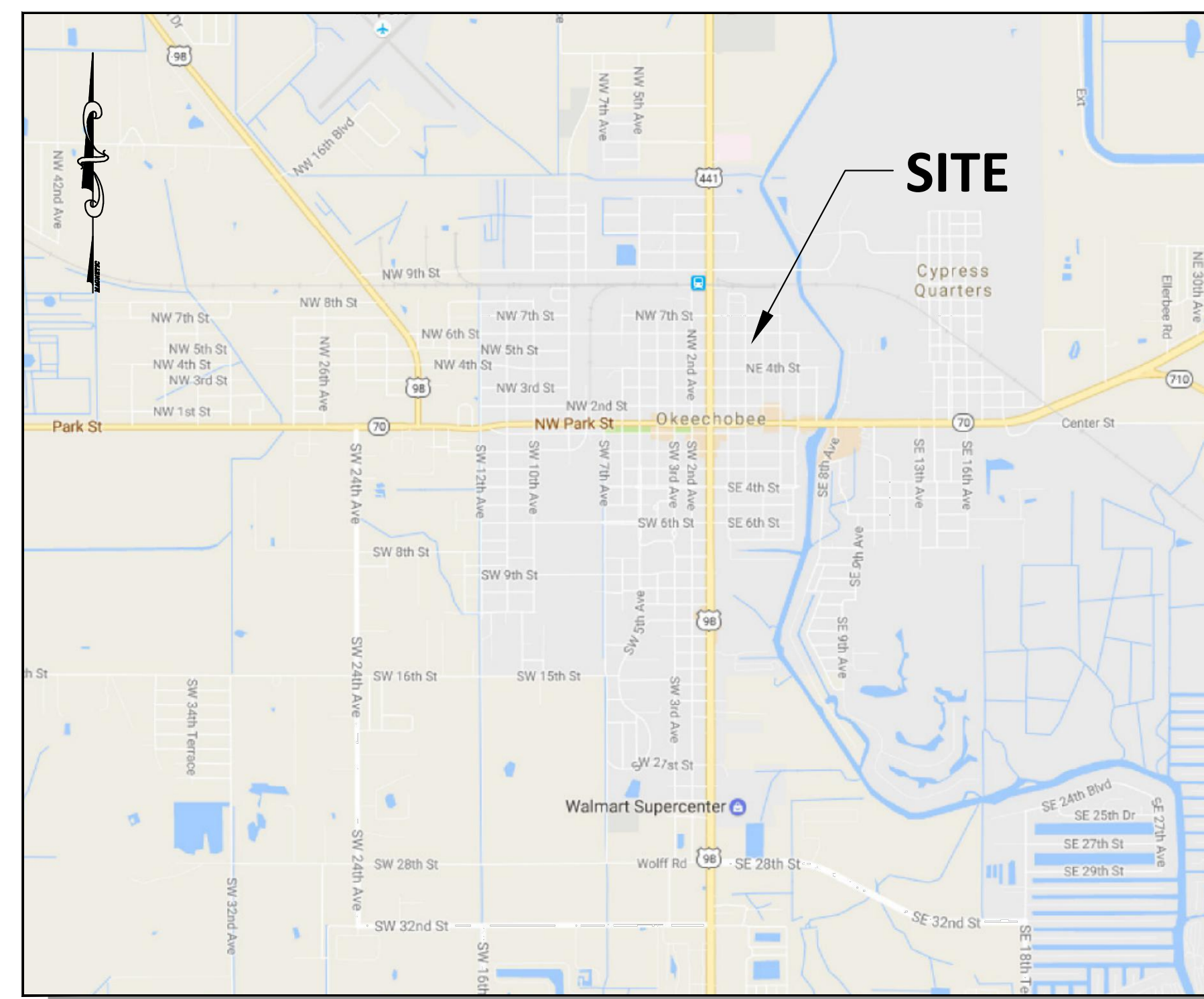
## LEGAL DESCRIPTION:

LOT 1 THROUGH 12, INCLUSIVELY, BLOCK 110, CITY OF OKEECHOBEE, PLAT BOOK 5, PAGE 5, OKEECHOBEE COUNTY, FLORIDA.

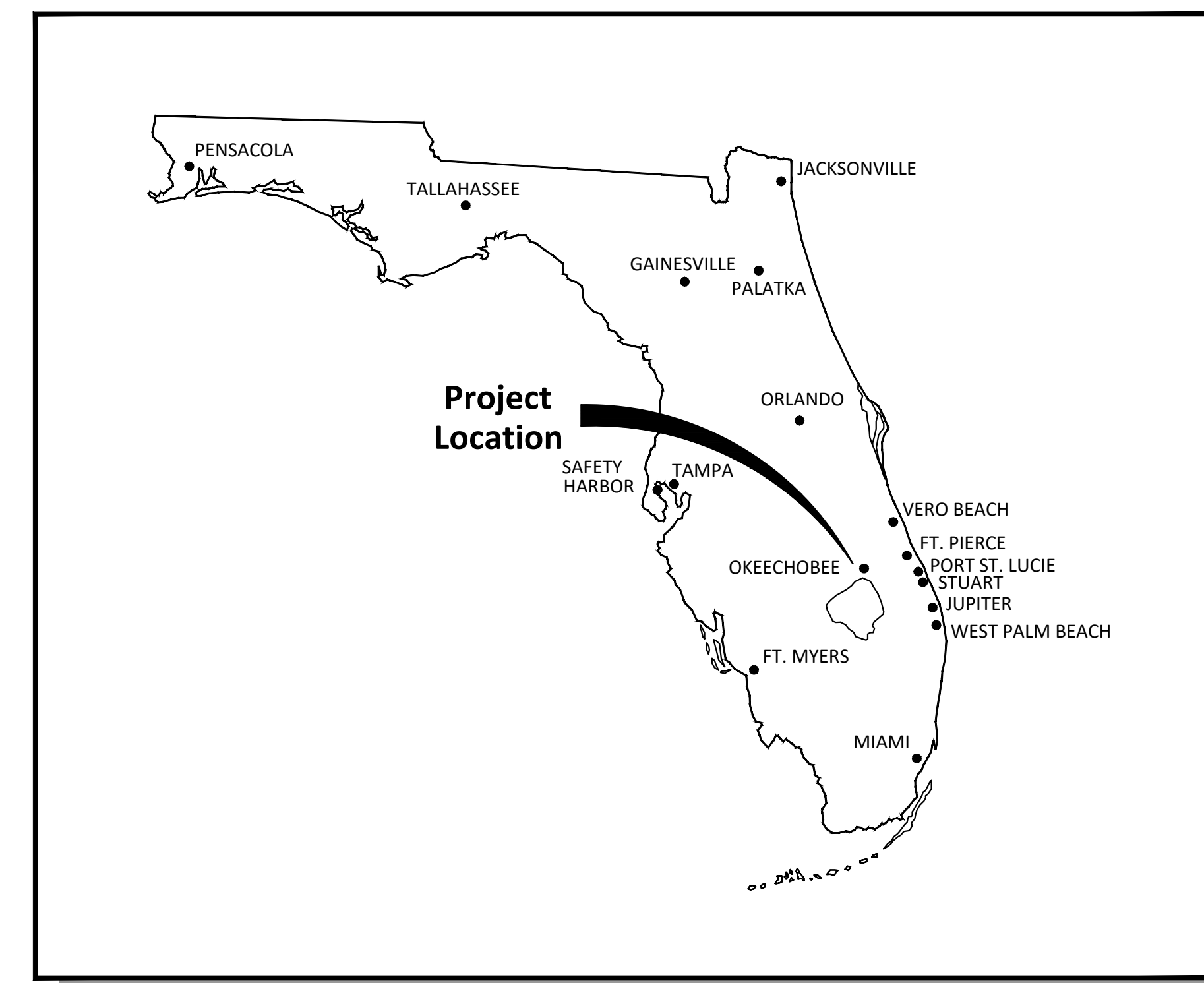
LOT 1 THROUGH 12, INCLUSIVELY, BLOCK 121, CITY OF OKEECHOBEE, PLAT BOOK 5, PAGE 5, OKEECHOBEE COUNTY, FLORIDA.

## SURVEYOR'S NOTES:

1. THE SURVEY DATE IS MARCH 18, 2021.
2. THIS IS A BOUNDARY SURVEY, AS DEFINED IN CHAPTER 5J-17.050(11) OF THE FLORIDA ADMINISTRATIVE CODE.
3. THIS SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
4. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
5. BEARINGS SHOWN HEREON ARE BASED ON GRID NORTH, AND ARE REFERENCED TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT. THE BEARING BASE FOR THIS SURVEY IS THE CENTERLINE OF NORTHEAST 4TH STREET BETWEEN BLOCKS 110 AND 121, SAID LINE BEARS N 89°47'50" E AND ALL OTHER BEARINGS ARE RELATIVE THERETO.
6. THIS SURVEY DOES NOT HAVE THE BENEFIT OF A CURRENT TITLE COMMITMENT, OPINION, OR ABSTRACT. DURING THE COURSE OF THE SURVEY SOME SEARCHES OF THE PUBLIC RECORDS WERE MADE, BUT THESE SEARCHES WERE NOT EXHAUSTIVE AND SHOULD NOT BE CONSIDERED A SUBSTITUTE FOR A PROPER TITLE COMMITMENT, OPINION, OR ABSTRACT OBTAINED FROM A TITLE AGENCY OR OTHER TITLE PROFESSIONAL.
7. THE LEGAL DESCRIPTION OF THE LAND CONTAINED IN THIS BOUNDARY SURVEY IS BASED ON THE DESCRIPTION RECORDED IN OFFICIAL RECORDS BOOK 786, PAGE 1593, AND OFFICIAL RECORDS BOOK 816, PAGE 970 AS RECORDED IN THE PUBLIC RECORDS OF OKEECHOBEE COUNTY, FLORIDA.
8. THIS SURVEY DELINEATES THE LOCATIONS OF THE LEGAL DESCRIPTIONS ON THE GROUND, BUT DOES NOT DETERMINE OWNERSHIP OR PROPERTY RIGHTS.
9. ADJOINING PROPERTY INFORMATION WAS OBTAINED FROM OKEECHOBEE COUNTY PROPERTY APPRAISER OFFICE AND PER PLAT.
10. AERIAL IMAGERY SHOWN HEREON WAS OBTAINED FROM THE LAND BOUNDARY INFORMATION SYSTEM (LABINS) DATED 2018 AND IS SHOWN FOR INFORMATIONAL PURPOSES ONLY.
11. SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE X PER FEMA MAP NUMBER 12093C, PANEL NUMBER 0485C, WITH AN EFFECTIVE DATE OF 07/16/15.



**LOCATION MAP**  
SCALE: N.T.S.



**VICINITY MAP**  
SCALE: N.T.S.

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## Survey Information:

Boundary and Topographic data provided by:



**Steven L. Dobbs Engineering, LLC**  
**Consulting Engineers**

1062 Jakes Way - Okeechobee, FL 34974

Phone: (863) 824-7644

FLORIDA CERTIFICATE OF AUTHORIZATION No. 00029206



Glenwood Park, LLC  
ENGINEERS PROJECT No. 2021-014

**GENERAL NOTES**

1. Contractor is responsible for checking actual site conditions before starting construction.
2. Any discrepancies on the drawings shall be brought to the attention of the engineer before commencing work.
3. Contractor shall obtain all required building permits before commencing work.
4. Contractor shall be responsible for location of all existing utilities. The contractor shall contact all concerned utilities at least 48 hours in advance for construction operations.
5. No field changes or deviations from design to be made without prior approval of the engineer.
6. All construction shall be completed in accordance with the applicable ordinances of City of Okeechobee, Florida.
7. Contractor shall supply density tests to engineer on all sub-grade and base. Tests shall be prepared per AASHTO T-180 method.
8. Slope grades from elevations shown to existing grade at property line.
9. Engineer shall be notified at least 48 hours in advance for any inspection.
10. All traffic control devices shall be in accordance with M.U.T.C.D. Standards.
11. Erosion and sedimentation control techniques shall be incorporated during construction as follows:  
 (1) silt screens shall be maintained at the project perimeter.  
 (2) No off-site discharges shall occur during construction. In the event discharge is required, hay bales and/or turbidity curtains shall be incorporated at the discharge point as necessary to control turbidity.

**EROSION AND SEDIMENTATION CONTROL NOTES**

Construction activities can result in the generation of significant amounts of pollutants which may reach surface or ground waters. One of the primary pollutants of surface waters is sediment due to erosion. Excessive quantities of sediment which reach water bodies of floodplains have been shown to adversely affect their physical, biological and chemical properties. Transported sediment can obstruct stream channels, reduce hydraulic capacity of water bodies of floodplains, reduce the design capacity of culverts and other works, and eliminate ethnic invertebrates and fish spawning substrates by siltation. Excessive suspended sediments reduce light penetration and therefore, reduce primary productivity.

**MINIMUM STANDARDS:**

1. Sediment basin and traps, perimeter dikes, sediment barriers and other measures intended to trap sediment shall be constructed as a first step in any land-distributing activity and shall be made functional before unslope land disturbance takes place.
2. All sediment control measures are to be adjusted to meet field conditions at the time of construction and be constructed prior to any grading or disturbance of existing surface material on balance of site. Perimeter sediment barriers shall be constructed to prevent sediment or trash from flowing or floating on to adjacent properties.
3. Permanent or temporary soil stabilization shall be applied to denuded areas within seven days after final grade is reached on any portion of the site. Temporary soil stabilization shall be applied within seven days to denuded areas that may not be at final grade but will remain undisturbed for longer than 30 days. Permanent stabilization shall be applied to areas that are to be left undisturbed for more than one year.
4. During construction of the project, soil stockpiles shall be stabilized or protected with sediment trapping measures. The applicant is responsible for the temporary protection and permanent stabilization of all soil stockpiles on site as well as soil intentionally transported from the project site.
5. A permanent vegetative cover shall be established on denuded areas not otherwise permanently stabilized. Permanent vegetation shall not be considered established until a ground cover is achieved that, in the opinion of the Reviewer, is uniform, mature enough to survive and will inhibit erosion.
6. Stabilization measures shall be applied to earthen structures such as dams, dikes and diversions immediately after installation.

| ENGINEER OF RECORD INSPECTION REQUIREMENTS |                                |                                |                                |                                |                                |                                |                                |
|--|--------------------------------|--------------------------------|--------------------------------|--------------------------------|--------------------------------|--------------------------------|--------------------------------|
|  | F.B.V.                         |                                | DENSITY                        |                                | L.B.R.                         |                                | THICKNESS                      |
|  | MAX. SPACING<br>LINEAR<br>FEET | MAX. SPACING<br>SQUARE<br>FEET | MAX. SPACING<br>LINEAR<br>FEET | MAX. SPACING<br>SQUARE<br>FEET | MAX. SPACING<br>LINEAR<br>FEET | MAX. SPACING<br>SQUARE<br>FEET | MAX. SPACING<br>LINEAR<br>FEET |
| COMPACTED OR STABILIZED GRADE              | 200                            | 5,000                          | 200                            | 5,000                          | 200                            | 5,000                          | 300                            |
| ROCK BASE                                  | ----                           | ----                           | 300                            | 10,000                         | 300                            | 10,000                         | 300                            |
| SHELL ROCK                                 | ----                           | ----                           | 300                            | 10,000                         | ----                           | ----                           | 300                            |
| ASPHALT                                    | ----                           | ----                           | ----                           | ----                           | ----                           | ----                           | PER INSP                       |

ALL TESTING SHALL BE TAKEN IN A STAGGERED SAMPLING PATTERN FROM A POINT 12" INSIDE THE LEFT EDGE OF THE ITEM TESTED, TO THE CENTER, TO A POINT INSIDE OF THE RIGHT EDGE

**EROSION AND SEDIMENTATION CONTROL NOTES - (continued)**

7. Surface runoff from disturbed areas that is comprised of flow from drainage areas greater than or equal to three acres shall be controlled by a sediment basin. The sediment basin shall be designed and constructed to accommodate the anticipated sediment loading from the land-disturbing activity. The outfall device or system design shall take into account the total drainage area flowing through the disturbed area to be served by the basin.
8. After any significant rainfall, sediment control structures will be inspected for integrity. Any damaged devices shall be corrected immediately.
9. Concentrated runoff shall not flow down cut or fill slopes unless contained within an adequate temporary or permanent channel, flume or slope drain structure.
10. Whenever water seeps from a slope face, adequate drainage or other protection shall be provided.
11. Sediment will be prevented from entering any storm drain system, ditch or channel. All storm sewer inlets that are made operable during construction shall be protected so that sediment-laden water cannot enter the conveyance system without first being filtered or otherwise treated to remove sediment.
12. Before temporary or newly constructed stormwater conveyance channels are made operational, adequate outlet protection and any required temporary or permanent channel lining shall be installed in both the conveyance channel and receiving channel.
13. When work in a live watercourse is performed, precautions shall be taken to minimize encroachment, control sediment transport and stabilize the work area to the greatest extent possible during construction. Nonerodible material shall be used for the construction of causeways and cofferdams. Earthen fill may be used for these structures if armored by nonerodible cover materials.
14. When a live watercourse must be crossed by construction vehicles, a temporary stream crossing constructed of nonerodible material shall be provided.
15. The bed and banks of a watercourse shall be stabilized immediately after work in the watercourse is completed.
16. Periodic inspection and maintenance of all sediment control structures must be provided to ensure intended purpose is accomplished. The Developer, owner and/or contractor shall be continually responsible for all sediment leaving the property. Sediment control measures shall be in working condition at the end of each working day.
17. Underground utility lines shall be installed in accordance with the following standards in addition to other applicable criteria:  
 A. No more than 500 linear feet of trench may be opened at one time.  
 B. Excavated material shall be placed on the uphill side of trenches.  
 C. Effluent from dewatering operations shall be filtered or passed through an approved sediment trapping device, or both, and discharged in a manner that does not adversely affect flowing streams or off-site property.  
 D. Restabilization shall be accomplished in accordance with these regulations.
18. Where construction vehicle access routes intersect paved public roads, provisions shall be made to minimize the transport of sediment by tracking onto the paved surface, where sediment is transported onto a public road surface with curbs and gutters, the road shall be cleaned thoroughly at the end of each day. Sediment shall be removed from the roads by shoveling or sweeping and transported to a sediment control disposal area. Street washing shall be allowed only after sediment is removed in this manner. This provision shall apply to individual subdivision lots as well as to larger land-distributing activities.
19. All temporary erosion and sediment control measures shall be removed within 30 days after final site stabilization or after the temporary measures are no longer needed, in the opinion of the Reviewer. Disturbed soil areas resulting from the disposition of temporary measures shall be permanently stabilized to prevent further erosion and sedimentation.
20. Properties and waterways downstream from construction site shall be protected from sediment disposition and erosion.
21. Phased projects should be cleared in conjunction with construction of each phase.
22. Erosion control design and construction shall follow the requirements in Index Nos. 101, 102 and 103 of FDOT Roadway and Traffic Design Standards.
23. The Reviewer may approve modifications or alter plans to these erosion control criteria due to site specific conditions.

ENGINEER OF RECORD INSPECTION REQUIREMENTS  
 CONTRACTOR TO CALL CONTRACT ENGINEER OF RECORD 48 HOURS ADVANCE FOR FOLLOWING INSPECTIONS:  
 1. PRECONSTRUCTION MEETING  
 2. DRAINAGE PIPE (UNCOVERED)  
 3. PAVEMENT SUBGRADE  
 4. PAVEMENT BASE  
 5. FINAL

**EARTHWORK AND DRAINAGE SPECIFICATIONS**


1. **Clearing and Grubbing:** Clearing and grubbing shall be performed within the limits of the project work in accordance with Section 110, Florida Department of Transportation (FDOT) Specifications. This item shall include, but is not limited to, the complete removal and legal disposal of all trees, brush, stumps, roots, grass, weeds, rubbish and other undesirable material to a depth of 18 inches below natural ground or proposed finished grade, whichever is lower. The areas to be cleared generally consist of the entire site with the exception of areas specifically noted on the landscape plans as preserve areas or as areas to remain un-cleared. Care shall be taken to insure that no preserve areas or wetland areas are impacted by the clearing operation. Prior to initiating the clearing operation, all adjacent wetland and preserve areas shall be marked and flagged in accordance with the City of Okeechobee and South Florida Water Management District (SFWMD) requirements. All such areas immediately adjacent to the clearing operation shall also be protected by the installation of temporary silt barriers in accordance with the requirements of The City of Okeechobee and the SFWMD. Further erosion control shall be accomplished by seeding and mulching all disturbed areas as soon as they are at final grade, per the specifications for seeding and mulching found elsewhere on this sheet.  
  
 All material shall be removed from the site and shall be legally disposed of in accordance with all local, state and federal requirements.
2. **Earthwork and Grading:** All earthwork and grading shall be performed as required to achieve the final grades, typical sections and elevations shown on the plans. In all other respects, materials and construction methods for earthwork, embankment, excavation and grading shall conform to the requirements of FDOT Specifications, Section 120. Any plastic or otherwise undesirable material within 36 inches of finished road grade shall be removed and replaced with suitable material. The contractor shall also refer to the Soils Report, if available. The specifications and recommendations included in that report shall be considered as a part of these plans and specifications. Should there be any conflict between that document and any requirements of these drawings or specifications, the most restrictive requirement shall govern.
3. **Paving Improvements:** All areas proposed for paving shall be constructed in accordance with the design grades and typical sections shown on the drawings, and in conformance to the requirements of the City of Okeechobee and Florida Department of Transportation.  
 A. **Asphalt:** Prime Coat and tack coat for base course and between lifts of asphalt shall conform to the requirements of Sections 300-1 through 300-7 of the FDOT Specifications. Prime Coat shall be applied at a rate of 0.25 gallons per square yard and tack coat at a rate of 0.10 gallons per square yard, unless otherwise approved by the Engineer.  
  
 Asphalt surface course thickness and material shall be as shown on the typical sections and shall in all ways conform to the requirements of FDOT.  
 B. **Base:** Limerock base material shall be compacted to 98% of maximum density per AASHTO T-180. All limerock will meet the minimum requirements of FDOT Section 911. As an alternate, cemented coquina conforming to FDOT Section 915 may be substituted and shall be subject to the compaction specifications detailed above and included in the Soils Engineer's report.  
 C. **Sub-grade:** Sub-grade shall be compacted to 98% of maximum density per AASHTO T-180, and stabilized to a minimum FBV of 50psi. Sub-grade shall be thoroughly rolled with a pneumatic tired roller prior to scheduling any sub-grade inspection.  
 D. **Valley Gutter/ F-Curb/D-Curb/Flush Curb:** Shall be constructed per the typical section by extruding machine or forms as shown on the plans. Minimum concrete compressive strength shall be 3,000psi after 28 days. Sub-grade shall be moistened at the time concrete is placed to insure a uniformly damp surface. Ready-mix concrete shall have a slump of between 2 and 4 inches. No water shall be added to increase workability. Test cylinders shall be made for the strength testing of each batch of concrete for at least 7 and 28 day testing.  
 E. **Sod:** A minimum of a two-foot wide strip of sod, or as otherwise shown on the plans, shall be placed along the back of curb of all constructed pavement to aid in prevention of erosion and soil stability. Sod shall be placed in conformance to FDOT Section 570, 575 and 981. Generally, the sodding requirements shall be as specified on the landscape plans, prepared by Others.  
 F. **Seed, Fertilize and Mulch:** All disturbed areas shall be stabilized with seed, fertilizer and mulch upon completion and acceptance by Engineer of final grading. Seed, fertilizer and mulch shall be in conformance to FDOT Sections 570, 575 and 981. The Contractor is responsible for establishing a stand of grass sufficient to prevent erosion prior to removal of the temporary silt fences. This applies only to those areas not covered by the sodding specified in the landscape plans, prepared by Others.  
 G. **Testing:** The Contractor shall secure the services of an approved independent testing laboratory to conduct all required testing on sub-grade, base, asphalt and concrete. Locations required for these tests shall be as required by the City of Okeechobee, and/or in the case of the turn-lane improvements as required by the City of Okeechobee. At a minimum, testing shall be as recommended by FDOT. Should any tests fail, contractor shall at his own expense, repair the deficiencies and retest the work until compliance with the specifications is demonstrated.  
 H. **Traffic Control:** The installation of Traffic Control Devices shall be in conformance to the requirements of the Manual of Uniform Traffic Control Devices, The City of Okeechobee. Maintenance of traffic During Construction shall be as required by FDOT.
4. **Drainage Improvements:** All labor, materials and construction methods shall be in conformance to the minimum engineering and construction standards of the City of Okeechobee and FDOT Specifications. Trench excavation and back-filling operations shall meet or exceed the requirements of FDOT Specifications, Section 125. The Contractor shall provide the necessary back-fill compaction testing required to demonstrate compliance with this section. The pipe trench shall be dry when pipe is laid and the pipe shall be bedded per the details and per FDOT specifications.

**Continued:**

The Contractor shall comply with Chapter 90-96, Laws of Florida, which requires the Contractor performing trench excavations over five feet in depth comply with all applicable trench safety standards and shoring requirements as set forth in the Occupational Safety and Health Administration's (OSHA) excavation and safety standards, 29 C.F.R. 1992.650, Sub-part P and incorporated as the State of Florida standard, as revised and/or updated. The cost of compliance with this requirement shall be included as a separate line item on the Contractor's bid. Otherwise, Contractor certifies that the cost of compliance is included in the unit cost of all items of work to which this requirement applies.

- A. **Reinforced Concrete Pipe (RCP):** RCP shall conform to the requirements of ASTM Specifications C-76, Class III, Wall Thickness "B", latest revision. All joints shall be soil-tight. Pipe gasket shall conform to FDOT Specifications, Section 942.
- B. **Corrugated Metal Pipe (CMP):** All CMP shall be Steel, round, helical-wound corrugated pipe conforming to AASHTO-M 36 and FDOT Section 943. Pipe ends at joints shall be reformed to a minimum of 2 annular corrugations for the complete band width. All joints shall be soil-tight. All connecting bands shall be corrugated annular coupling bands. A Neoprene gasket of at least 7 inches wide by 3/8 inch thick shall be used for all pipes of 36-inch diameter and smaller. Larger pipe sizes require gaskets of at least 10-1/2 inches in width. All CMP shall be installed at maximum lengths to reduce the number of joints.
- C. **Corrugated Aluminum Pipe (CAP):** All CAP shall be aluminum alloy, round, helical-wound corrugated pipe conforming to AASHTO-M 196 and FDOT Section 945. Pipe ends at joints shall be reformed to a minimum of 2 annular corrugations for the complete band width. All joints shall be soil-tight. All connecting bands shall be corrugated annular coupling bands. A Neoprene gasket of at least 7 inches wide by 3/8 inch thick shall be used for all pipes of 36-inch diameter and smaller. Larger pipe sizes require gaskets of at least 10-1/2 inches in width. All CAP shall be installed at maximum lengths to reduce the number of joints.
- D. **Corrugated High Density Polyethylene Pipe (HDPE):** All HDPE Pipe shall be resin conforming to ASTM D3350 minimum cell classification 435400C, round, only annular corrugations and conforming to FDOT Section 948-2.3. All joints shall be soil-tight. All connecting bands shall be corrugated annular coupling bands. A Neoprene gasket of at least 7 inches wide by 3/8 inch thick shall be used for all pipes of 36-inch diameter and smaller. Larger pipe sizes require gaskets of at least 10-1/2 inches in width. All HDPE shall be installed at maximum lengths to reduce the number of joints.
- E. **Contech A-2000 PVC drainage pipe (A-2000):** All A-2000 corrugated pipe with a smooth interior shall conform to the requirements of ASTM Designation F949 & F794 Dual Wall Corrugated Profile (DWCP) Pipe. Pipe and fittings shall be homogeneous throughout and free from visible cracks, holes, foreign inclusions or other injurious defects. Pipe shall be manufactured to 46 psi stiffness when tested in accordance with ASTM Test Method D2412. There shall be no evidence of splitting, cracking or breaking when the pipe is tested per ASTM Test Method D2412 and F949 section 7.5. The pipe shall be made of PVC compound having a minimum cell classification of 12454B as defined in ASTM Specification D1784.
- F. **PVC Drainage Pipe:** PVC Drainage Pipe shall be C-900 with push-on joints (no glued joints) and shall be as specified for sanitary sewer construction, except that it shall be white in color. Any portion of the PVC storm pipe that may be exposed to sunlight, such as its outlet to the detention pond, shall be painted to protect it from UV light.
- G. **Inlets, Manholes, and Junction Boxes:** All drainage inlets, manholes, and junction boxes shall be precast concrete conforming to ASTM C-478 and 64T. All concrete shall have not less than 4000-psi compressive strength at 28 days. Structure sections shall be joined with a mastic sealing compound. The remaining space shall be filled with the cement mortar and finished so as to produce a smooth continuous surface inside and outside the wall sections. All openings in precast structures shall be cast at the time of manufacture. Holes for piping shall be six inches larger than the outside diameter of the proposed pipe. All spaces between the manhole and the pipe shall be completely filled with mortar and finished smooth. Mortar used for concrete structures shall conform to M C-270. Mortar material shall be mixed one part Type 2 Portland cement to two parts aggregate by volume. Portland cement shall conform to ASTM C-144 and aggregate shall conform to ASTM C-144. The CONTRACTOR shall furnish the ENGINEER with shop drawings of all precast structures for his approval prior to fabrication. Shop drawings shall show all dimension, reinforcing steel and specifications. Storm Manholes shall be constructed with a traffic bearing cast-iron slotted grate.
- H. **Trench Backfill** shall be as shown in the Drainage Details. In addition, testing under paved areas shall be as follows: One test location midway between structures and one test location adjacent to each structure. Engineer may request additional locations. Testing in each location shall begin in the first foot above the culvert with tests every two feet to within two feet of the sub-grade. Density shall be to 100 percent of maximum as determined by AASHTO T-99.
- I. **Control Structures:** Shall be constructed per the above specifications for Inlets, Manholes, and Junction Boxes except that the structures shall include the bleeders and weirs as shown on the detail.
- J. **Rip-Rap Energy Dissipaters:** Shall be constructed per the details and as shown on the drawings at the control structures and the downstream bubble-up structures. The rubble shall be of material and placed in accordance to FDOT Section 530-2.3 (material) and FDOT Section 530-3.3 (Construction Methods). Should broken concrete be used as the rubble, it shall be free from reinforcing bars or wire mesh. The contractor shall use care in the placement of the stone so that it is not dropped on the fabric in such a fashion that tears the fabric. The fabric shall be as specified in FDOT Section 985 and shall be of the woven design and as specified for use with riprap per Table 1 of this section. The bedding stone shall be of the type typically used for drainfield rock and shall meet the requirements of FDOT for drainfield rock.

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADOPTION BY STEVEN L. DOBBS, P. E., SHALL BE WITHOUT LIABILITY TO STEVEN L. DOBBS ENGINEERING, LLC.



**Steven L. Dobbs  
Engineering, LLC**  
1062 JAKES WAY  
Okeechobee, FL 34974  
Phone: (863) 824-7644


FLORIDA CERTIFICATE OF AUTHORIZATION No. 00029206

| No. | DATE | BY | REVISIONS |
|-----|------|----|-----------|
|     |      |    |           |
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**GLENWOOD PARK  
APARTMENT COMPLEX**  
LOCATED IN THE CITY OF OKEECHOBEE


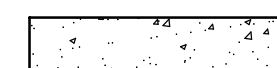
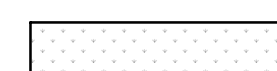

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**GENERAL NOTES & SPECIFICATIONS**

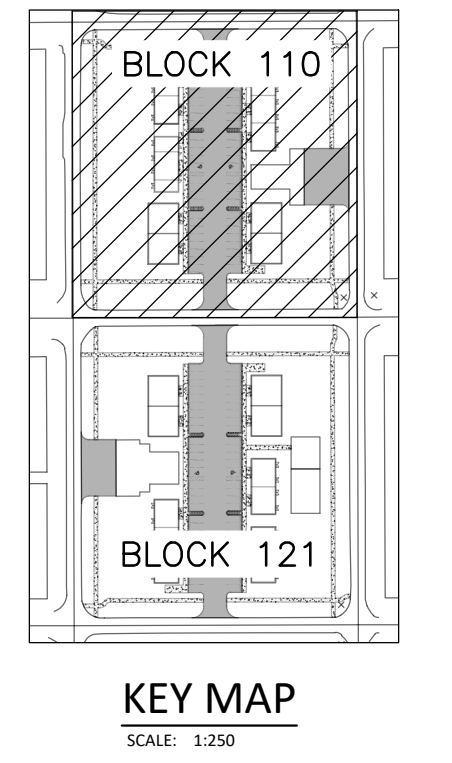
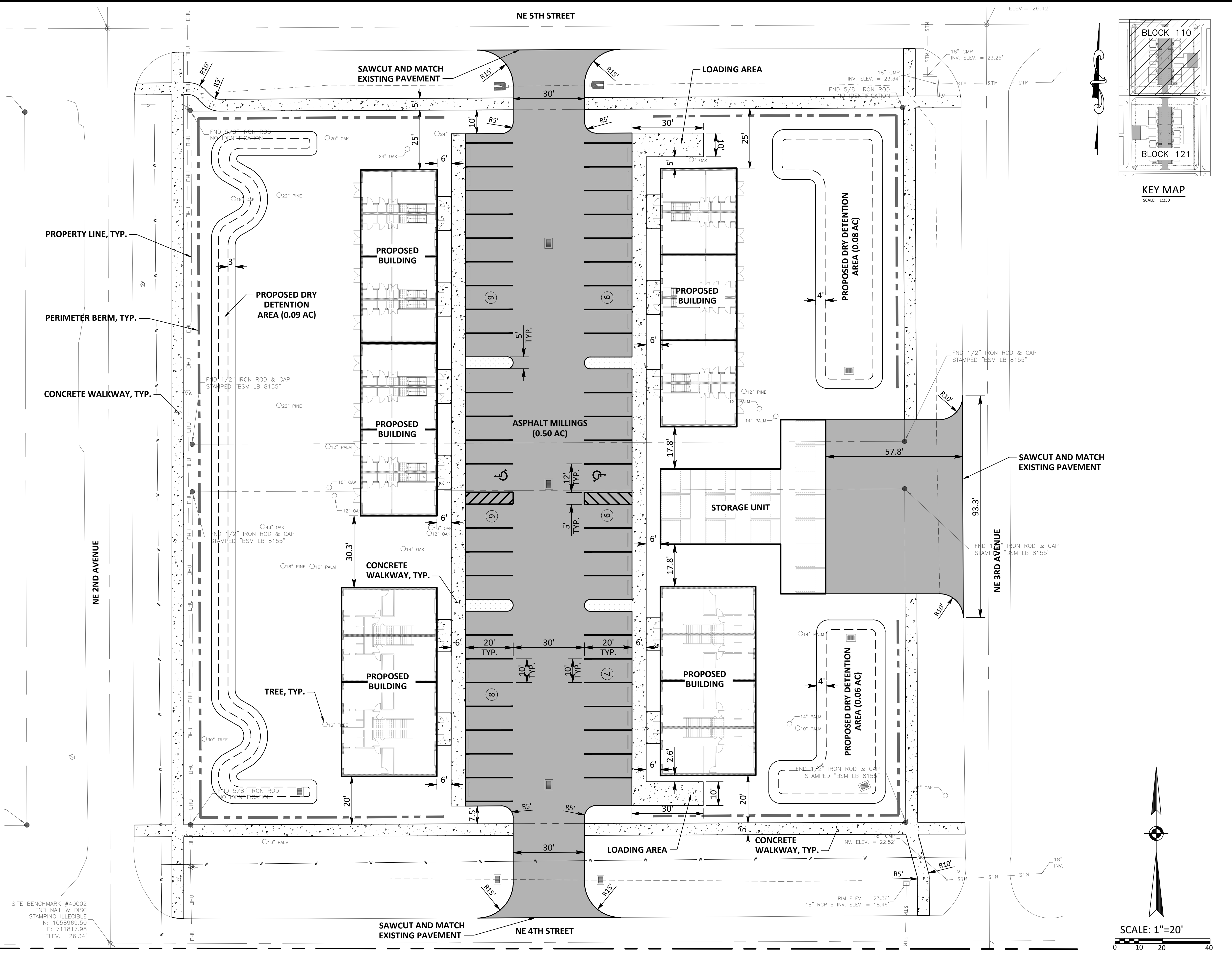
CALL 48 HOURS BEFORE YOU DIG IN FLORIDA, IT'S THE LAW  
  
 of Florida, Inc.

JOB No.: **2021-014**  
SHEET  
**C001** OF **19**

**LEGEND**

-  ASPHALT PAVEMENT
-  CONCRETE WALKWAY
-  LANDSCAPING AREA
-  PERIMETER BERM

|  |  |                           |
|--|--|---------------------------|
| Project Name: Glenwood Park, LLC                           |  |                           |
| Owner Name: Mitch Stephens                                 |  |                           |
| Owner Address: 17705 Middlebrook Way, Boca Raton, FL 33496 |  |                           |
| Owner Phone: 919-201-9913                                  |  |                           |
| Engineer Name: Steven L. Dobbs Engineering, LLC            |  |                           |
| Engineer Address: 1062 Jakes Way, Okeechobee, FL 34974     |  |                           |
| Engineer Phone: 863-824-7644                               |  |                           |
| Architect Name: N/A  |  |                           |
| Architect Address: N/A                                     |  |                           |
| Architect Phone: N/A                                       |  |                           |
| Planner Name: N/A  |  |                           |
| Planner Address: N/A                                       |  |                           |
| Planner Phone: N/A   |  |                           |
| Block 110  |  |                           |
| Future Land Use:   | Multifamily  |                           |
| Zoning:  | Multifamily  |                           |
| Min Lot Width:   | 100.0 ft   |                           |
| Proposed lot width:  | 300.0 ft   |                           |
| Min Lot Size:  | 6,250.0 sf   |                           |
| Proposed lot size:   | 90,169.2 sf  |                           |
| Project Size:  | 2.07 SF  |                           |
| Total Dwelling Units:                                      | 22 - 2 bedroom units                                       |                           |
| <b>Setbacks:</b>   |  |                           |
| N Front  | Req 25   |                           |
|  | Provided 25  |                           |
| W Side   | Req 20   |                           |
|  | Provided 123   |                           |
| E Side   | Req 20   |                           |
|  | Provided 85  |                           |
| S Rear   | Req 20   |                           |
|  | Provided 20  |                           |
| <b>Parking:</b>  |  |                           |
| Multifamily  | 1.75 spaces for 1 bedroom                                  | 1.75 per 1 bedroom unit   |
|  | 0-1 bedroom units  | 0 units                   |
|  | Required Parking:  | 0 spaces                  |
| Multifamily  | 2 spaces for 2 bedroom                                     | 2 per 2 bedroom unit      |
|  | 12-2 bedroom units   | 22 units                  |
|  | Required Parking:  | 44 spaces                 |
| Multifamily  | 2.25 spaces for 3-4 bedroom                                | 2.25 per 3-4 bedroom unit |
|  | 11-3-4 bedroom units                                       | 0 units                   |
|  | Required Parking:  | 0 spaces                  |
| Office   | 1 space per 300 sf   | 1 per 300 sf              |
|  | Required Parking:  | 0 spaces                  |
| Handicapped Parking  | 1 space per every 25 spaces minimum                        | 2                         |
|  | Required Handicapped Parking                               | 2                         |
|  | Handicapped Parking Provided                               | 2                         |
| Loading space  | 1 space for 20 - 50 units, 1 add. space for every 50 units |                           |
| Multifamily  | 23 Units   |                           |
|  | 1 Loading Space Required                                   |                           |
|  | 2 Provided   |                           |
| Total Parking Required                                     |  | 44                        |
| Parking Provided   |  | 51                        |
| <b>Coverage</b>  |  |                           |
| Residential Allowed  |  | 40%                       |
| Proposed   |  | 21%                       |
| <b>Impervious Area</b>                                     |  |                           |
| Allowable Impervious Area:                                 |  | 60%                       |
| Proposed ISR   |  | 49%                       |



MATCHLINE SHEET C201  
MATCHLINE SEE SHEET C202

**Steven L. Dobbs Engineering, LLC**  
1062 JAKES WAY  
Okeechobee, FL 34974  
Phone: (863) 824-7644

FLORIDA CERTIFICATE OF AUTHORIZATION No. 00029206

| No. | DATE | BY | REVISIONS |
|-----|------|----|-----------|
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**GLENWOOD PARK APARTMENT COMPLEX**  
LOCATED IN THE CITY OF OKEECHOBEE

**BLOCK 110 HORIZONTAL CONTROL STRIPPING AND SIGNAGE PLAN**


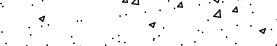


CALL 48 HOURS BEFORE YOU DIG IN FLORIDA, IT'S THE LAW

**Sunshine State One Call**  
of Florida, Inc.

JOB No.: 2021-014  
SHEET C201 OF 19

MATCHLINE SEE SHEET C201  
MATCHLINE SHEET C202

V. = 26.34'

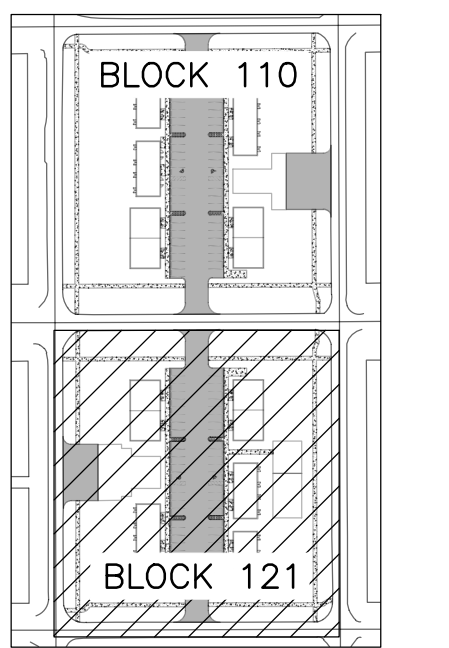
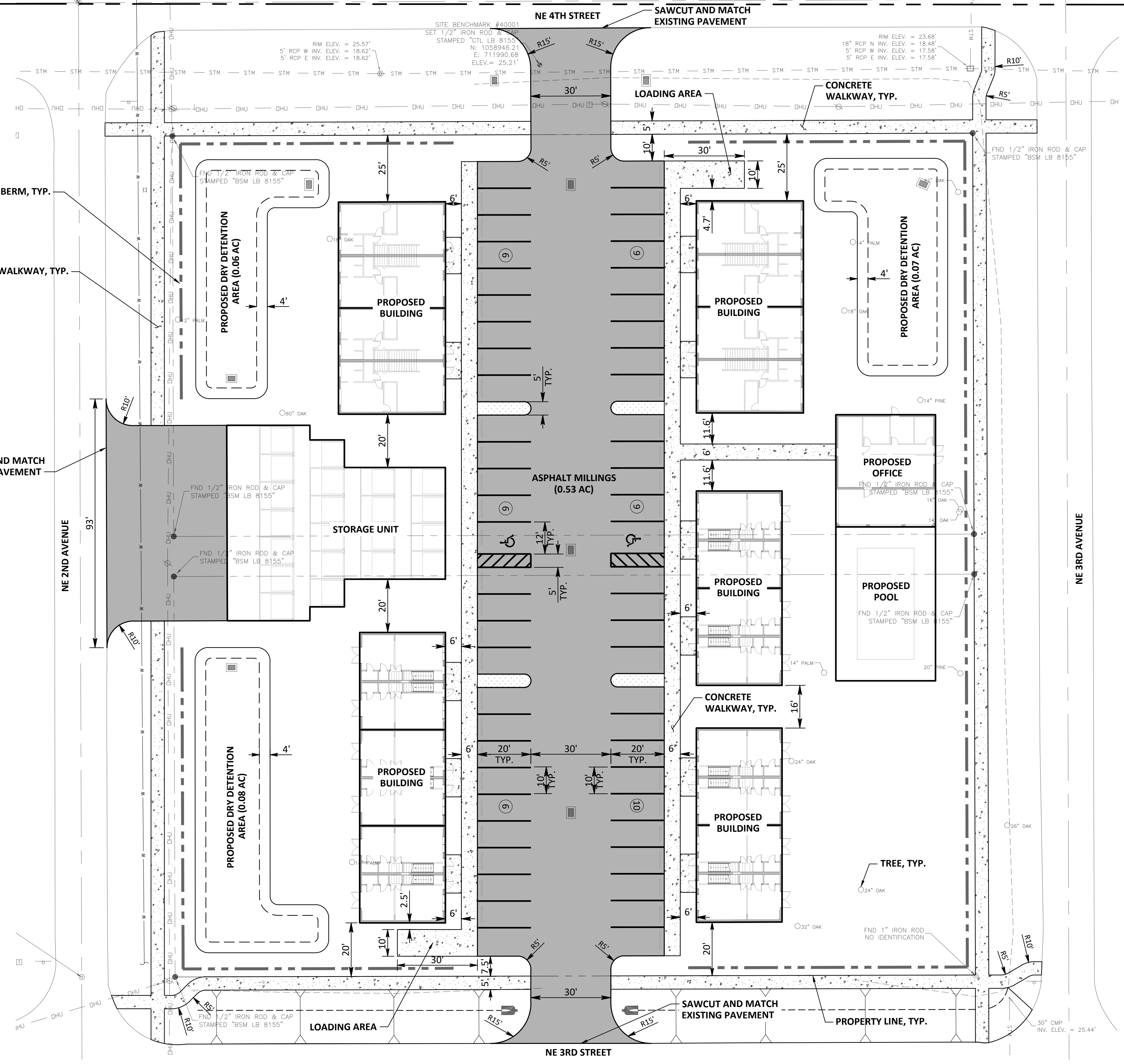
- LEGEND**
-  ASPHALT PAVEMENT
  -  CONCRETE WALKWAY
  -  LANDSCAPING AREA
  -  PERIMETER BERM

|  |   |
|--|---|
| Project Name: Glenwood Park, LLC                           |   |
| Owner Name: Mitch Stephens                                 |   |
| Owner Address: 17705 Middlebrook Way, Boca Raton, FL 33496 |   |
| Owner Phone: 919-201-6913                                  |   |
| Engineer Name: Steven L. Dobbs Engineering, LLC            |   |
| Engineer Address: 1062 Jakes Way, Okeechobee, FL 34974     |   |
| Engineer Phone: 863-824-7644                               |   |
| Architect Name: N/A  |   |
| Architect Address: N/A                                     |   |
| Architect Phone: N/A                                       |   |
| Planner Name: N/A  |   |
| Planner Address: N/A                                       |   |
| Planner Phone: N/A   |   |
| Block 121  |   |
| Future Land Use:   | Multifamily   |
| Zoning:  | Multifamily   |
| Min Lot Width:   | 100.0 ft  |
| Proposed lot Width:  | 300.0 ft  |
| Min Lot Size:  | 6,250.0 sf  |
| Proposed lot size:   | 94,502.0 sf   |
| Project Size:  | 2.17 SF   |
| Total Dwelling Units:                                      | 11 - 2 bedroom units and 11 - 3-4 bedroom units   |
| Setbacks:  |   |
| N Front  | Req 25<br>Provided 25   |
| W Side   | Req 20<br>Provided 120  |
| E Side   | Req 20<br>Provided 100  |
| Rear   | Req 20<br>Provided 20   |
| Parking:   |   |
| Multifamily  | 1.75 spaces for 1 bedroom<br>0-1 bedroom units<br>Required Parking: 0 spaces                              |
| Multifamily  | 2 spaces for 1 bedroom<br>11-2 bedroom units<br>Required Parking: 22 spaces                               |
| Multifamily  | 2.25 spaces for 3-4 bedroom<br>11-3-4 bedroom units<br>Required Parking: 25 spaces                        |
| Office   | 1 space per 300 sf<br>0 per 300 sf<br>Required Parking: 0 spaces  |
| Handicapped Parking  | 1 space per every 25 spaces minimum 1<br>Required Handicapped Parking 2<br>Handicapped Parking Provided 2 |
| Loading space  | 1 space for 20 - 50 units, 1 add. space for every 50 units  |
| Multifamily  | 22 Units<br>1 Loading Space Required<br>2 Provided  |
| Total Parking Required                                     | 47  |
| Parking Provided   | 55  |
| Coverage   |   |
| Residential Allowed  | 40%   |
| Proposed   | 21%   |
| Impervious Area  |   |
| Allowable Impervious Area:                                 | 80%   |
| Proposed ISR   | 49%   |

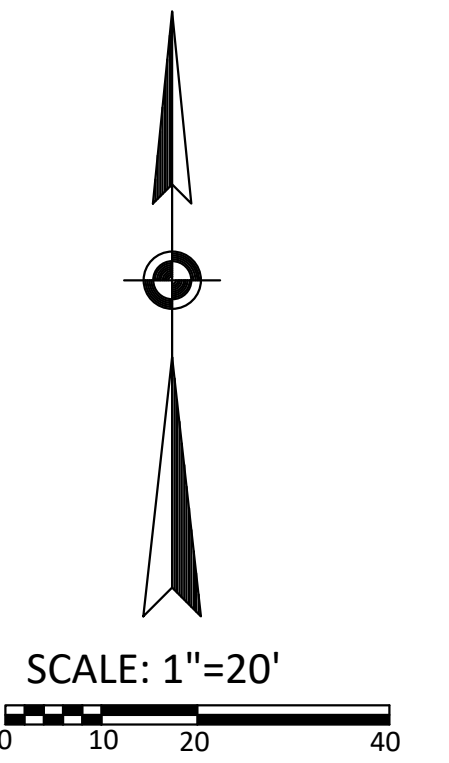
PERIMETER BERM, TYP.

CONCRETE WALKWAY, TYP.



SAWCUT AND MATCH EXISTING PAVEMENT



KEY MAP  
SCALE: 1/250

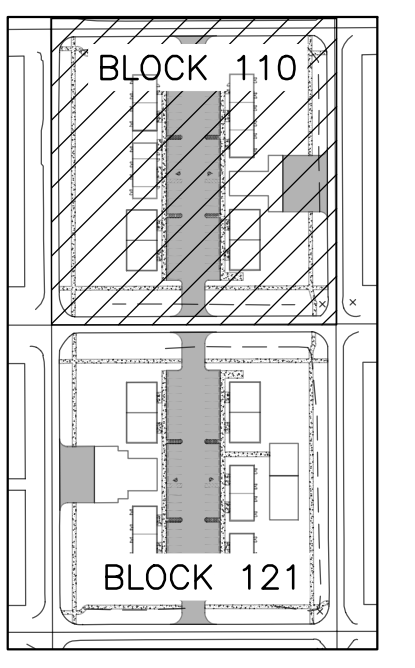
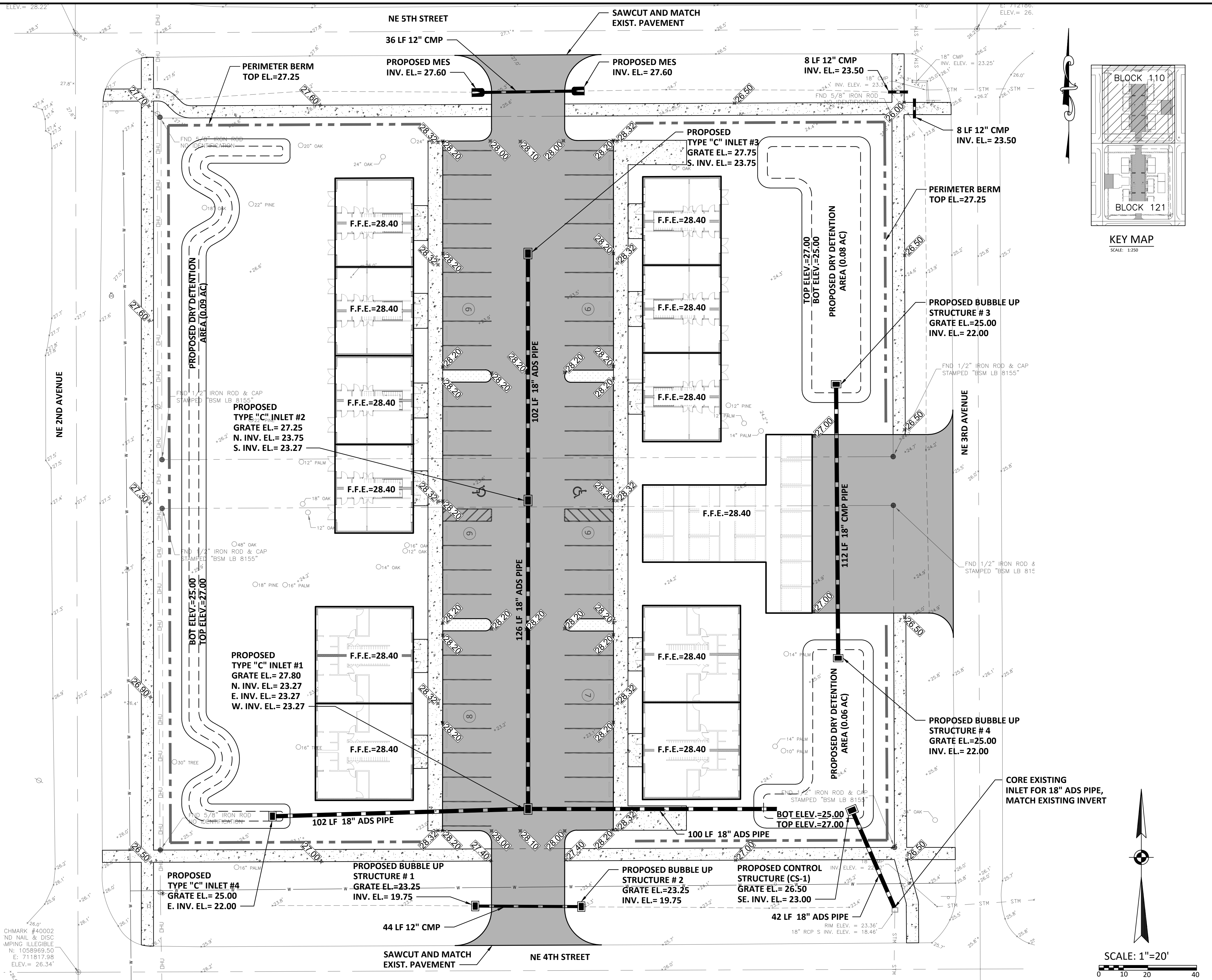


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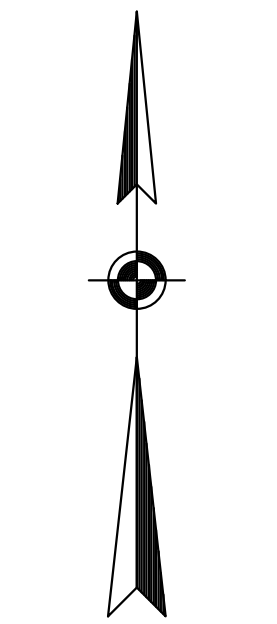
|  <p><b>Steven L. Dobbs Engineering, LLC</b><br/>1062 JAKES WAY<br/>Okeechobee, FL 34974<br/>Phone: (863) 824-7644</p> <p style="font-size: x-small;">FLORIDA CERTIFICATE OF AUTHORIZATION No. 00029206</p> | <table border="1"> <thead> <tr> <th>No.</th> <th>DATE</th> <th>BY</th> <th>REVISIONS</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table> | No. | DATE      | BY | REVISIONS |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  | <p><b>GLENWOOD PARK APARTMENT COMPLEX</b><br/>LOCATED IN THE CITY OF OKEECHOBEE</p> <p><b>BLOCK 121</b><br/><b>HORIZONTAL CONTROL</b><br/><b>STRIPPING AND SIGNAGE PLAN</b></p> | <p style="font-size: x-small;">CALL 48 HOURS BEFORE YOU DIG IN FLORIDA, IT'S THE LAW</p>  <p style="font-size: x-small;">of Florida, Inc.</p> <p>JOB No.: 2021-014<br/>SHEET<br/>C202 OF 19</p> |
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**LEGEND:**

- ⊕ 31.20 PROPOSED ELEVATION
- × 32.64' EXISTING ELEVATION
- FLOW OF DIRECTION
- PROPOSED DRAIN INLET
- PROPOSED DRAIN PIPE
- - - PERIMETER BERM





KEY MAP  
SCALE: 1/2"=20'

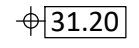
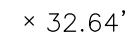






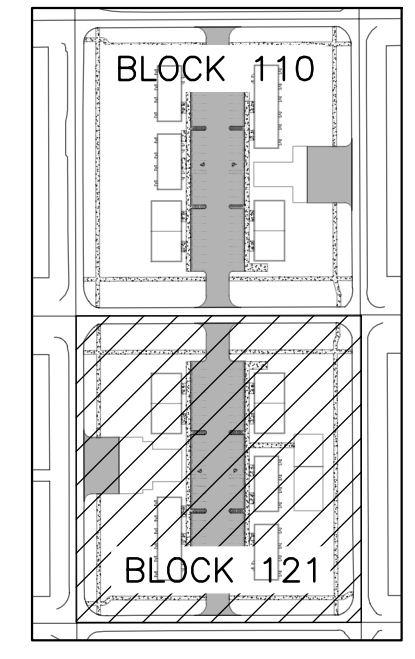
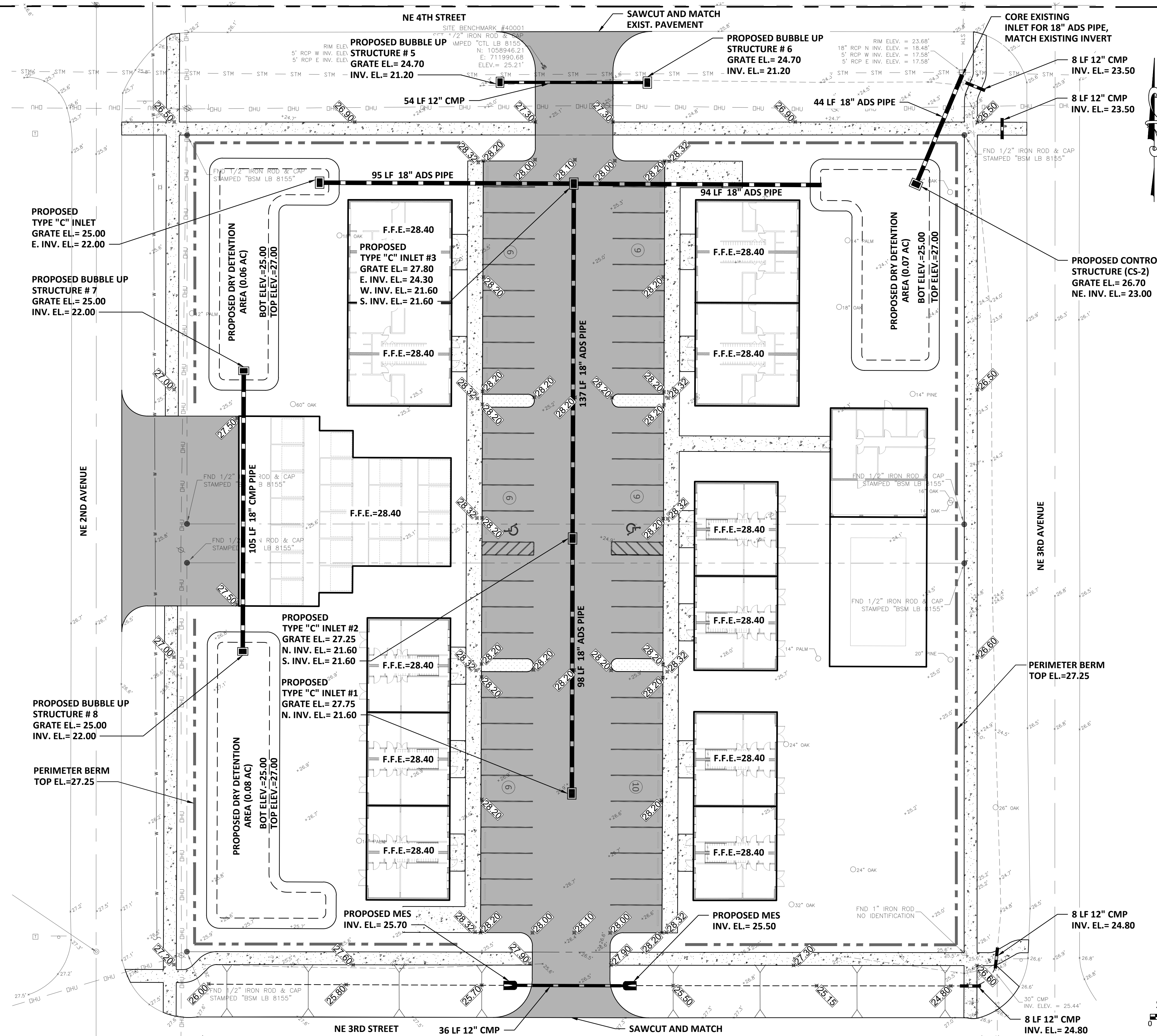
SCALE: 1"=20'  
0 10 20 40

MATCHLINE SHEET C301  
MATCHLINE SEE SHEET C302

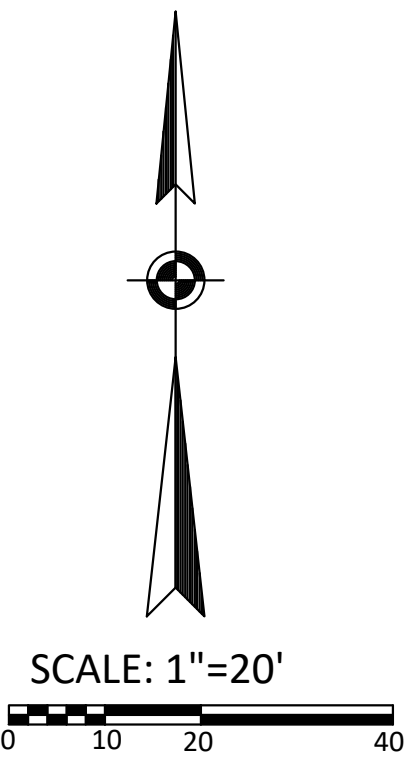
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**LEGEND:**

-  PROPOSED ELEVATION
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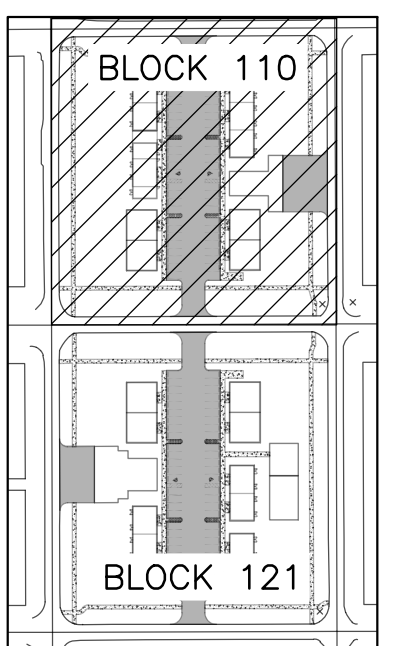
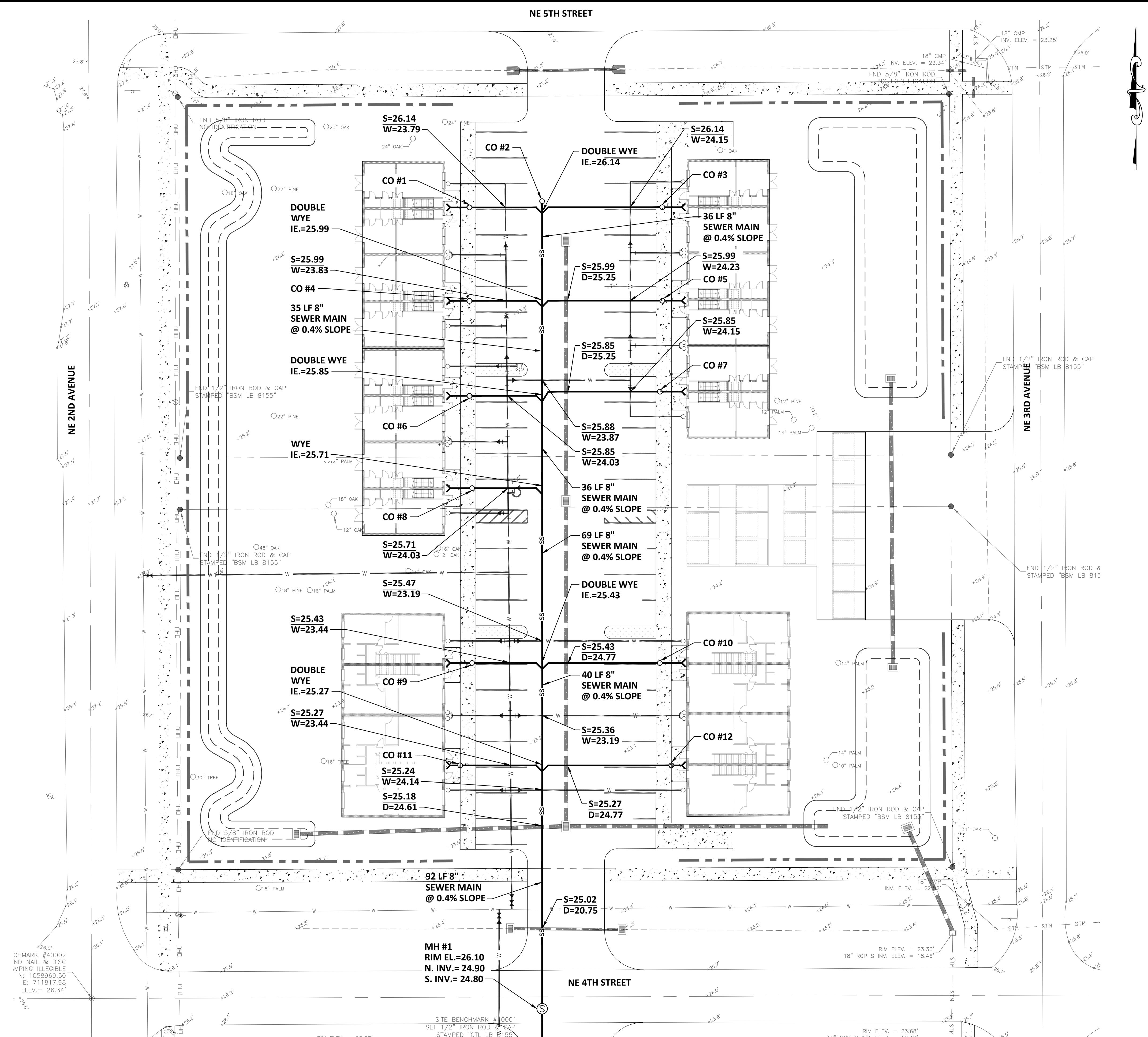
KEY MAP  
SCALE: 1:250



|  <p><b>Steven L. Dobbs<br/>Engineering, LLC</b><br/>1062 JAKES WAY<br/>Okeechobee, FL 34974<br/>Phone: (863) 824-7644</p> <p><small>FLORIDA CERTIFICATE OF AUTHORIZATION No. 00029206</small></p> | <p><small>THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADOPTION BY STEVEN L. DOBBS, P. E., SHALL BE WITHOUT LIABILITY TO STEVEN L. DOBBS ENGINEERING, LLC.</small></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 5%;">No.</th> <th style="width: 15%;">DATE</th> <th style="width: 15%;">BY</th> <th style="width: 65%;">REVISIONS</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table> | No. | DATE      | BY | REVISIONS |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  | <p><b>GLENWOOD PARK<br/>APARTMENT COMPLEX</b><br/>LOCATED IN THE CITY OF OKEECHOBEE</p> <p><b>BLOCK 121<br/>PAVING, GRADING AND<br/>DRAINAGE PLAN</b></p> | <p><small>CALL 48 HOURS BEFORE YOU DIG IN FLORIDA, IT'S THE LAW</small></p>  <p><small>of Florida, Inc.</small></p> <p>JOB No.: 2021-014<br/>SHEET<br/>C302 OF 19</p> |
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**LEGEND:**

- SS PROPOSED SEWERLINE
- ⊙ PROPOSED SEWER MANHOLE
- ▬ PROPOSED DRAIN PIPE
- PROPOSED DRAIN INLET



KEY MAP  
SCALE: 1:250

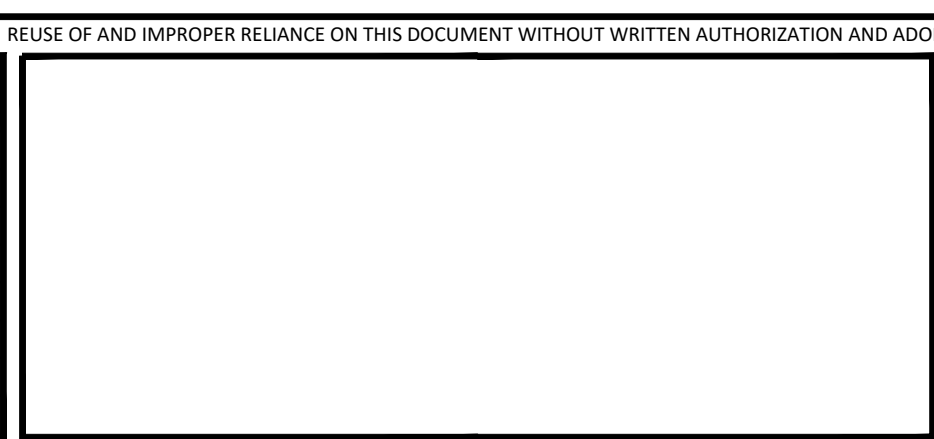
MATCHLINE SEE SHEET C402

**Steven L. Dobbs Engineering, LLC**  
 1062 JAKES WAY  
 Okeechobee, FL 34974  
 Phone: (863) 824-7644

FLORIDA CERTIFICATE OF AUTHORIZATION No. 00029206

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**GLENWOOD PARK APARTMENT COMPLEX**  
 LOCATED IN THE CITY OF OKEECHOBEE

**BLOCK 110**

**OVERALL SEWERLINE PLAN**

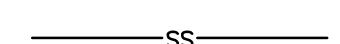



CALL 48 HOURS BEFORE YOU DIG IN FLORIDA, IT'S THE LAW

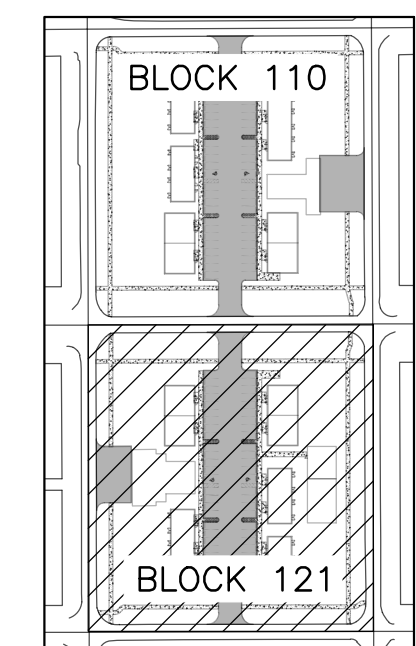
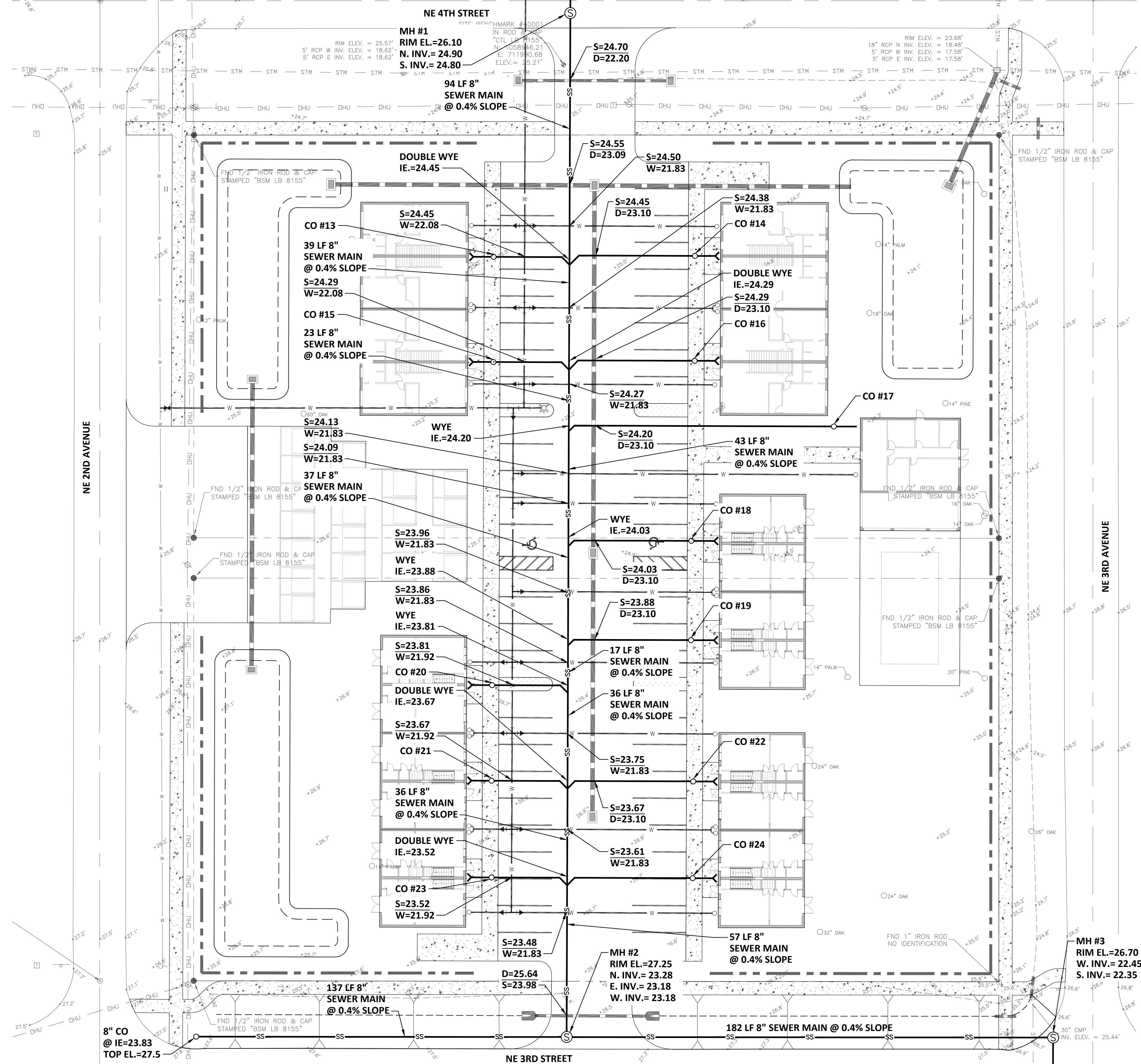
**Sunshine State One Call**  
 of Florida, Inc.

JOB No.: 2021-014  
 SHEET  
**C401 OF 19**

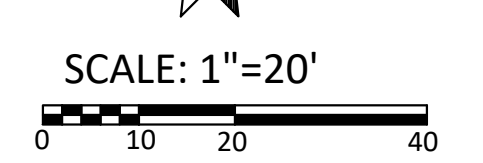
MATCHLINE SEE SHEET C401

**LEGEND:**

-  PROPOSED SEWERLINE
-  PROPOSED SEWER MANHOLE
-  PROPOSED DRAIN PIPE
-  PROPOSED DRAIN INLET



MATCHLINE SEE SHEET C403



**Steven L. Dobbs Engineering, LLC**  
1062 JAKES WAY  
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**GLENWOOD PARK APARTMENT COMPLEX**  
LOCATED IN THE CITY OF OKEECHOBEE

**BLOCK 121 OVERALL SEWERLINE PLAN**

CALL 48 HOURS BEFORE YOU DIG IN FLORIDA, IT'S THE LAW

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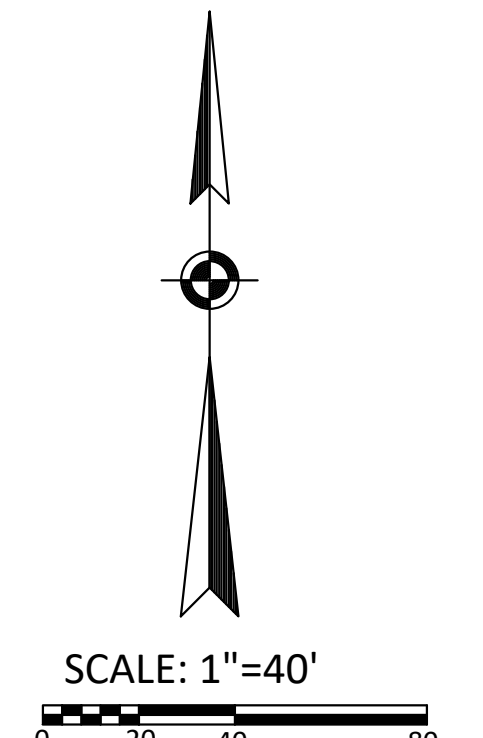
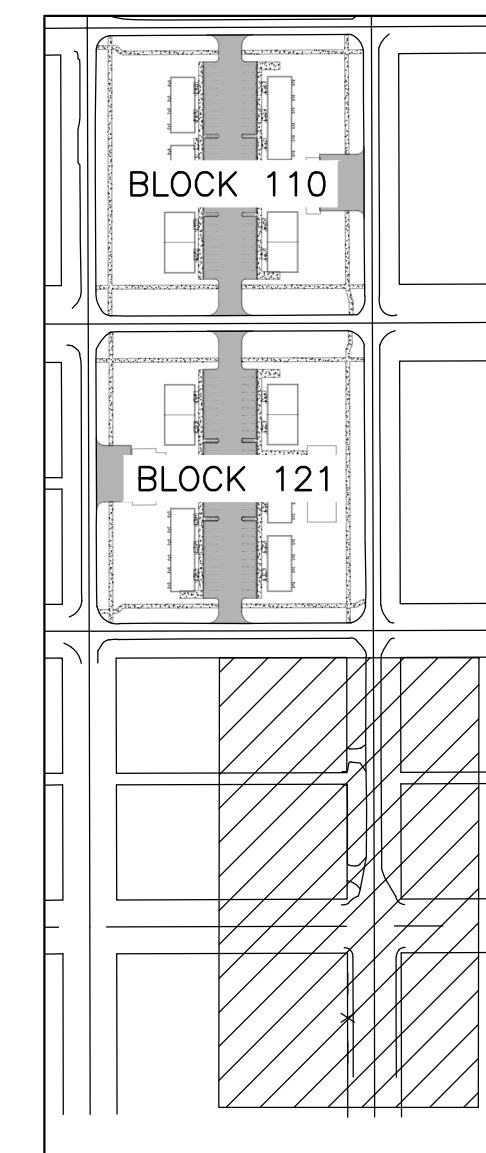
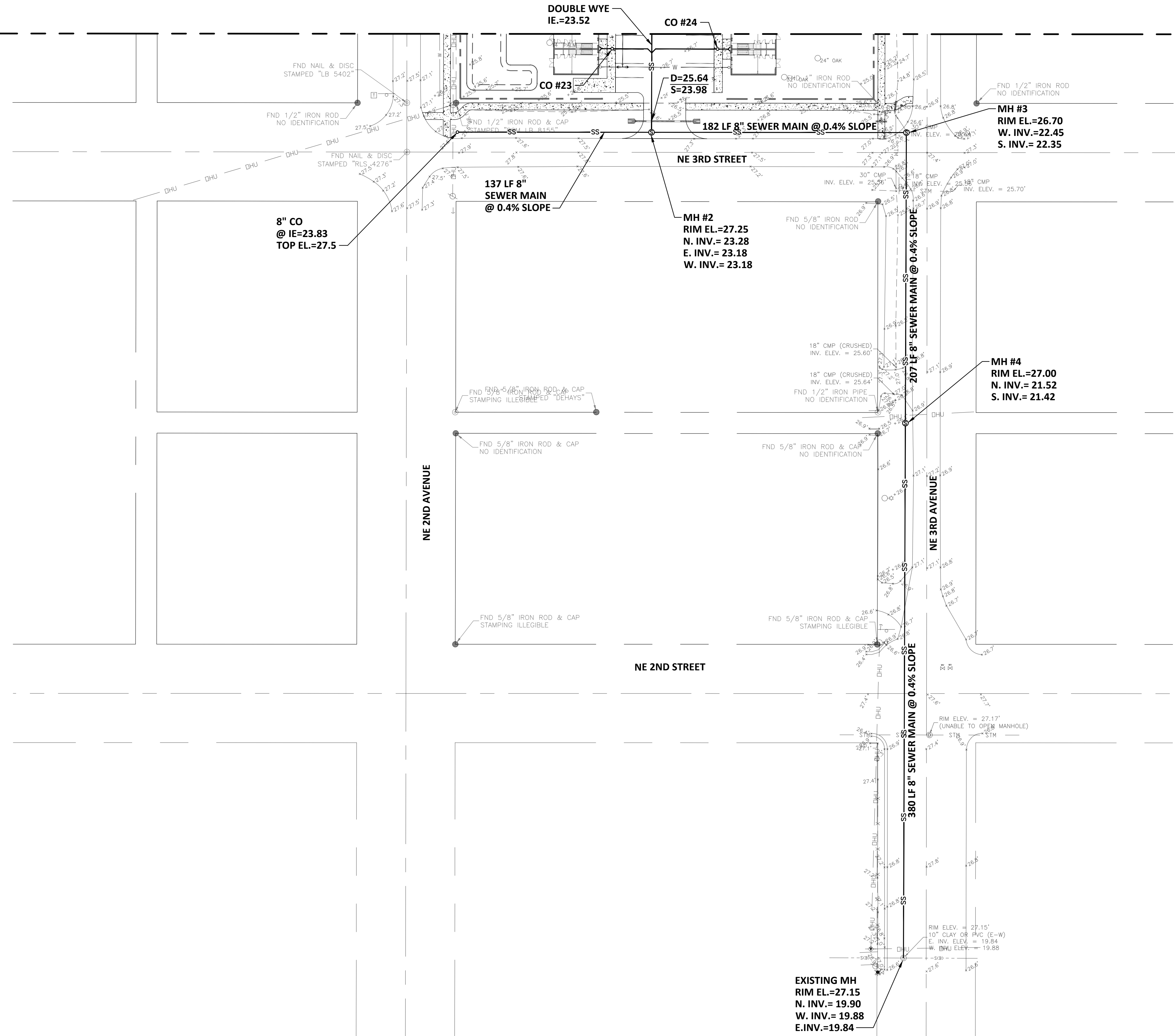
JOB No.: 2021-014  
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**LEGEND:**

- SS— PROPOSED SEWERLINE
- ⊙ PROPOSED SEWER MANHOLE

MATCHLINE SEE SHEET C402



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**GLENWOOD PARK APARTMENT COMPLEX**  
LOCATED IN THE CITY OF OKEECHOBEE

**SEWER ROUTING ALONG 3RD STREET**

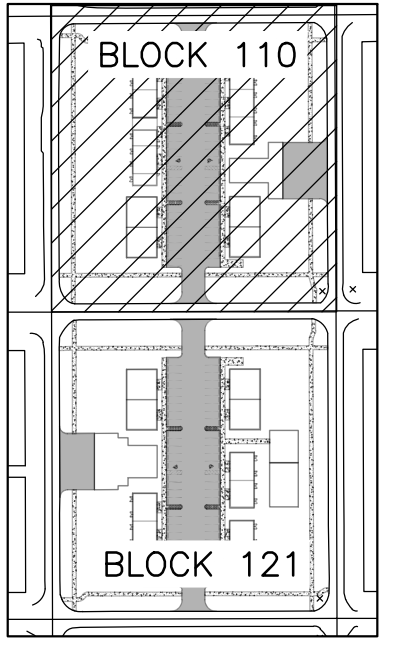
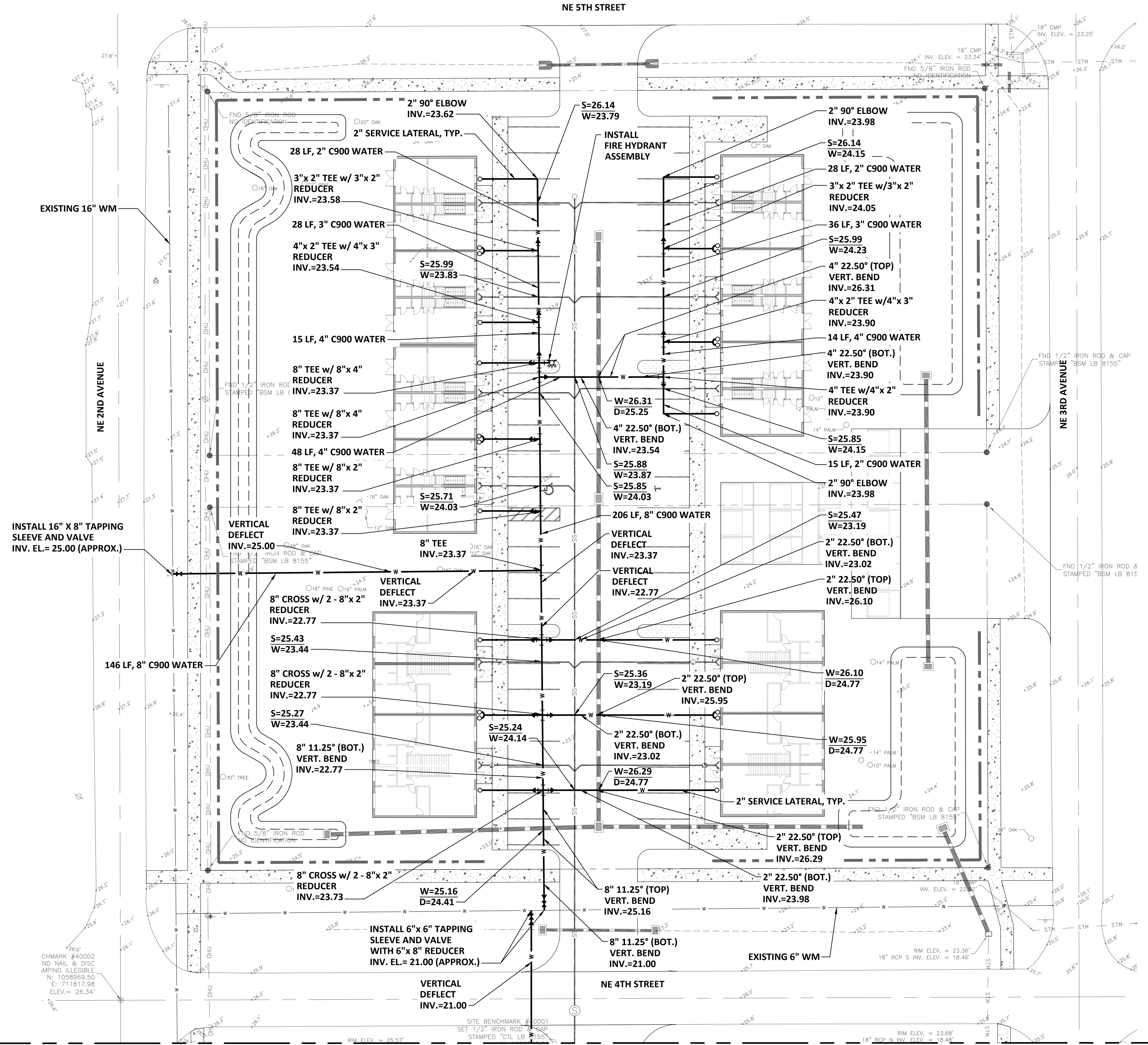
CALL 48 HOURS BEFORE YOU DIG IN FLORIDA, IT'S THE LAW

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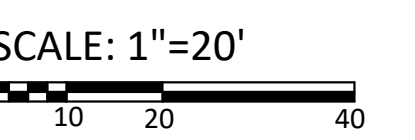
JOB No.: 2021-014  
SHEET  
**C403** OF **19**

**LEGEND:**

- SS— PROPOSED SEWERLINE
- ⊙ PROPOSED SEWER MANHOLE
- — — PROPOSED DRAIN PIPE
- PROPOSED DRAIN INLET




**KEY MAP**  
SCALE: 1/2"=20'



MATCHLINE SEE SHEET C402

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**GLENWOOD PARK  
APARTMENT COMPLEX**  
LOCATED IN THE CITY OF OKEECHOBEE

**BLOCK 110  
OVERALL WATERLINE PLAN**

CALL 48 HOURS BEFORE  
YOU DIG IN FLORIDA, IT'S THE LAW

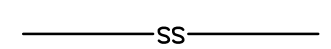





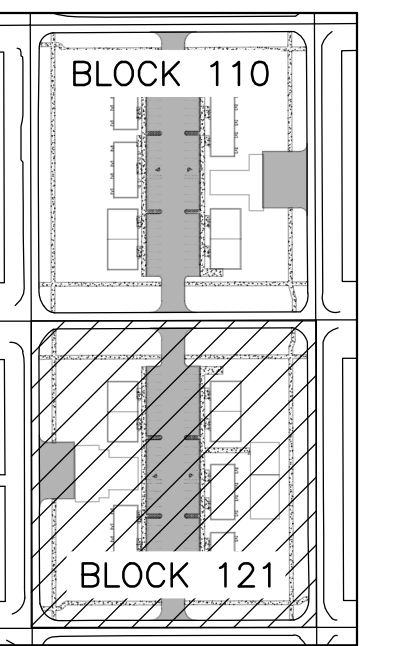
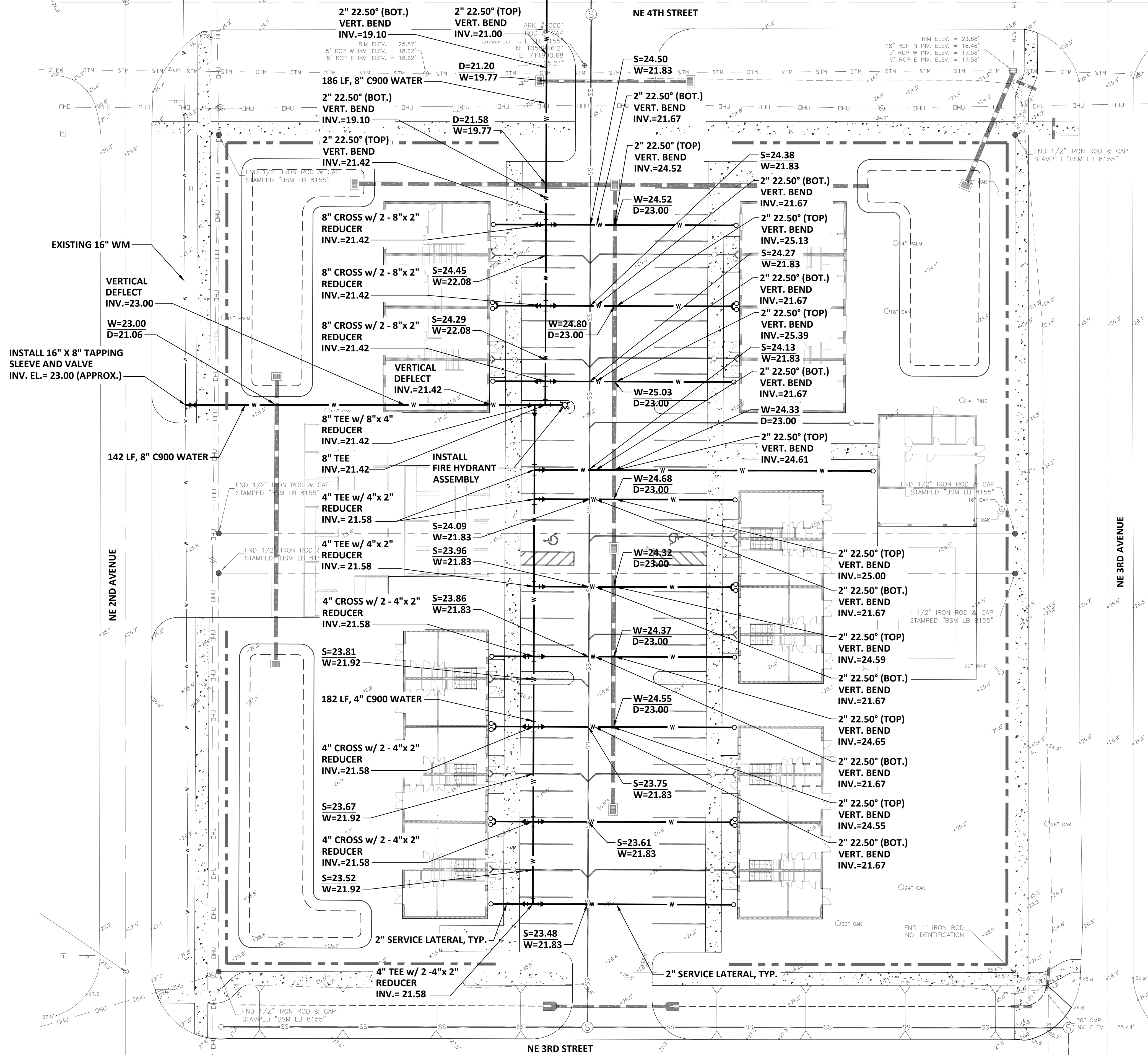
of Florida, Inc.

JOB No.: 2021-014  
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C501 OF 19

MATCHLINE SEE SHEET C401

**LEGEND:**

-  PROPOSED SEWERLINE
-  PROPOSED SEWER MANHOLE
-  PROPOSED DRAIN PIPE
-  PROPOSED DRAIN INLET



KEY MAP  
SCALE: 1/2"=20'

SCALE: 1"=20'  
0 10 20 40

MATCHLINE SEE SHEET C403

**Steven L. Dobbs Engineering, LLC**  
 1062 JAKES WAY  
 Okeechobee, FL 34974  
 Phone: (863) 824-7644

FLORIDA CERTIFICATE OF AUTHORIZATION No. 00029206

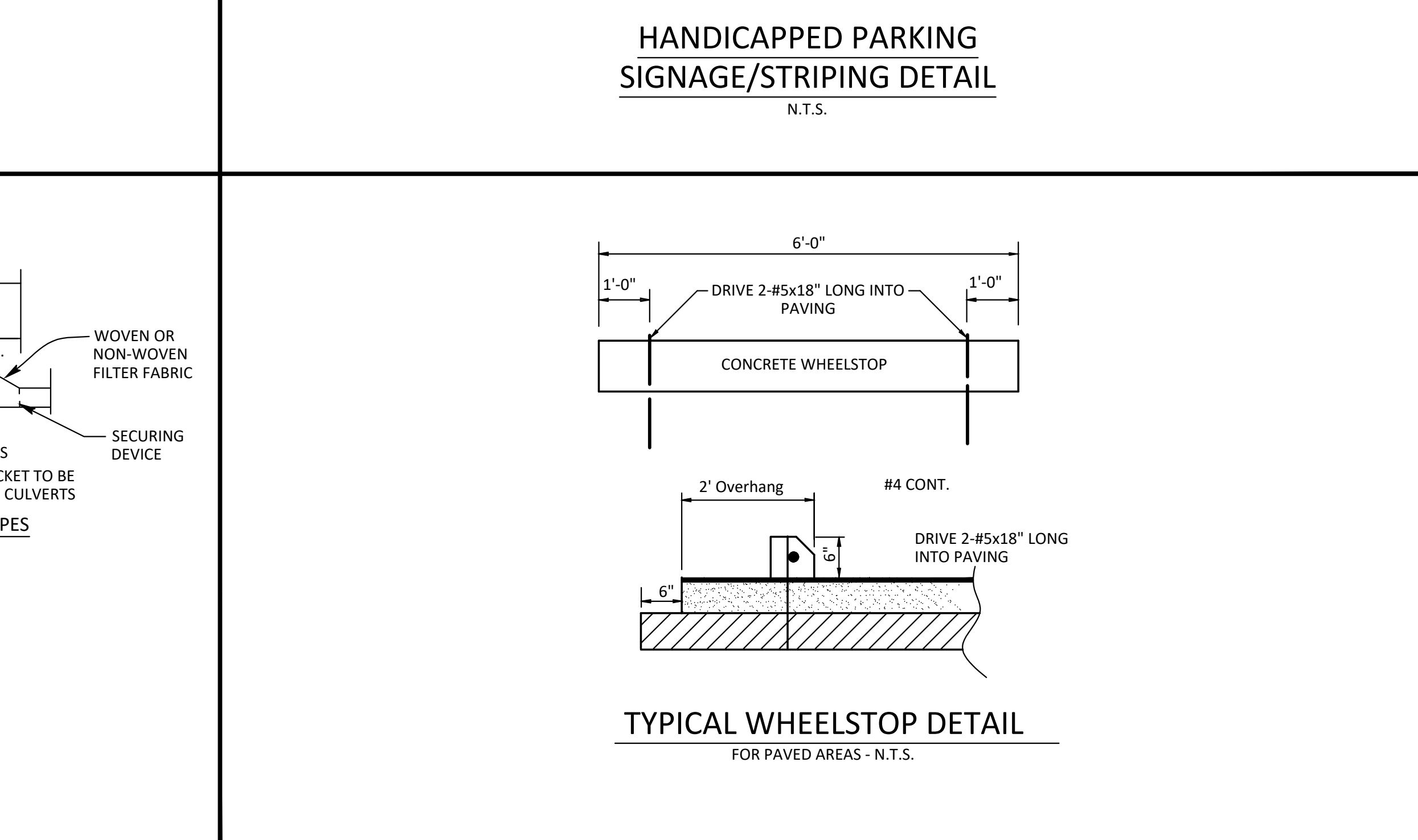
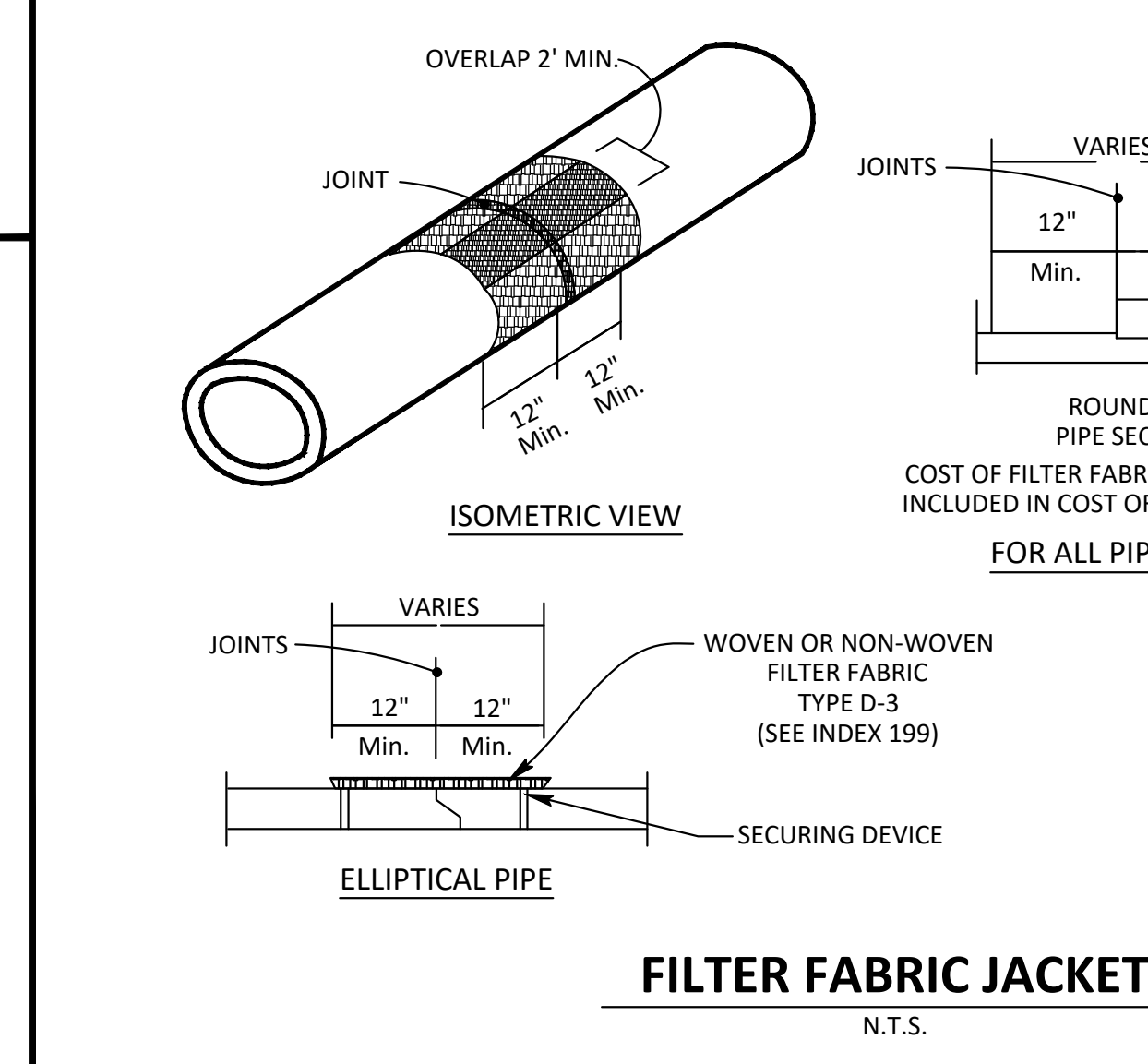
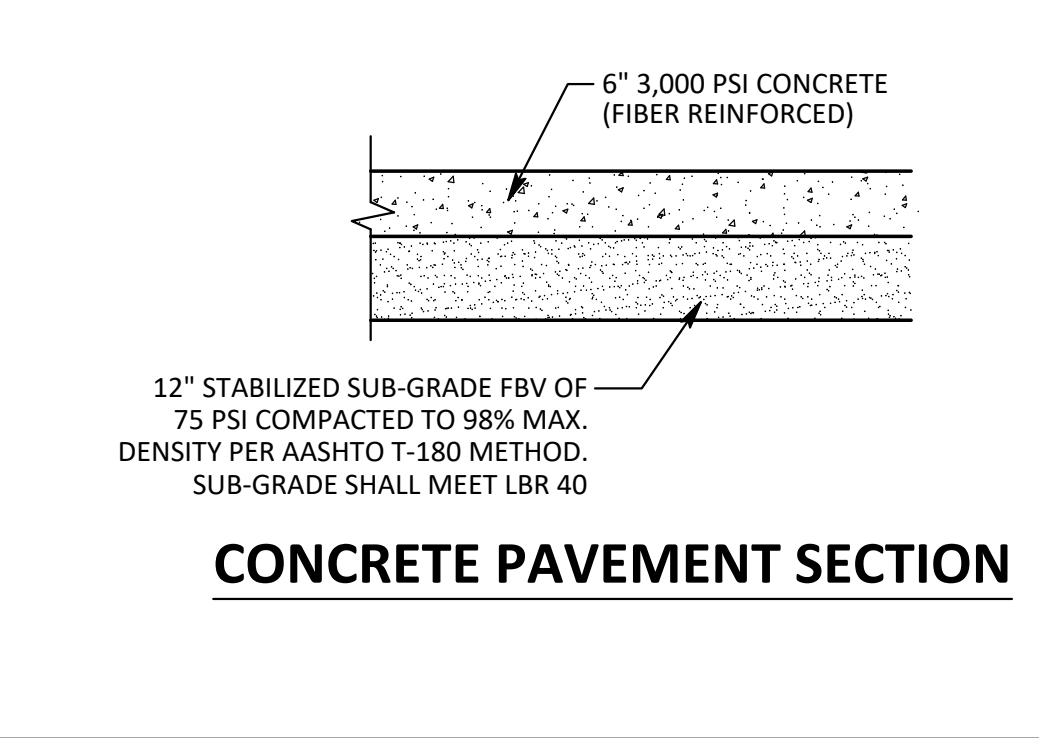
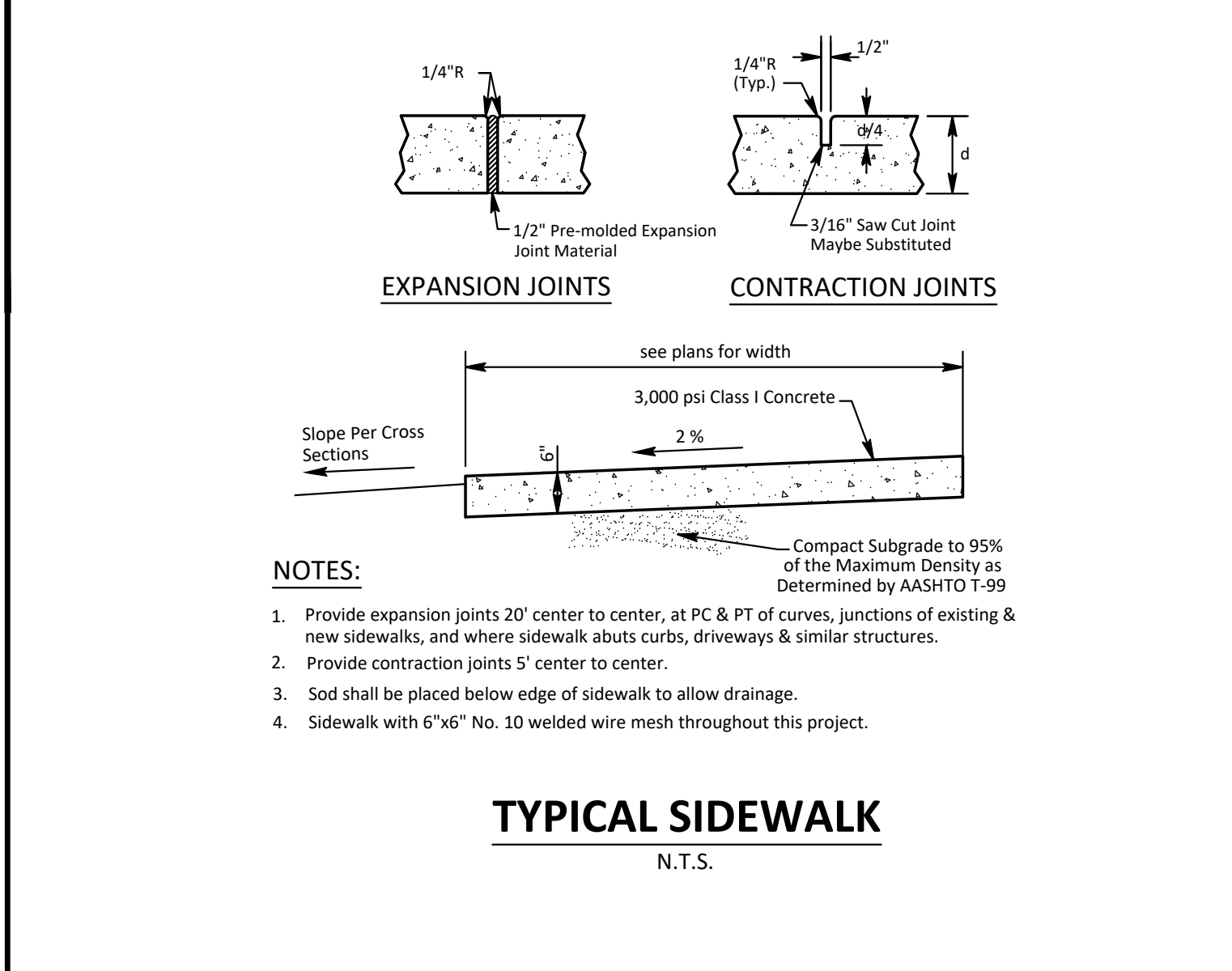
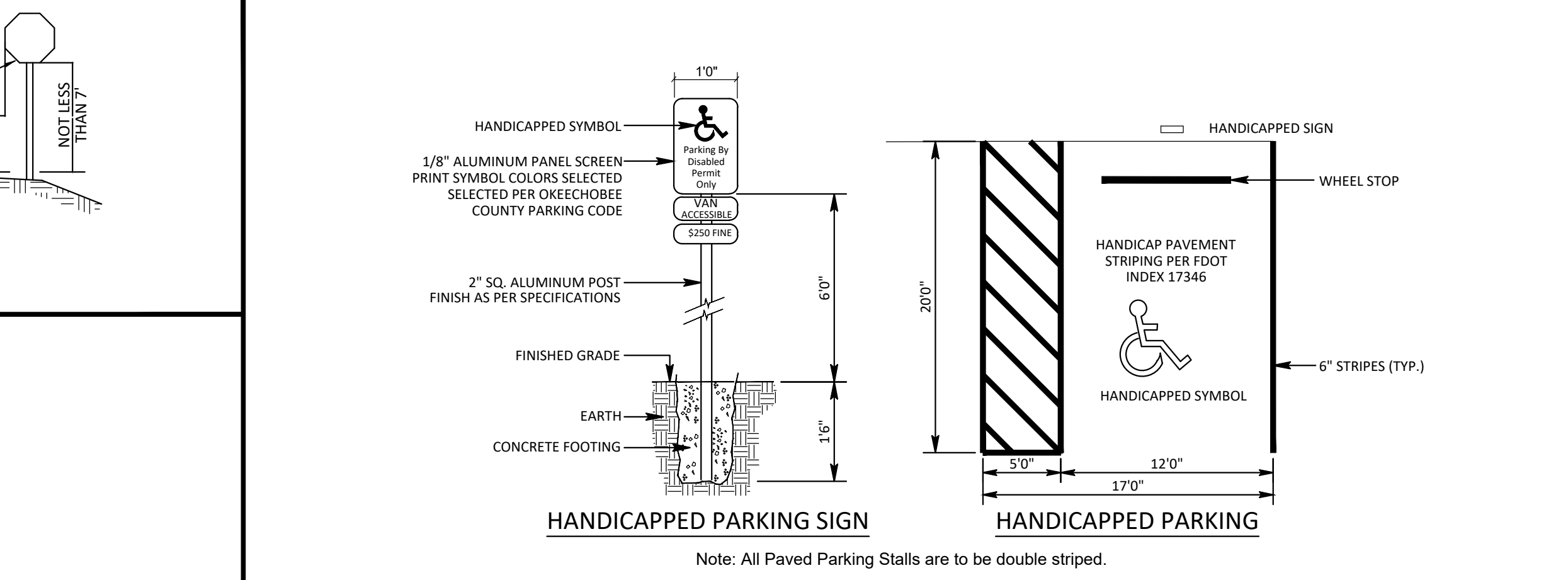
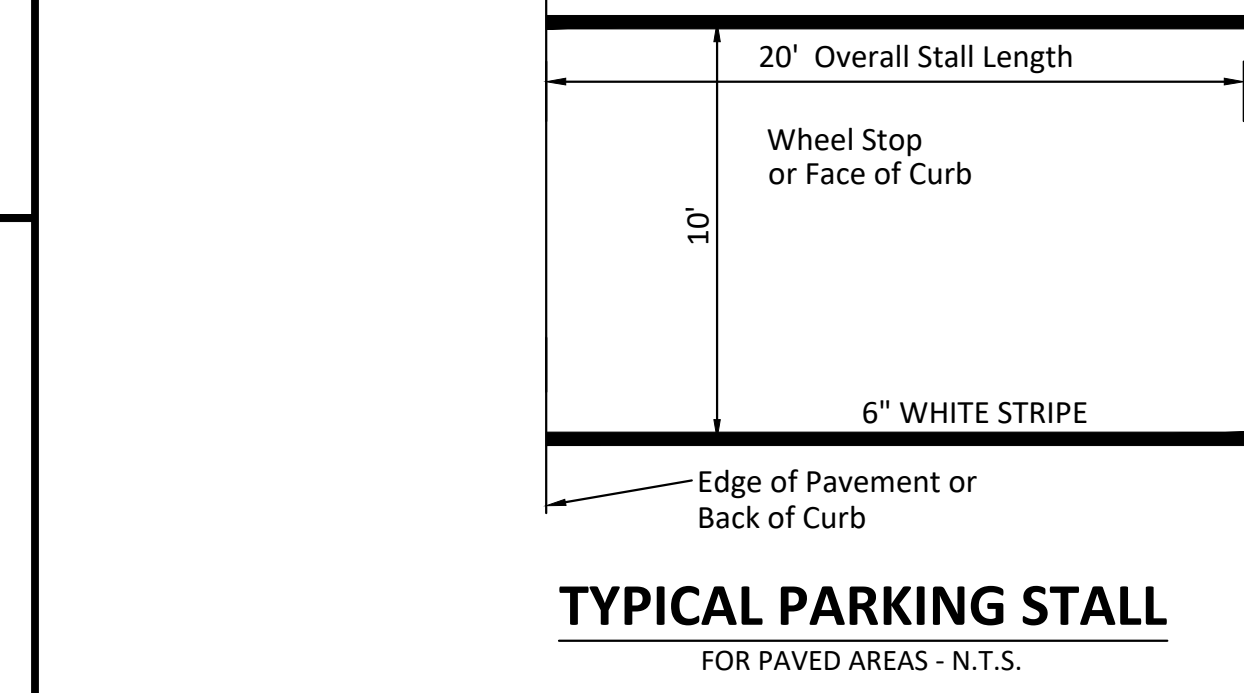
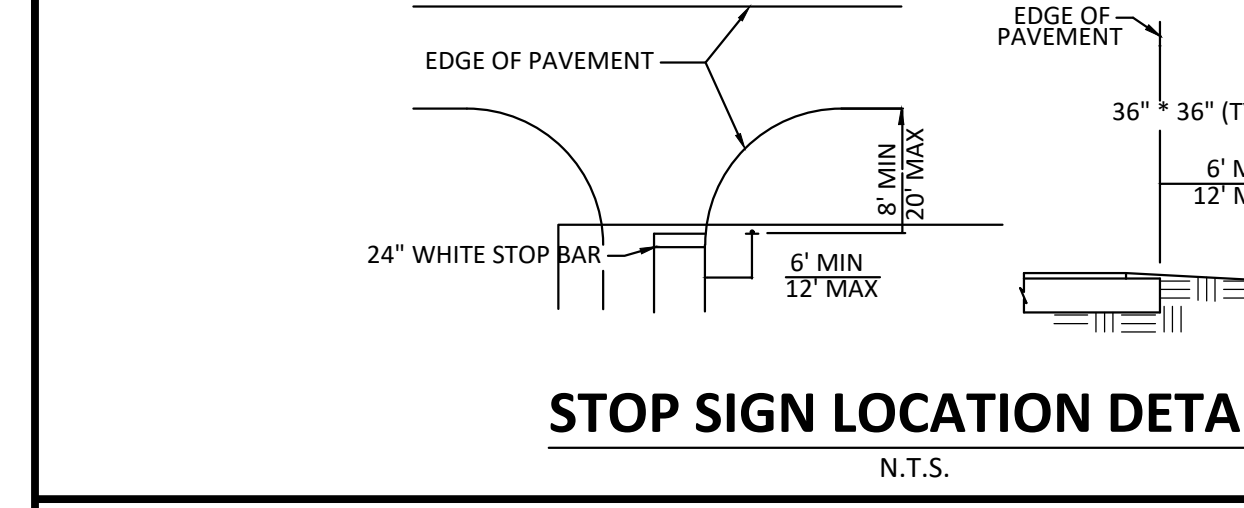
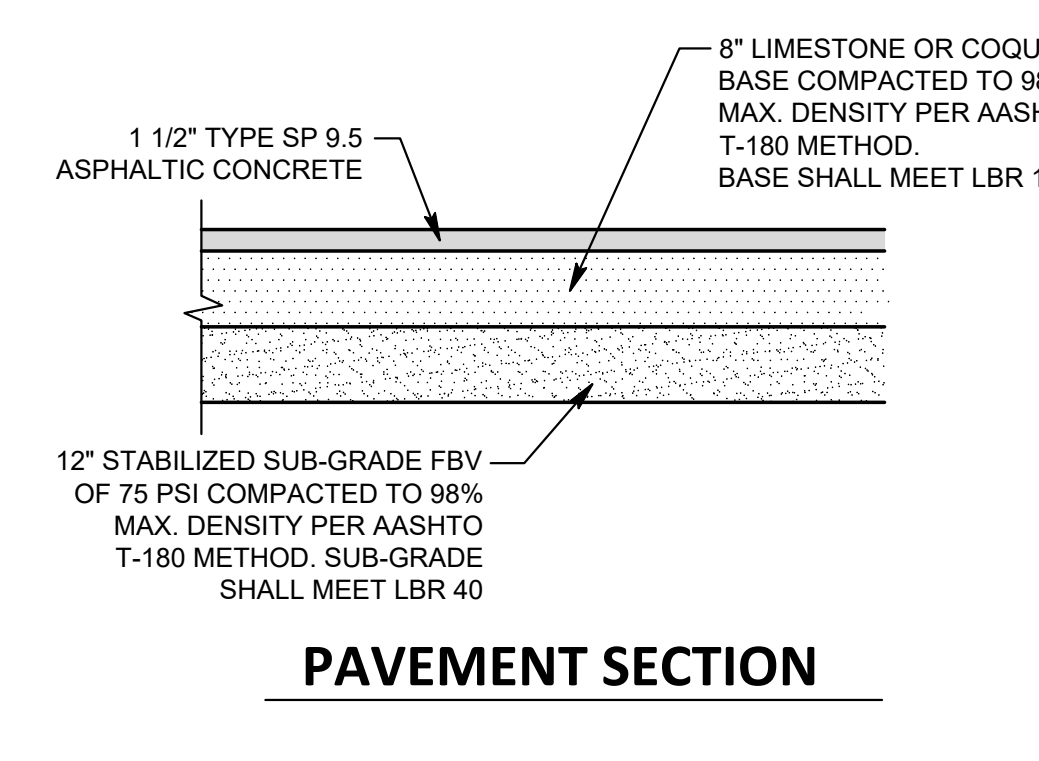
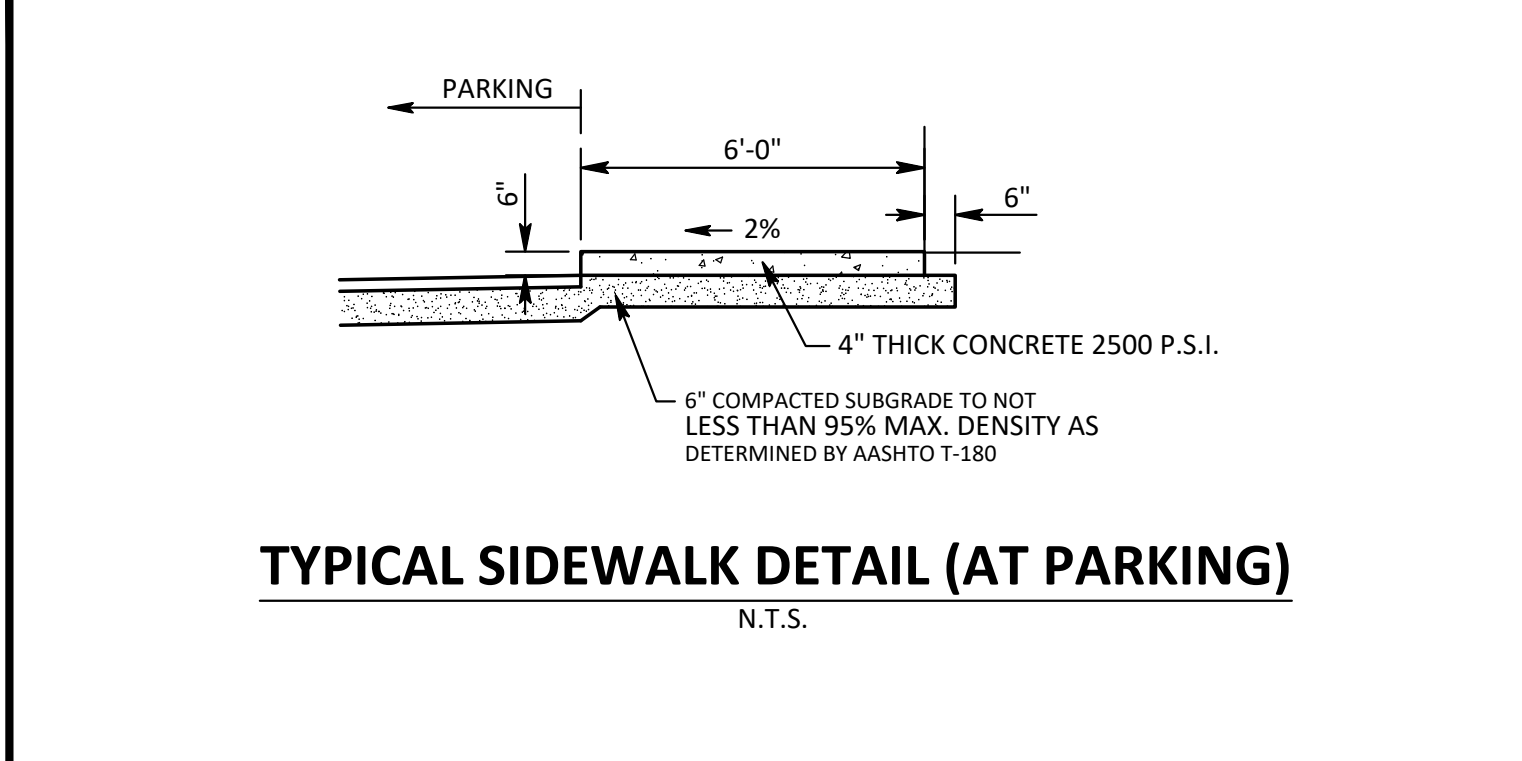
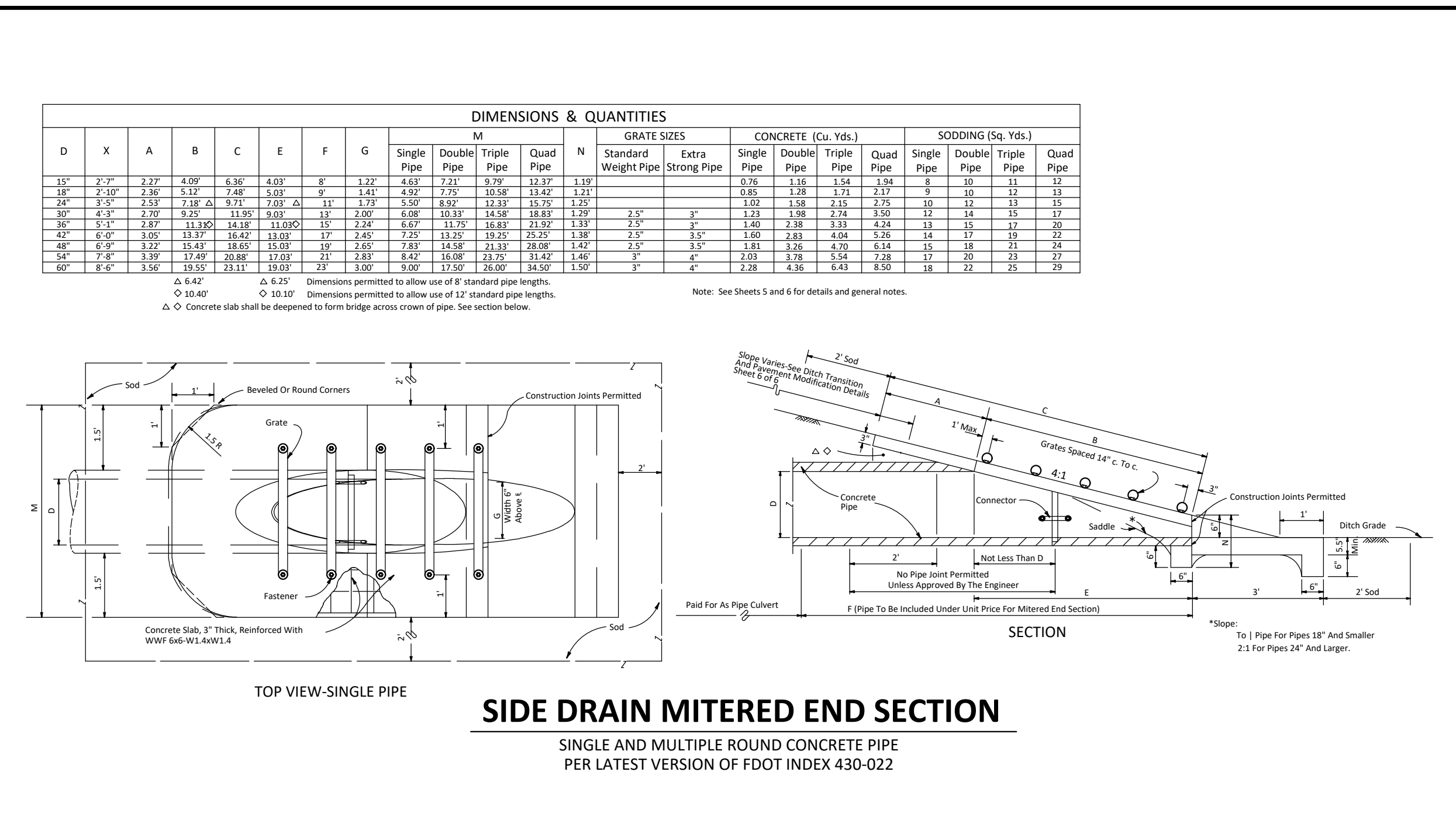
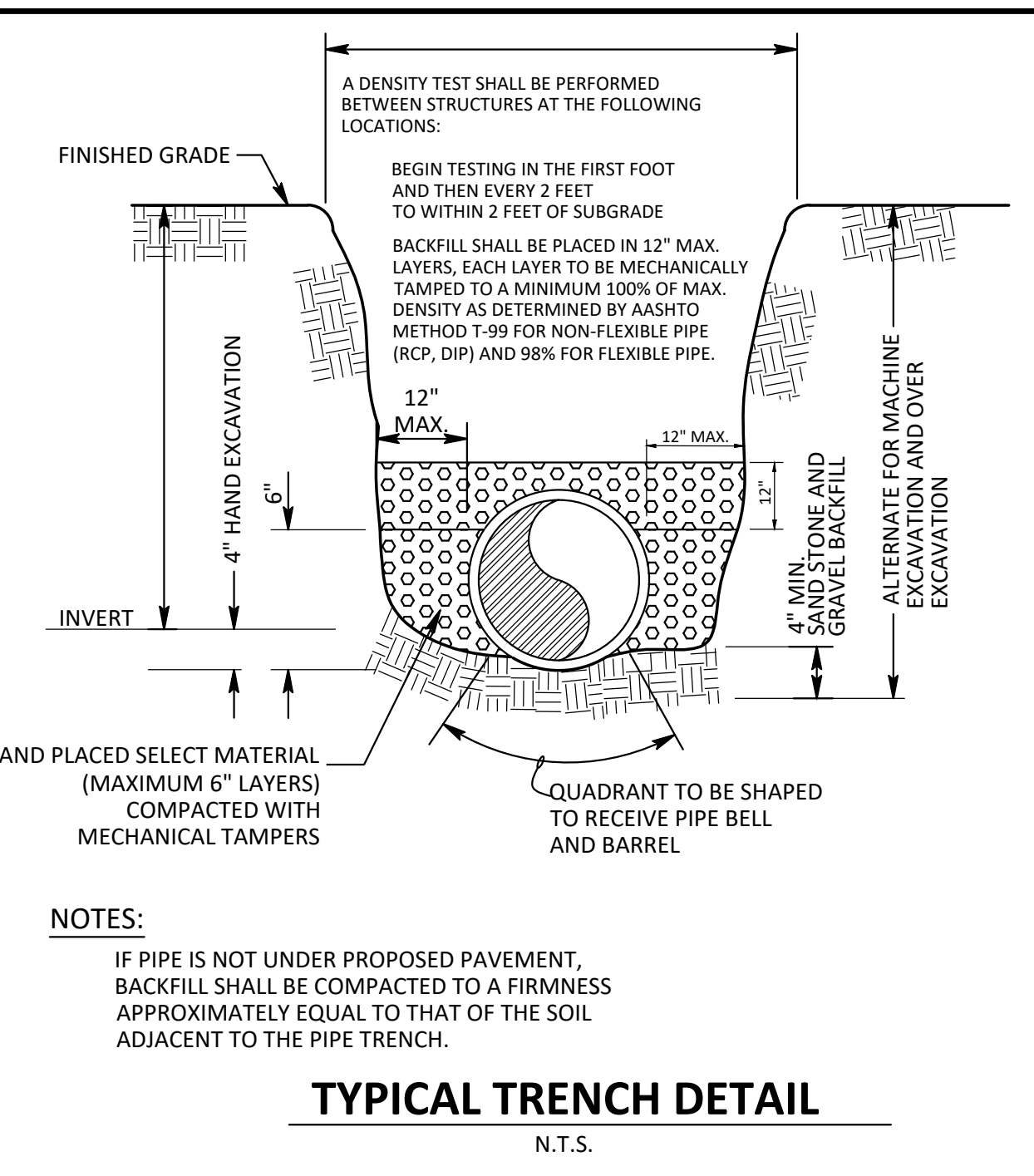
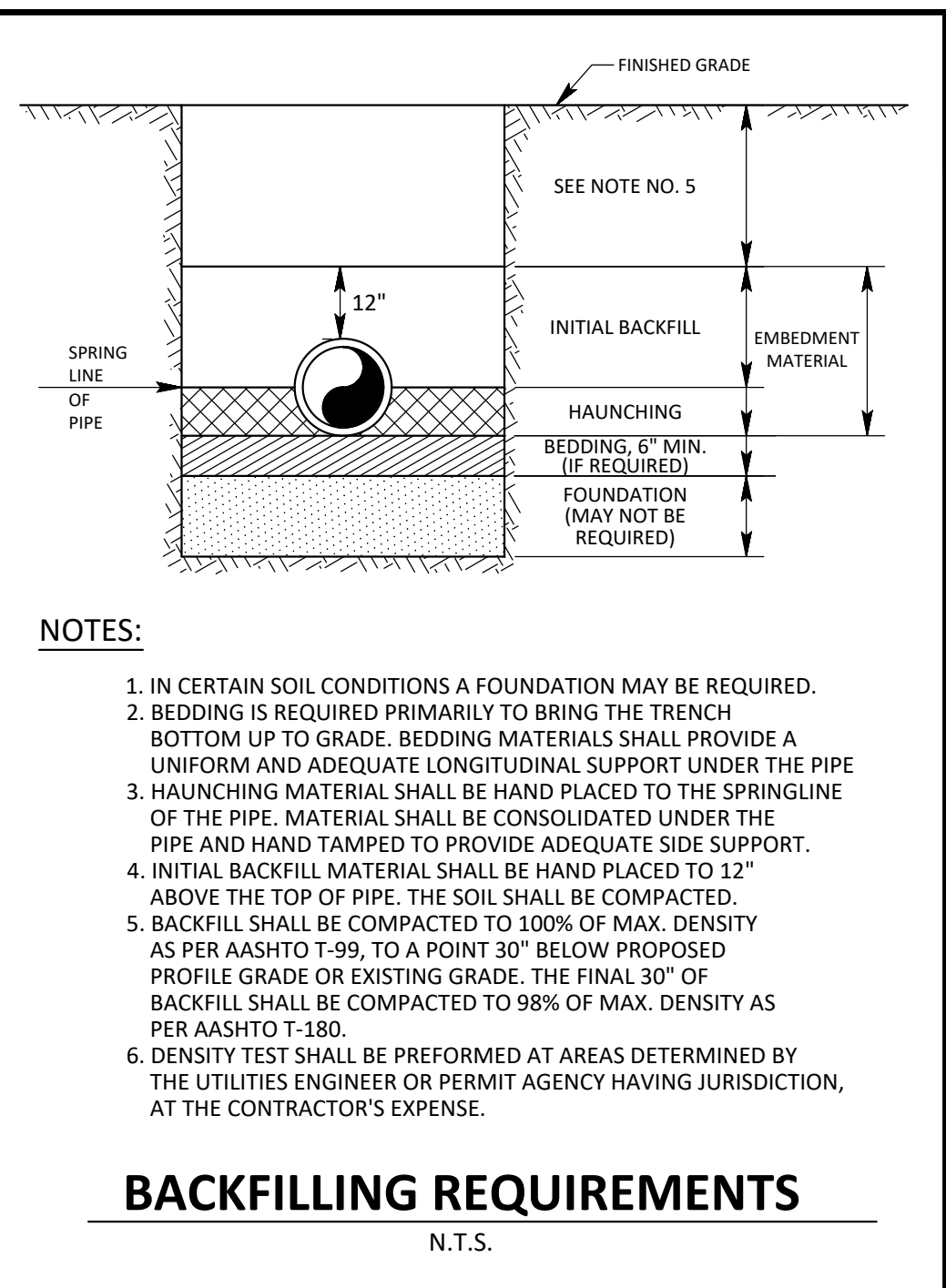
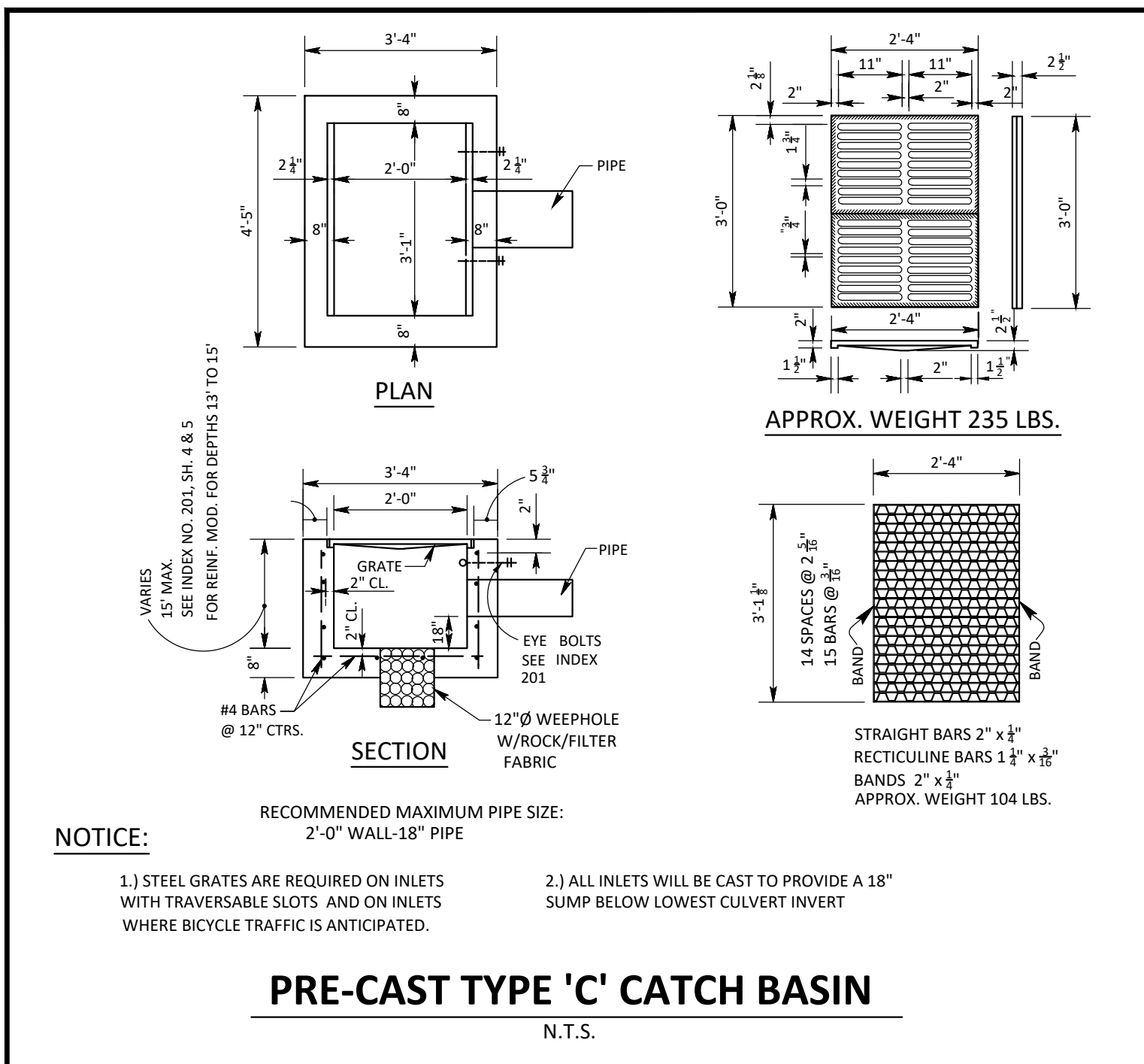
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**GLENWOOD PARK APARTMENT COMPLEX**  
 LOCATED IN THE CITY OF OKEECHOBEE

**BLOCK 121**  
**OVERALL WATERLINE PLAN**



JOB No.: 2021-014  
 SHEET  
**C502 OF 19**



**Steven L. Dobbs Engineering, LLC**  
1062 JAKES WAY  
Okeechobee, FL 34974  
Phone: (863) 824-7644

FLORIDA CERTIFICATE OF AUTHORIZATION No. 00029206

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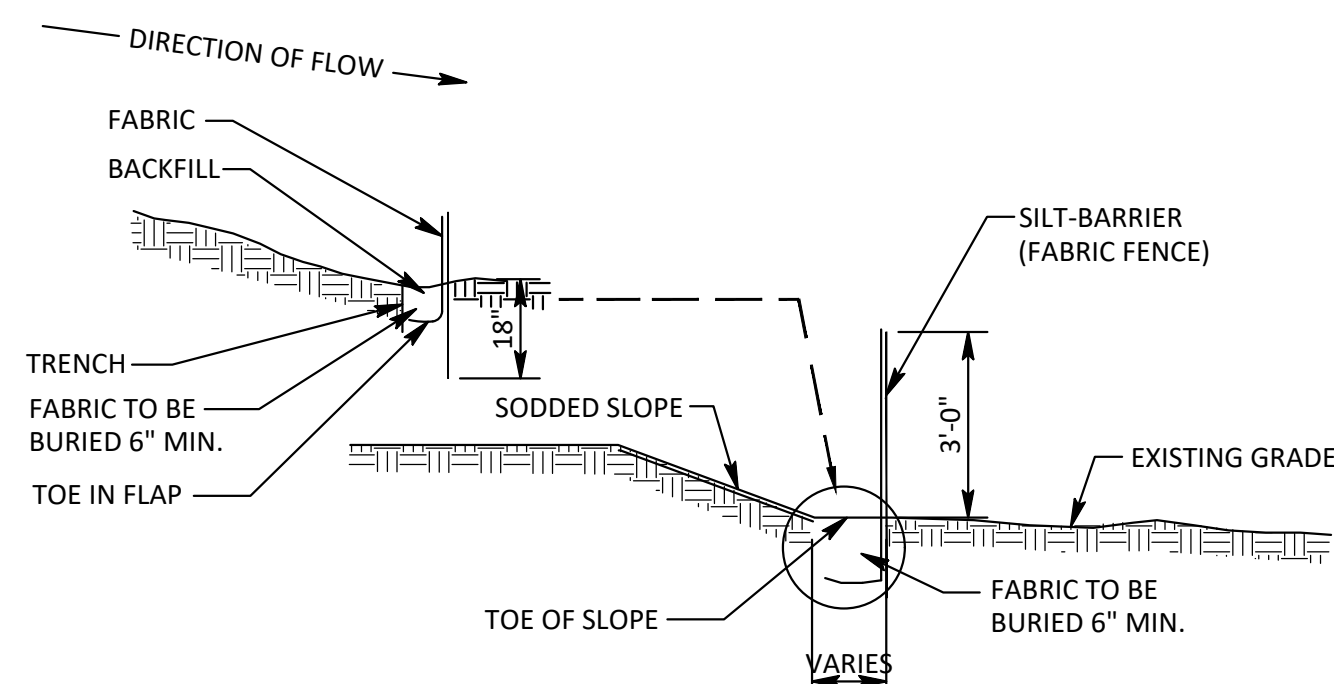
**GLENWOOD PARK APARTMENT COMPLEX**  
LOCATED IN THE CITY OF OKEECHOBEE

**DETAILS - 1**

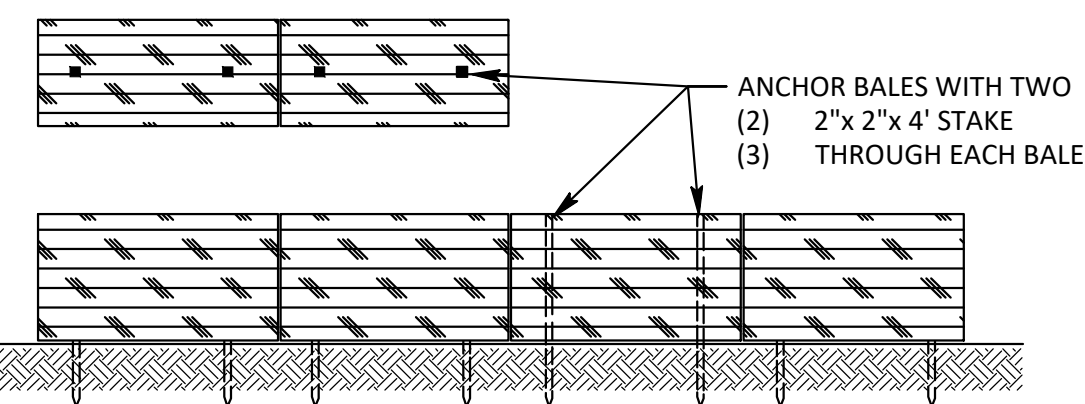
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of Florida, Inc.

JOB No.: 2021-014  
SHEET C600 OF 19



FABRIC FENCE SILT-BARRIER



BALED HAY SILT-BARRIER

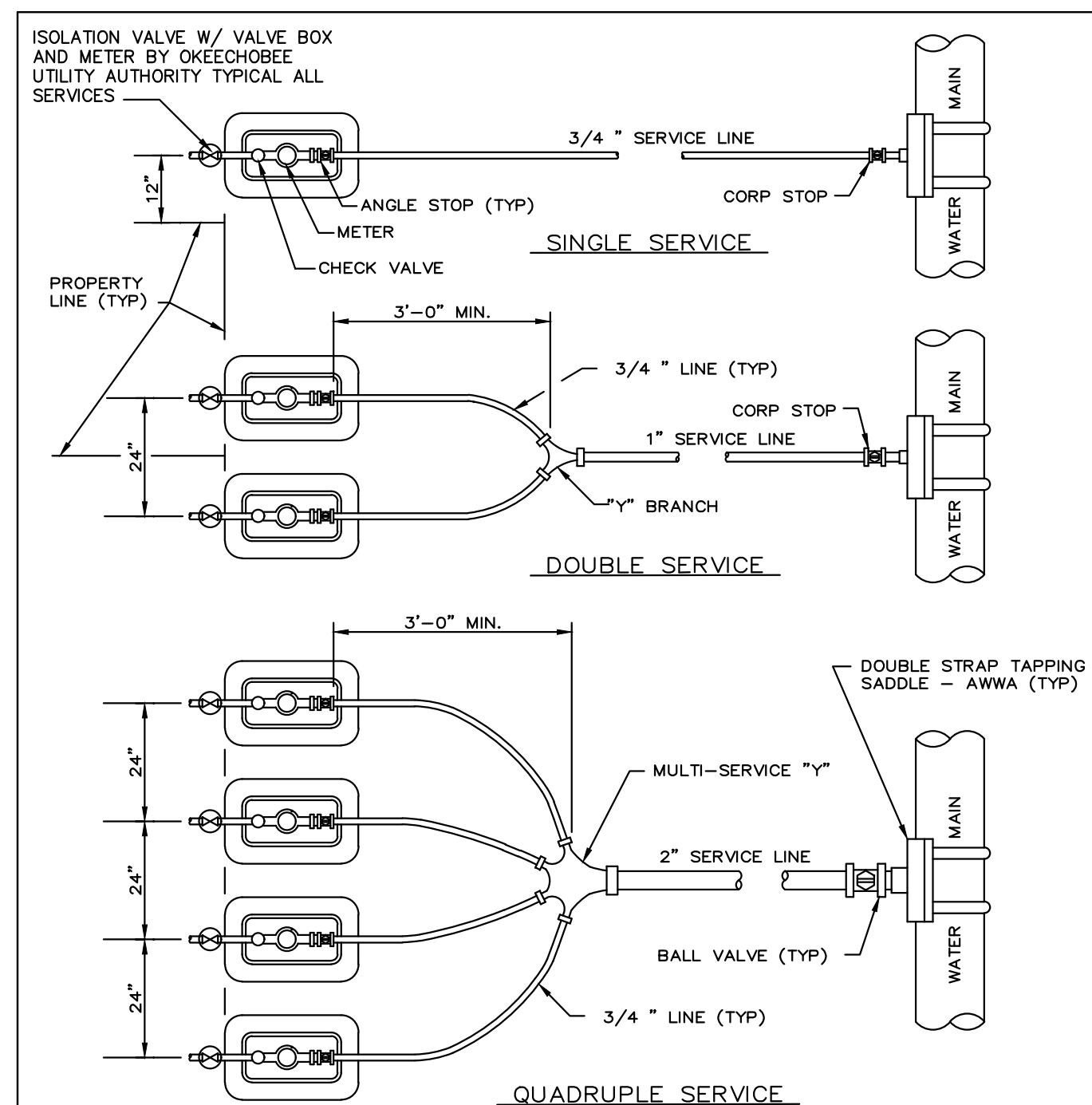
PERIMETER EROSION AND SEDIMENT CONTROL

NOTES:

1. CONTRACTOR IS REQUIRED TO PREVENT ANY SEDIMENT TRANSPORT FROM THE PROJECT SITE ON TO ADJACENT PROPERTY. INSTALLATION OF EITHER BALED HAY OR FABRIC FENCE TYPE SILT BARRIER IS ACCEPTABLE. THE BARRIER MUST REMAIN IN PLACE UNTIL UPLAND VEGETATION IS ESTABLISHED.
2. BEFORE REMOVING SILT BARRIER, CONTRACTOR SHALL COLLECT AND DISPOSE OF ANY ACCUMULATED SILT.

SILT FENCE DETAIL

N.T.S.



NOTES:

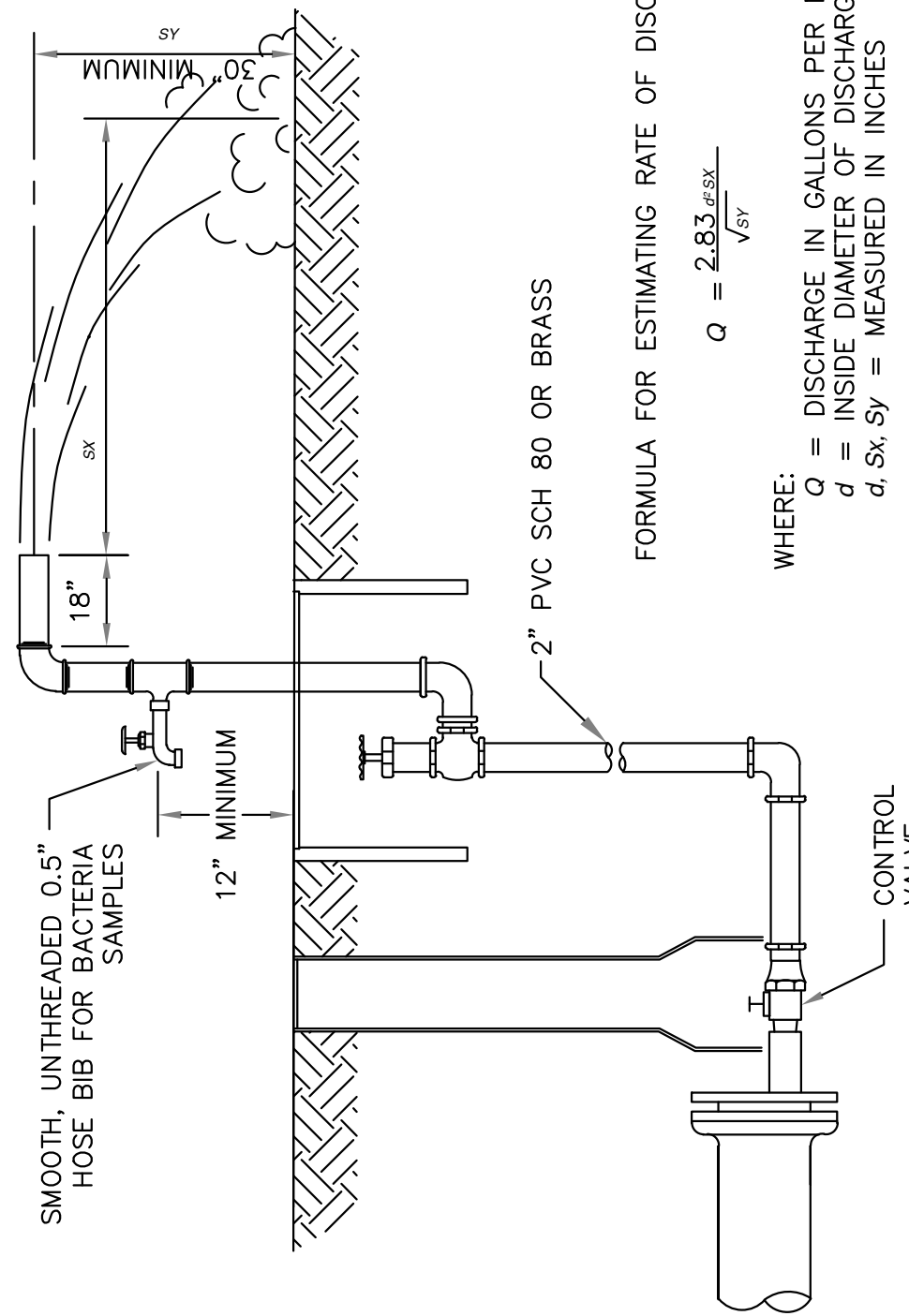
1. AUTHORIZED SERVICE LINE MATERIAL SHALL BE POLYETHYLENE TUBING.
2. MULTIPLE SERVICE/METER INSTALLATIONS OF MORE THAN 4 METERS PER SERVICE AND SERVICE LINES LARGER THAN 2\"/>

OKEECHOBEE UTILITY AUTHORITY CONSTRUCTION STANDARDS & DETAILS

REVISION OCT. 2015

TYPICAL SERVICE FOR MULTIPLE SERVICES (TWO OR MORE)

PAGE No D2



FORMULA FOR ESTIMATING RATE OF DISCHARGE

$$Q = \frac{2.83 \cdot d^2 \cdot S^{0.5}}{L \cdot C}$$

WHERE:  
 Q = DISCHARGE IN GALLONS PER MINUTE  
 d = INSIDE DIAMETER OF DISCHARGE PIPE  
 L = LENGTH OF DISCHARGE PIPE  
 C = COEFFICIENT

NOTES:

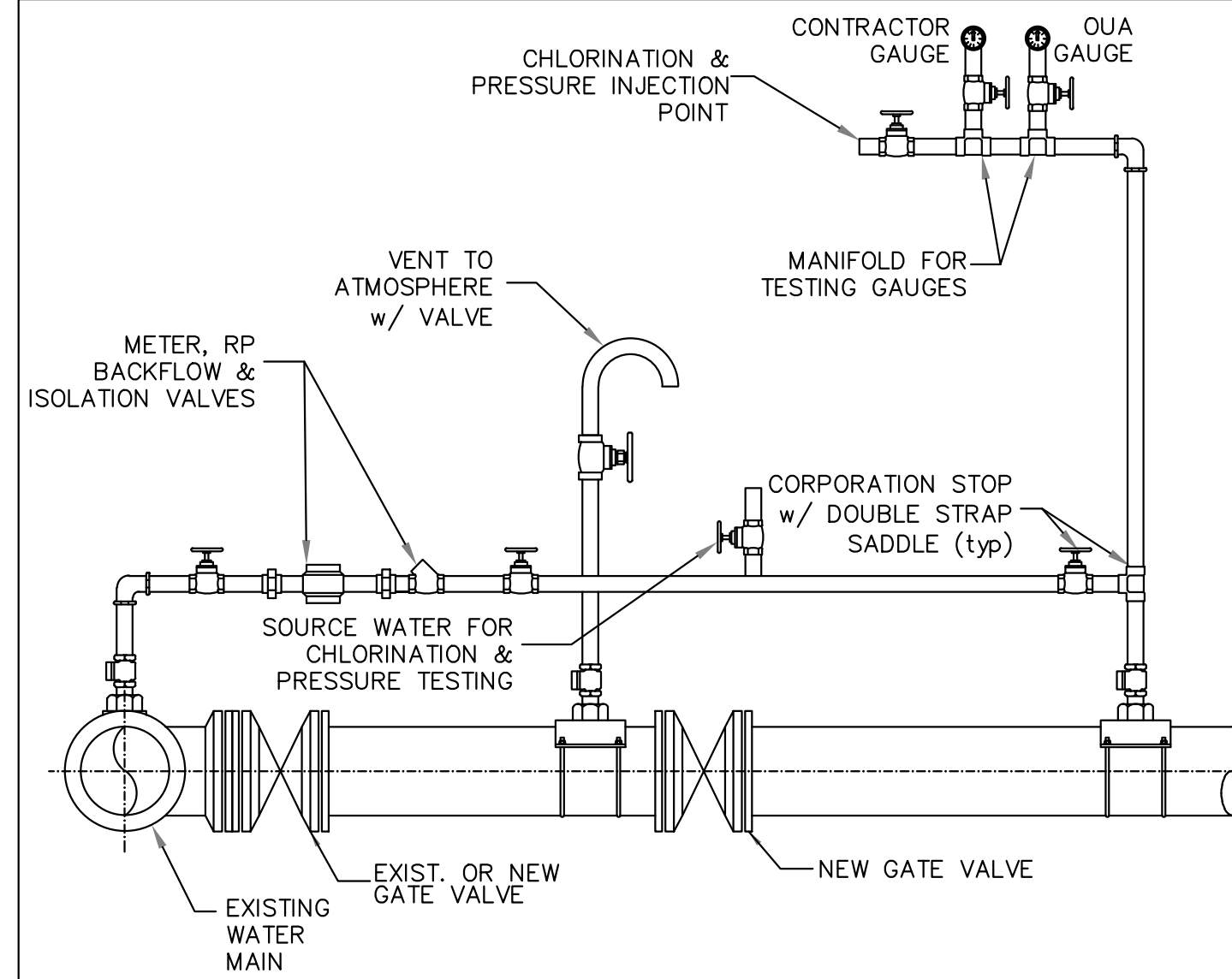
1. REFERENCE, AWWA C651.
2. THIS DETAIL APPLIES TO PIPES UP TO AND INCLUDING 8\"/>

OKEECHOBEE UTILITY AUTHORITY CONSTRUCTION STANDARDS & DETAILS

REVISION OCT. 2015

FLUSHING DETAILS

PAGE No D9A



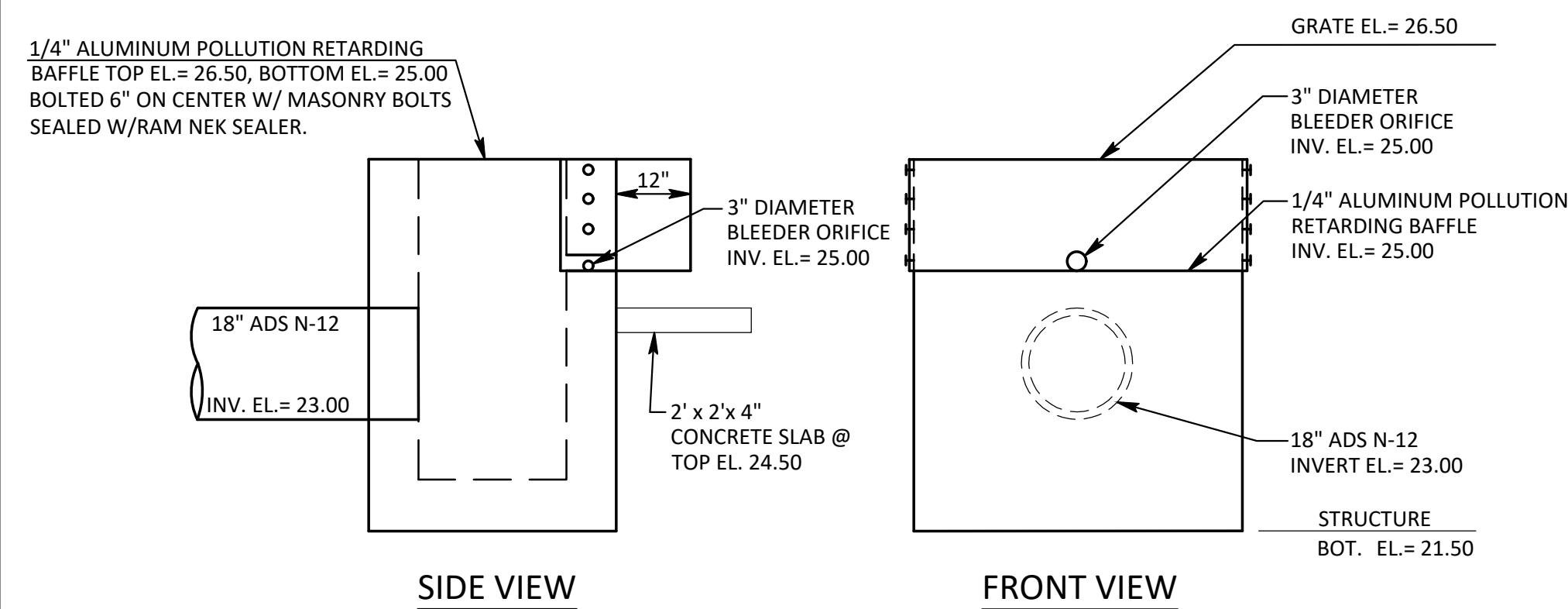
1. WATER MAIN TO BE PRESSURE TESTED AND DISINFECTED ACCORDING TO FDEP REGULATIONS, AWWA STANDARDS AND OUA REQUIREMENTS.
2. BACTERIOLOGICAL TESTING IS TO BE PERFORMED BY CONTRACTOR WITH PRIOR NOTIFICATION OF TESTING TO OUA PERSONNEL.
3. DO NOT REMOVE TEMPORARY CONNECTION UNTIL ALL TESTING HAS BEEN COMPLETED.
4. PROVIDE ALL NECESSARY THRUST BLOCKS OR OTHER RESTRAINTS.
5. FILLING AND FLUSHING LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR AND WITH APPROVAL OF ENGINEER AND/OR OUA.
6. MAIN LINE VALVE TO BE OPENED BY OUA PERSONNEL ONLY AND OPENED FOR CANNON FLUSHING OF NEW PIPING SYSTEM.

OKEECHOBEE UTILITY AUTHORITY CONSTRUCTION STANDARDS & DETAILS

REVISION OCT. 2015

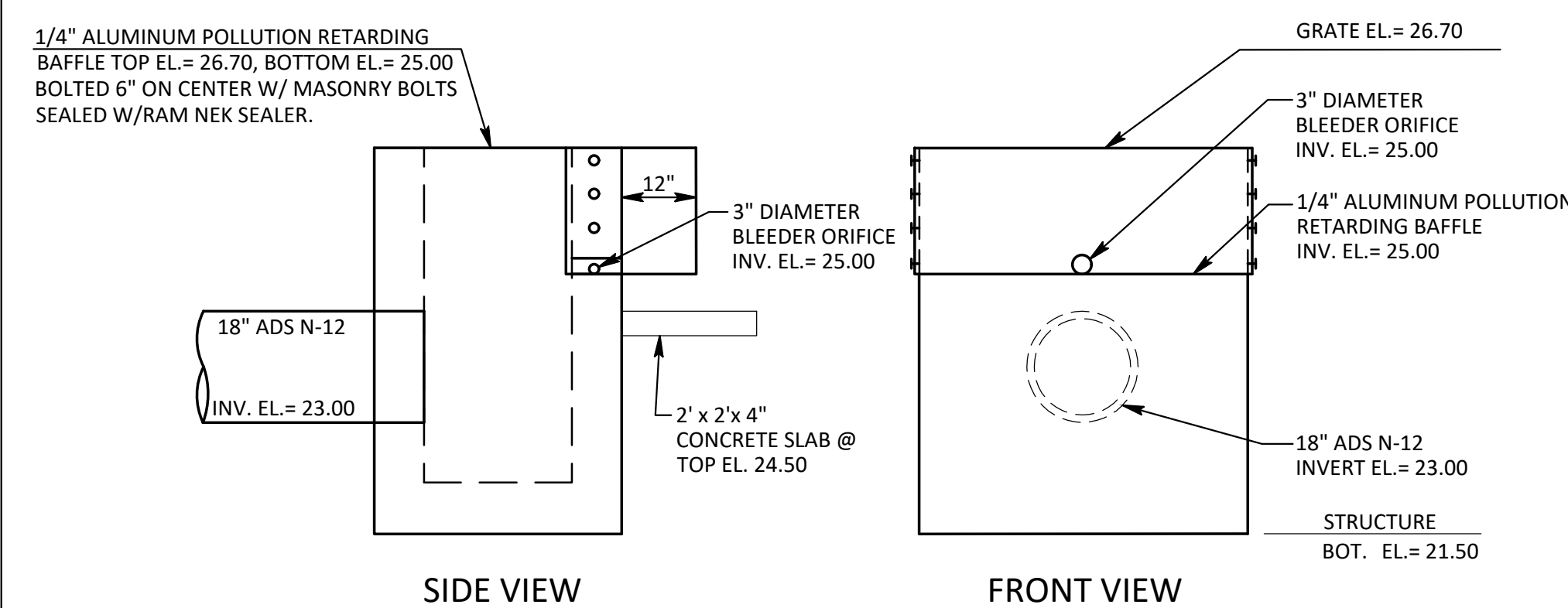
FILLING, DISINFECTING AND TESTING DETAILS

PAGE No D10



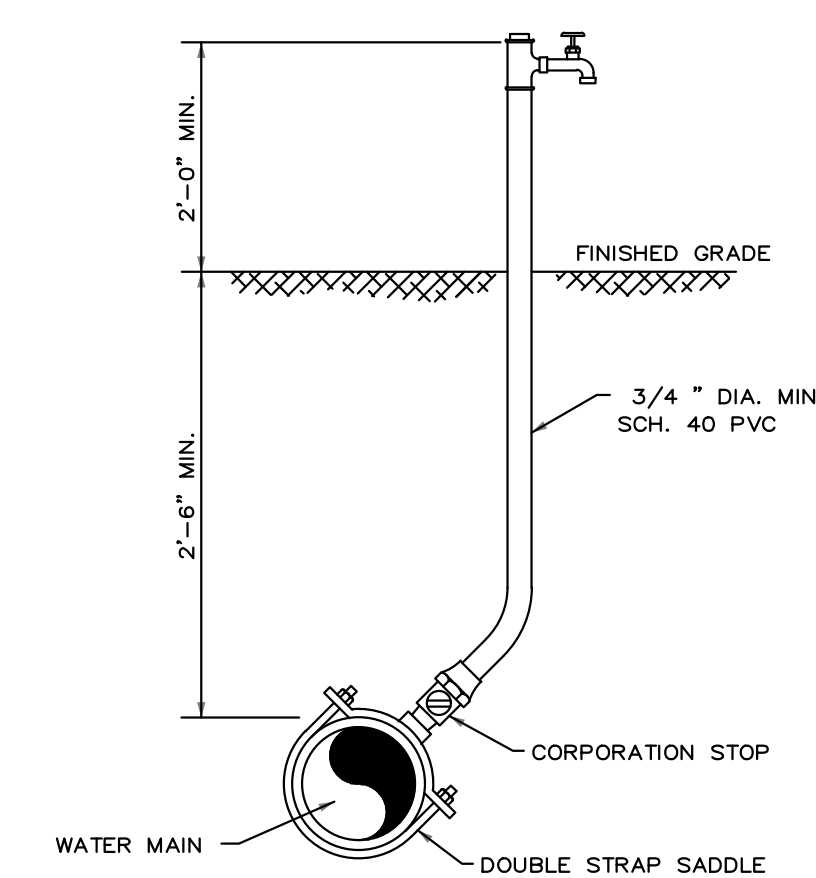
CONTROL STRUCTURE CS-1 TYPE "C" INLET (MODIFIED)

N.T.S.



CONTROL STRUCTURE CS-2 TYPE "C" INLET (MODIFIED)

N.T.S.



NOTES:

1. SAMPLE POINT SHOULD BE ON A SERVICE LINE OR FIRE HYDRANT IF POSSIBLE.
2. SAMPLE POINT TO BE REMOVED BY CONTRACTOR AFTER PROJECT IS ACCEPTED.

OKEECHOBEE UTILITY AUTHORITY CONSTRUCTION STANDARDS & DETAILS

REVISION OCT. 2015

SAMPLING POINT (ON MAIN)

PAGE No D7

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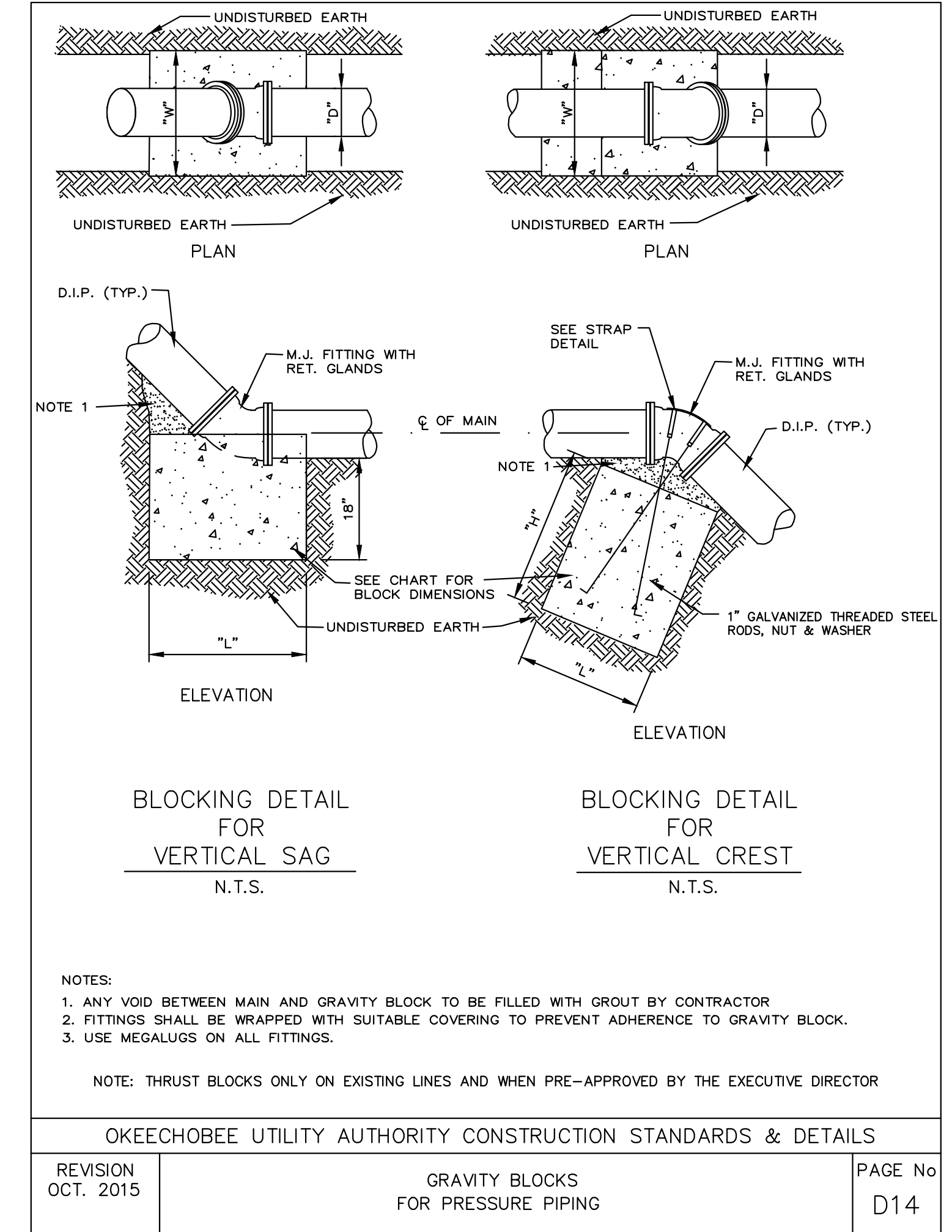
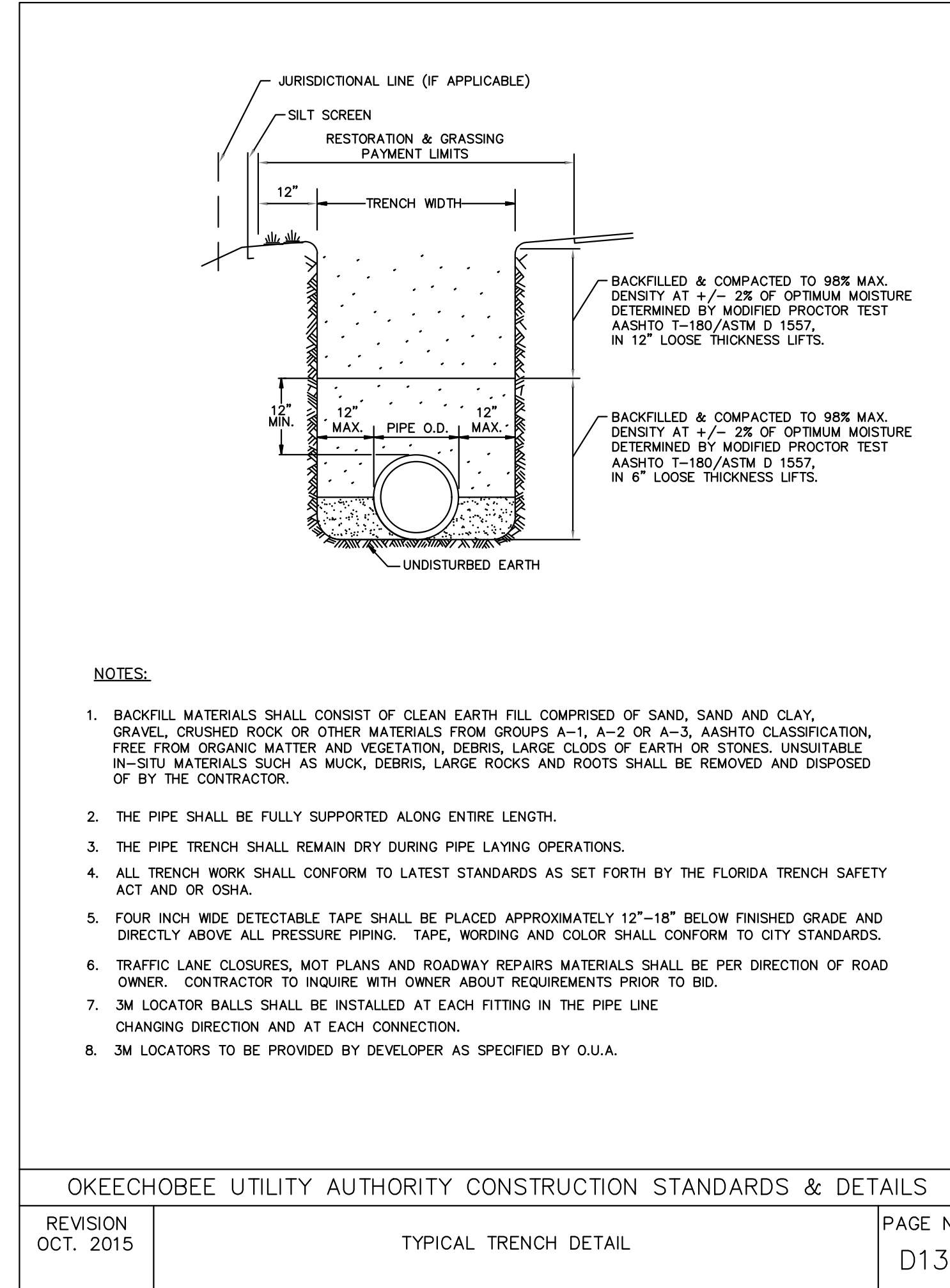
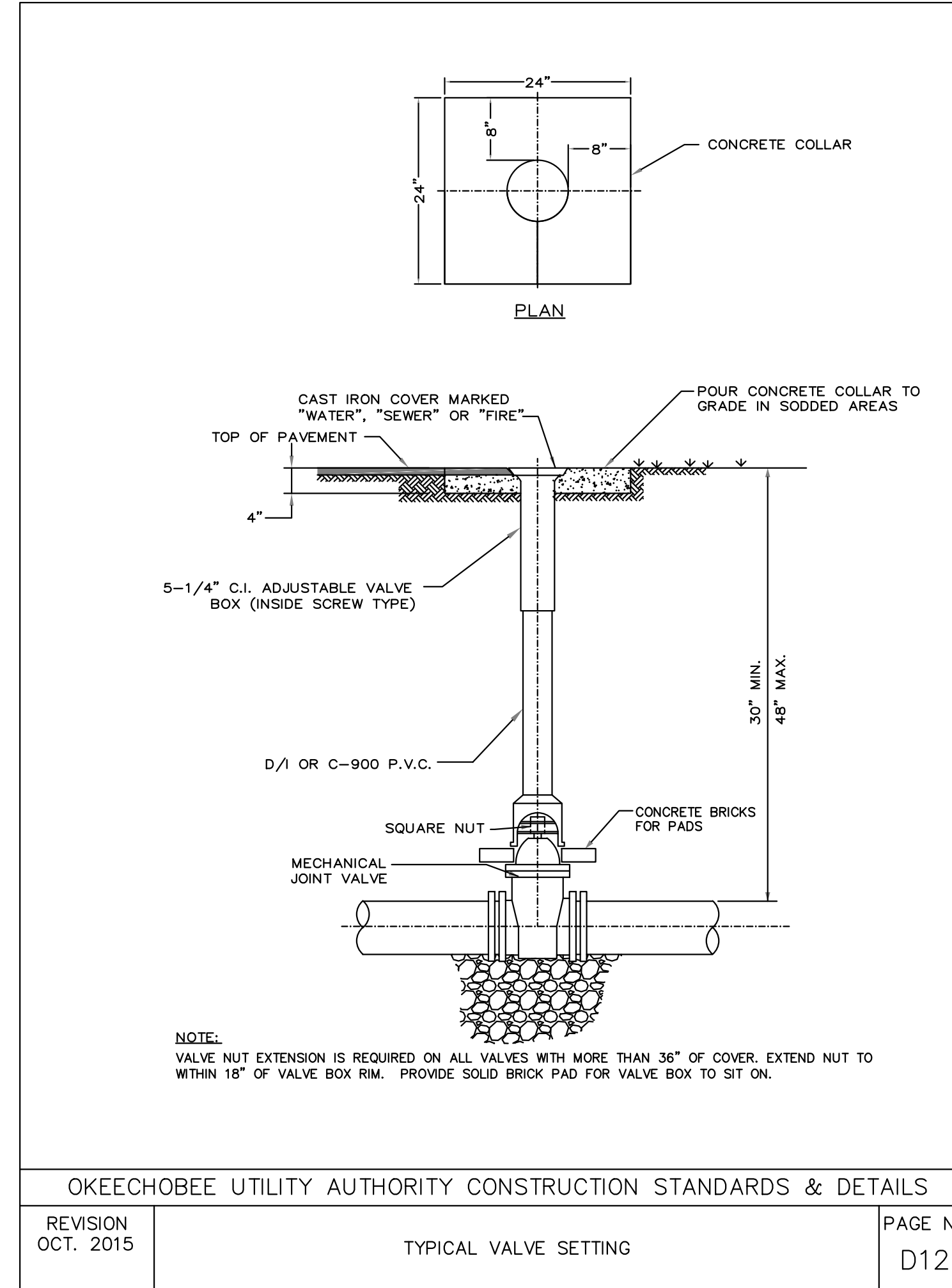
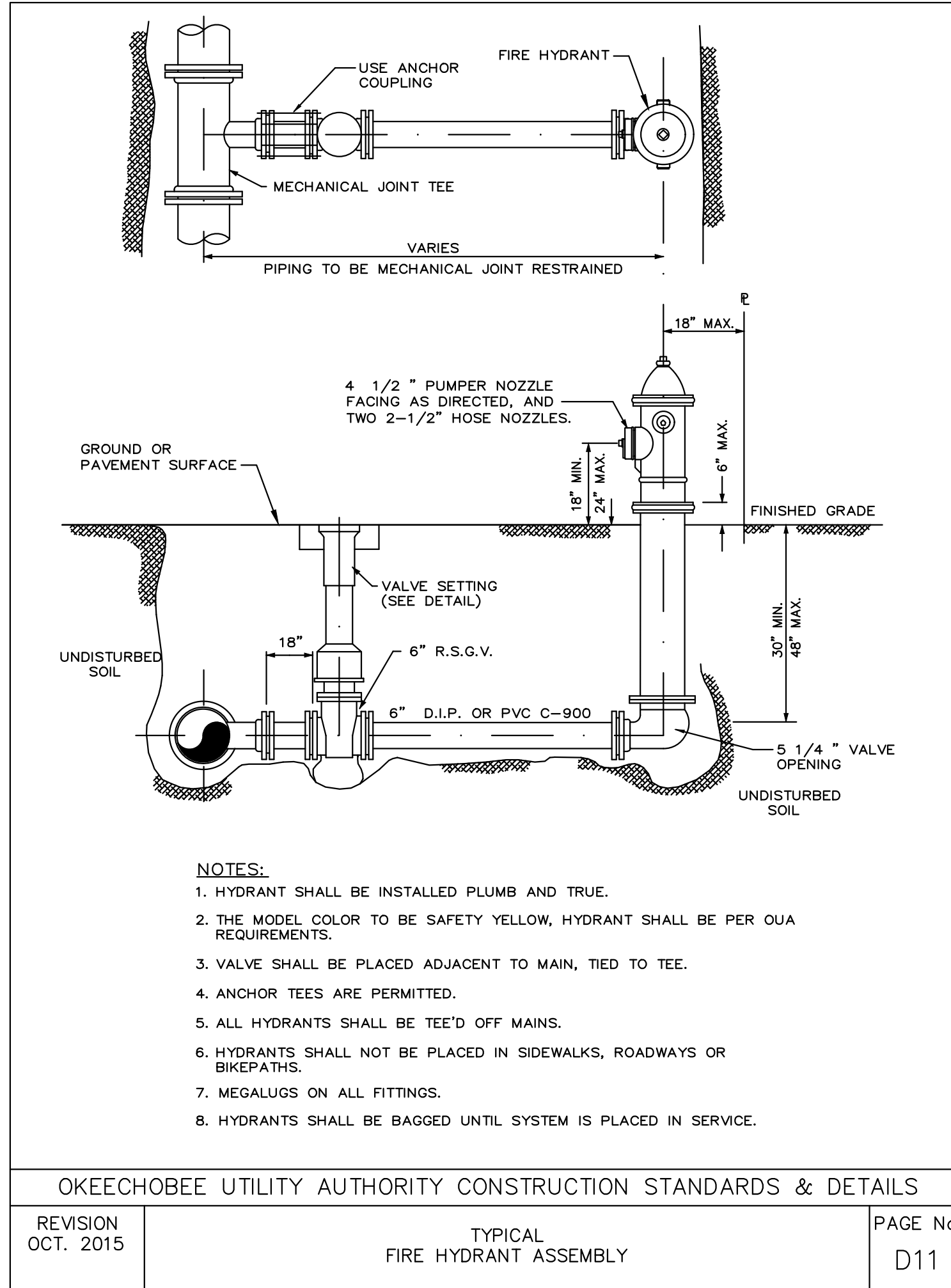
**GLENWOOD PARK APARTMENT COMPLEX**  
 LOCATED IN THE CITY OF OKEECHOBEE

**DETAILS - 2**

CALL 48 HOURS BEFORE YOU DIG IN FLORIDA, IT'S THE LAW

**Sunshine State One Call**  
 of Florida, Inc.

JOB No.: 2021-014  
 SHEET  
**C601 OF 19**



LOCATION OF PUBLIC WATER SYSTEM MAINS IN ACCORDANCE WITH F.A.C. RULE 62-555.314

| OTHER PIPES   | HORIZONTAL SEPERATION                 | CROSSING (1)   | JOINT SPACING @ CROSSINGS (FULL JOINT CENTERED) |
|---|---------------------------------------|--|---|
| STORM SEWER, STORMWATER FORCE MAIN, RECLAIM WATER (2)                           | 3 FT. MINIMUM                         | 12 INCHES IS THE MINIMUM EXCEPT FOR STORM SEWER, THEN 6 INCHES IS THE MINIMUM AND 12 INCHES IS PREFERRED   | ALTERNATE 3 FT. MINIMUM                         |
| VACUUM SANITARY SEWER   | 10 FT. PREFERRED<br>3 FT. MINIMUM     | 12 INCHES PREFERRED<br>6 INCHES MINIMUM  | ALTERNATE 3 FT. MINIMUM                         |
| GRAVITY OR PRESSURE SANITARY SEWER, SANITARY SEWER FORCEMAIN, RECLAIM WATER (4) | 10 FT. PREFERRED<br>6 FT. MINIMUM (3) | 12 INCHES IS THE MINIMUM EXCEPT FOR GRAVITY SEWER, THEN 6 INCHES IS THE MINIMUM AND 12 INCHES IS PREFERRED | ALTERNATE 6 FT. MINIMUM                         |
| ON-SITE SEWAGE TREATMENT & DISPOSAL   | 10 FT. MINIMUM                        | ---  | ---   |

**FAC RULE 62-555.314 NOTES:**

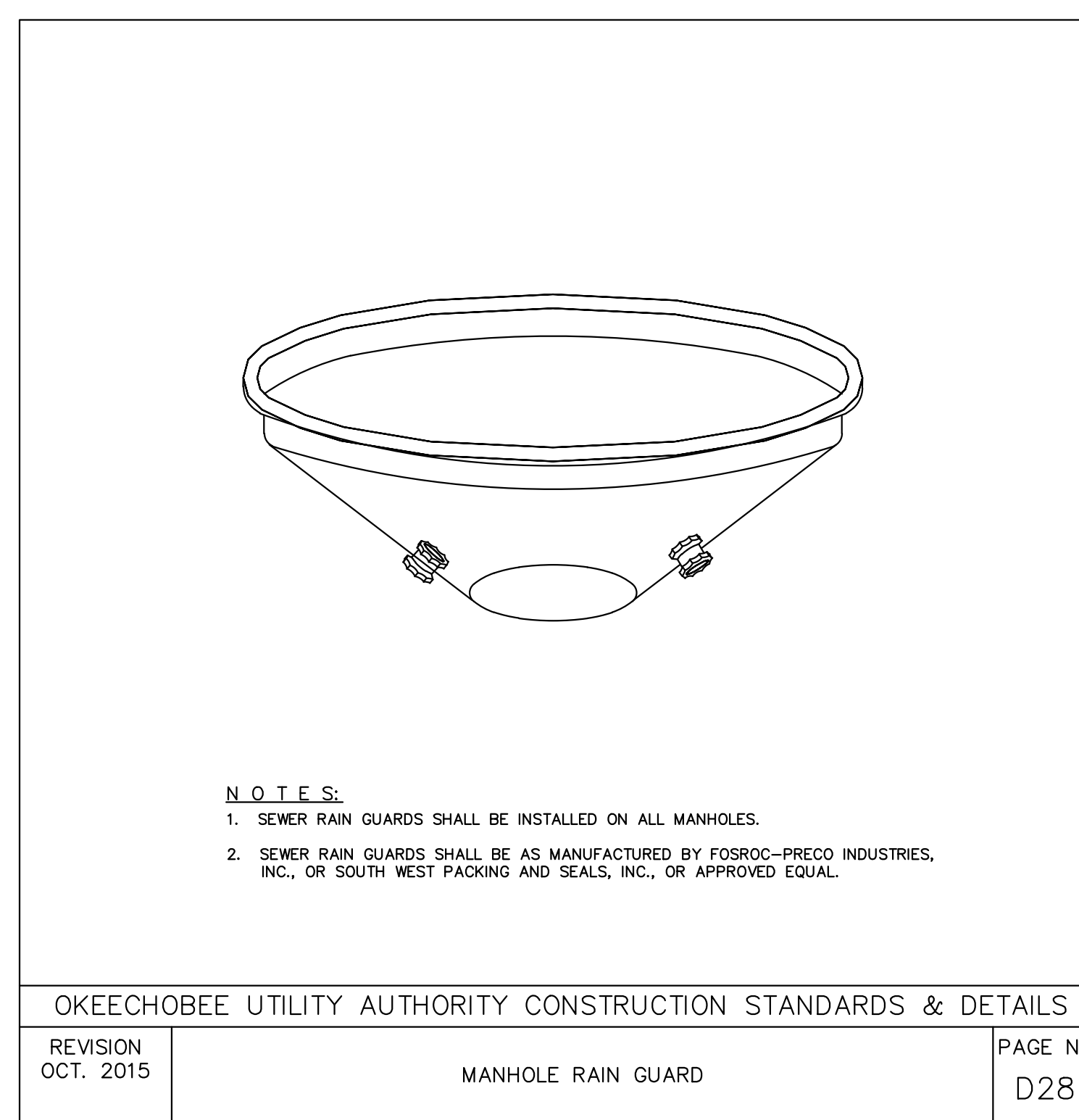
- WATERMAIN TO CROSS OVER CONFLICT PIPES WHEREVER POSSIBLE, MAINTAINING 30 INCHES COVER AND 6 INCHES SEPERATION AS MINIMUM. WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MIN. SEPERATION IS 12 INCHES.
- RECLAIMED WATER REGULATED UNDER PART III OF CHAPER 62-610, F.A.C.
- 3 FT. FOR GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER.
- RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

**NOTES:**

- THESE METHODS ARE TO BE USED WHEN INSUFFICIENT COVER EXISTS TO ALLOW PRESSURE PIPE TO CROSS ABOVE CONFLICT PIPE WITH 6 INCHES VERTICAL SEPERATION AND MAINTAIN 30 INCHES COVER TO FINISHED GRADE.
- FITTINGS SHALL BE RESTRAINED WITH MECHANICAL RESTRAINTS (MEGALUG), IN ACCORDANCE WITH OUA STANDARD DETAILS.
- THE DEFLECTION TYPE CROSSING IS PREFERRED.
- DO NOT EXCEED 75% OF MANUFACTURERS RECOMMENDED MAXIMUM JOINT DEFLECTION.
- MECHANICALLY RESTRAIN ALL FITTINGS, AS PER MANUFACTURERS RECOMMENDATION AND OUA STANDARD DETAILS.

OKEECHOBEE UTILITY AUTHORITY CONSTRUCTION STANDARDS & DETAILS

|                       |   |                |
|-----------------------|---|----------------|
| REVISION<br>OCT. 2015 | WATER MAIN - SANITARY SEWER<br>CONFLICT | PAGE No<br>D16 |
|-----------------------|---|----------------|



THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADOPTION BY STEVEN L. DOBBS, P. E., SHALL BE WITHOUT LIABILITY TO STEVEN L. DOBBS ENGINEERING, LLC.

**Steven L. Dobbs  
Engineering, LLC**  
1062 JAKES WAY  
Okeechobee, FL 34974  
Phone: (863) 824-7644

FLORIDA CERTIFICATE OF AUTHORIZATION No. 00029206

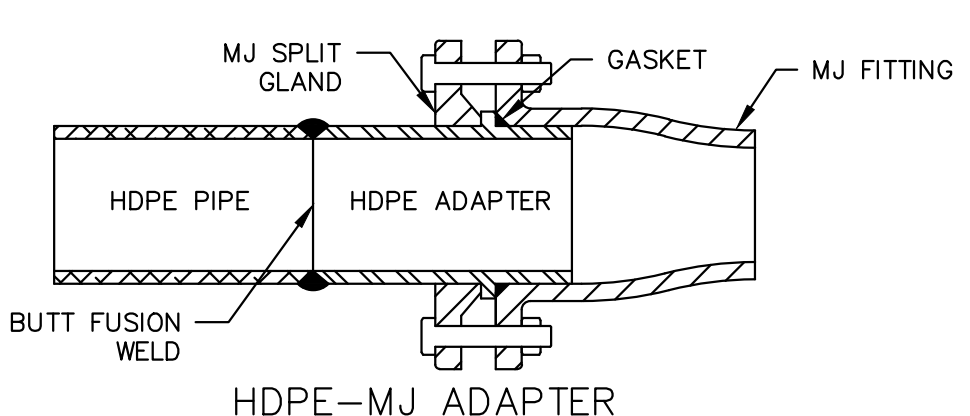
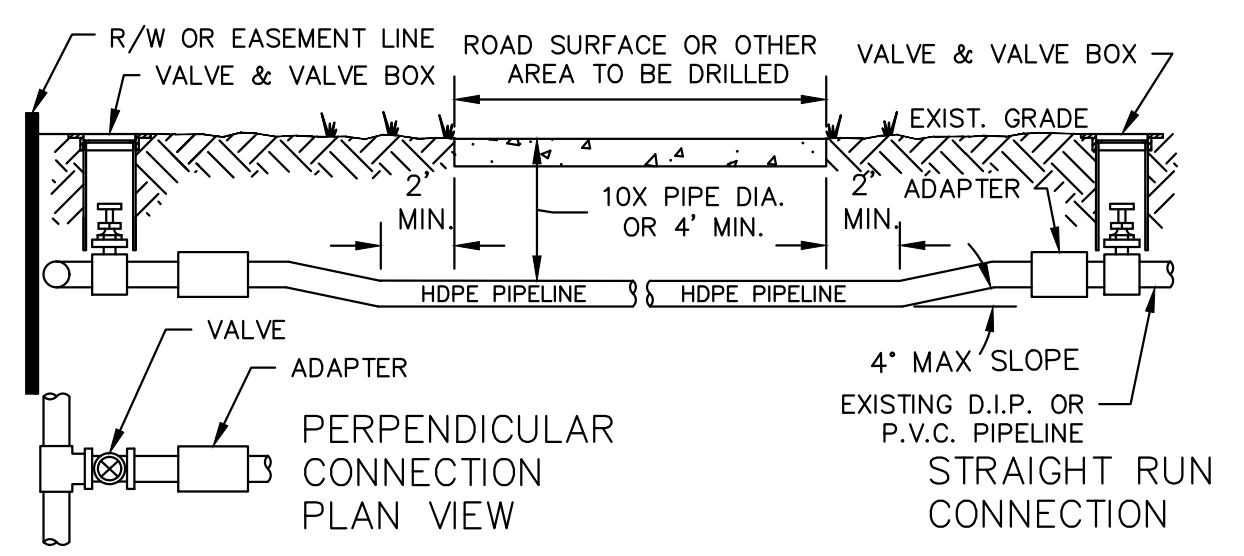
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**GLENWOOD PARK  
APARTMENT COMPLEX**  
LOCATED IN THE CITY OF OKEECHOBEE

**DETAILS - 3**

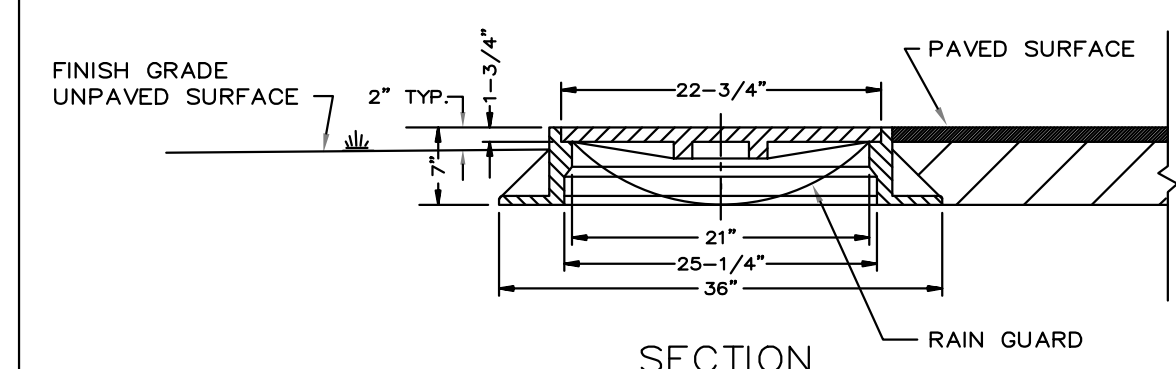
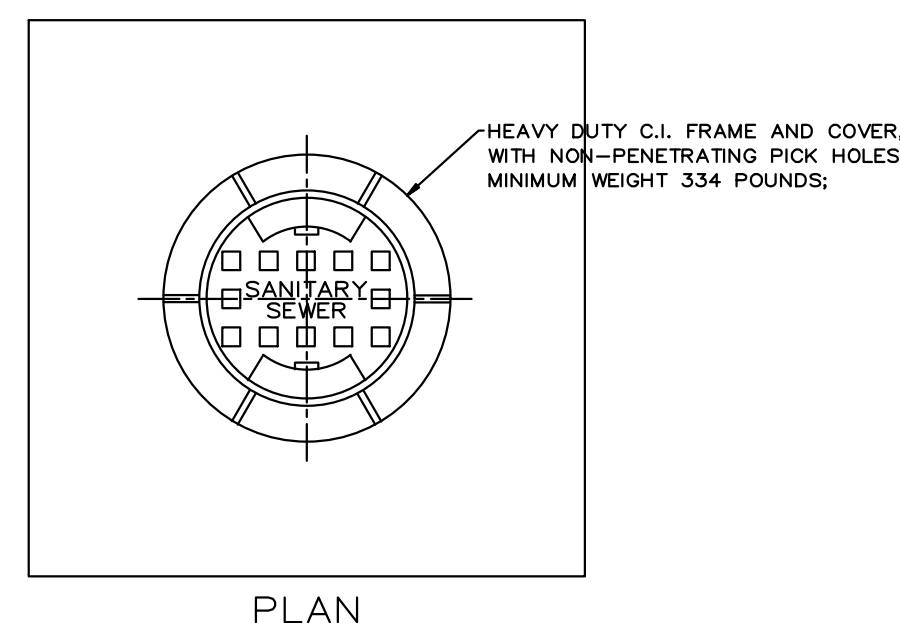
CALL 48 HOURS BEFORE YOU DIG IN FLORIDA, IT'S THE LAW  
**Sunshine State One Call**  
of Florida, Inc.

JOB No.: 2021-014  
SHEET  
**C601** OF 19



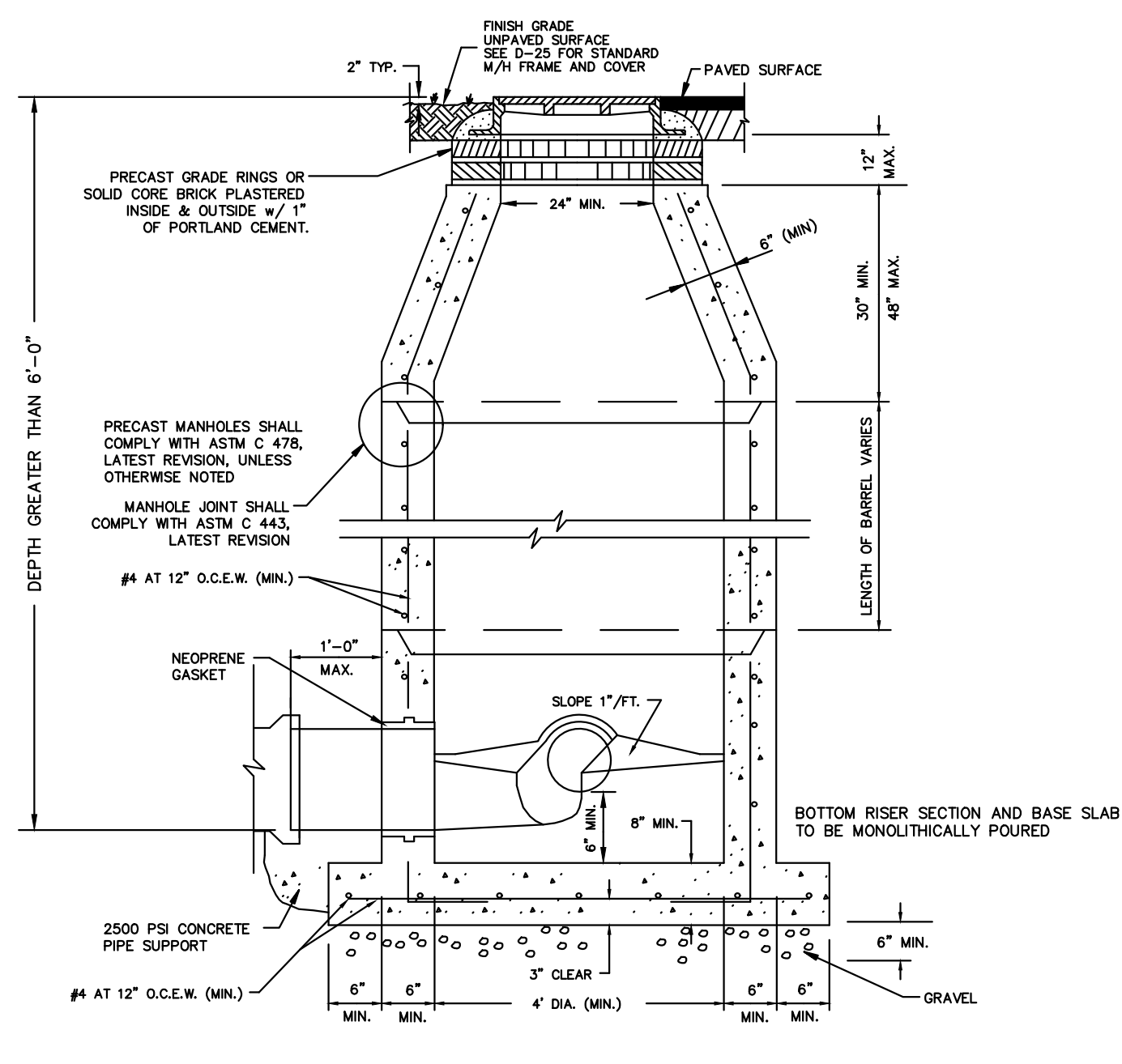
- NOTES:**
1. DIRECTIONAL DRILLS SHALL BE COMPLETED USING DR11 HDPE PIPE, DIP SIZE: FOR WATER AND SANITARY FORCE MAIN IPS SIZE: FOR VACUUM SEWER.
  2. ALL DIRECTIONAL DRILLS SHALL BE AT A DEPTH OF 10X PIPE DIAMETER BELOW THE ROADWAY SURFACE OR 4' WHICHEVER IS GREATER.
  3. ALL HDPE MUST BE COLOR CODED (SAFETY BLUE-WATER, SAFETY GREEN FOR SEWER AND PANTONE PURPLE FOR RECLAIMED WATER); BUTT FUSION WELDED; AND CONNECTED WITH HDPE-MJ ADAPTER.
  4. 10 GAUGE SOLID COPPER COATING WIRES SHALL BE TAPED TO PIPE FROM VALVE TO VALVE AT A SPACING NO GREATER THAN 5 FEET AND PULLED WITH THE PIPE. SEE D17 FOR ADDITIONAL DETAILS.
  5. GRAVITY SEWER BORES AS PREAPPROVED BY OUA.

|   |                             |                |
|---|-----------------------------|----------------|
| OKEECHOBEE UTILITY AUTHORITY CONSTRUCTION STANDARDS & DETAILS |                             |                |
| REVISION<br>OCT. 2015   | DIRECTIONAL DRILLING DETAIL | PAGE No<br>D19 |



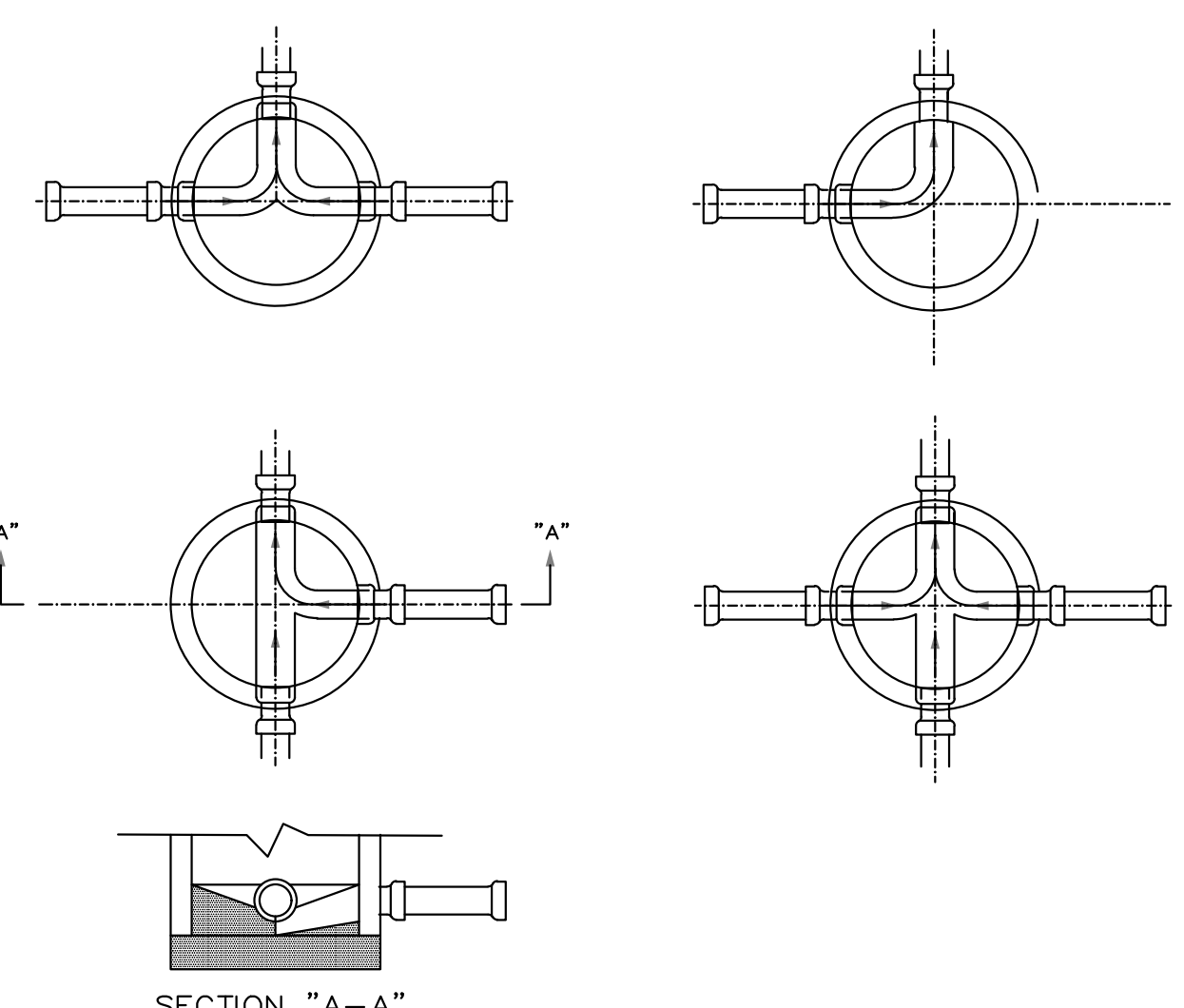
- NOTES:**
1. A WATER-TIGHT MANHOLE "RAIN GUARD" INSERT SHALL BE INSTALLED IN ALL MANHOLES.
  2. A 3"x3"x6" CONCRETE COLLAR SHALL BE INSTALLED WHERE MANHOLE IS INSTALLED IN UNPAVED AREAS.
  3. "SANITARY SEWER" FOR WASTEWATER APPLICATIONS.
  4. "WATER" FOR WATER APPLICATIONS.

|   |                                  |                |
|---|----------------------------------|----------------|
| OKEECHOBEE UTILITY AUTHORITY CONSTRUCTION STANDARDS & DETAILS |                                  |                |
| REVISION<br>OCT. 2015   | STANDARD MANHOLE FRAME AND COVER | PAGE No<br>D25 |



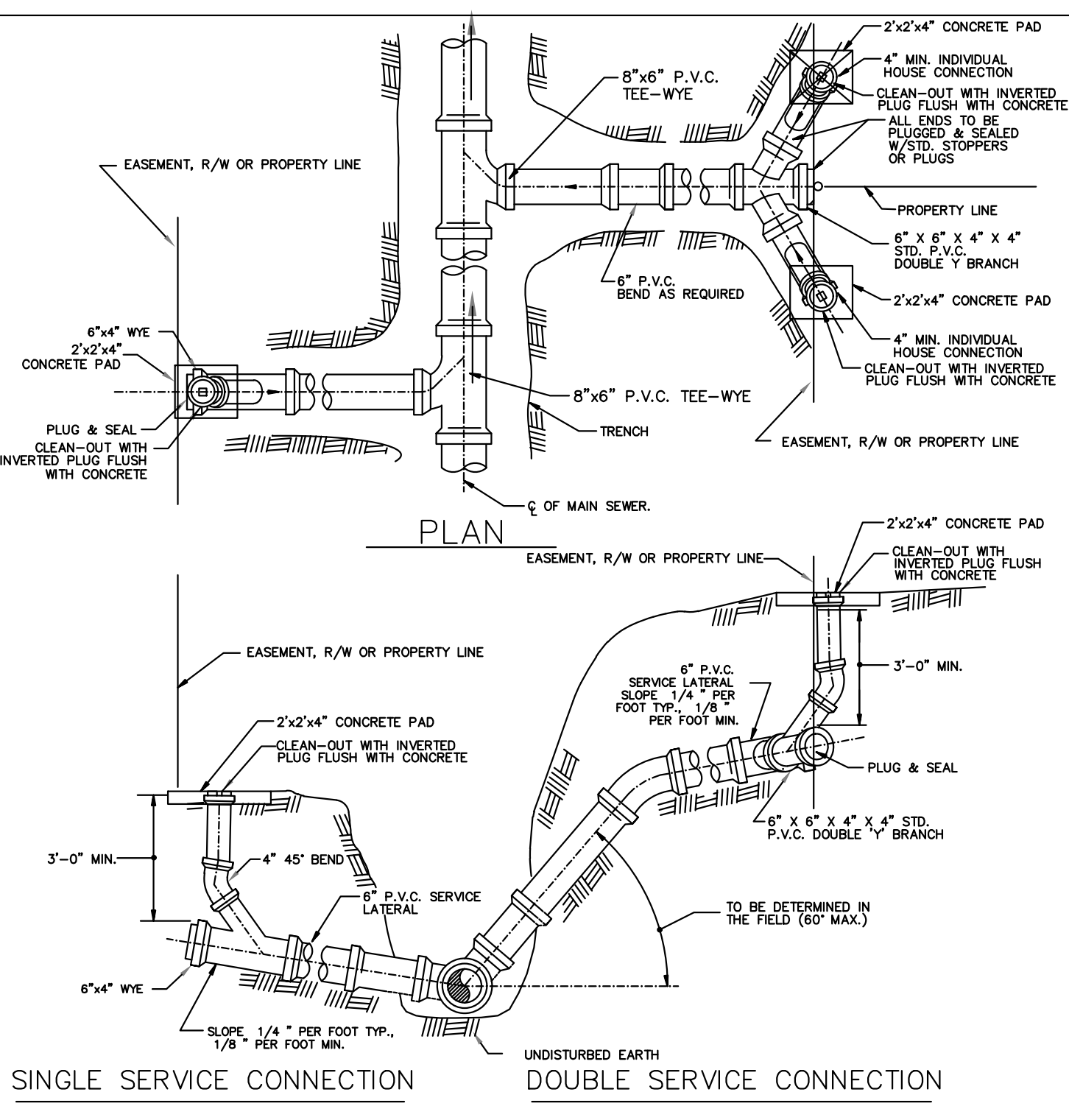
- NOTES:**
1. PRECAST CONCRETE TYPE II 4000 P.S.I.
  2. "RAMM" OR EQUAL AT ALL RISER JOINTS (1/2" THICK WITH WIDTH AT LEAST 1/2 THE WALL THICKNESS) WITH GROUT INSIDE AND OUTSIDE.
  3. ALL OPENINGS SHALL BE SEALED WITH A WATERPROOF NON-SHRINKING GROUT.
  4. FLOW CHANNELS SHALL BE CONSTRUCTED TO DIRECT INFLUENT INTO FLOW STREAM (SEE DETAIL).
  5. LIFT HOLES ARE PERMITTED AND SHALL BE SEALED AFTER PLACEMENT OF RISER.
  6. ALL PIPE HOLES SHALL BE PRECAST OR CORE-DRILLED.
  7. APPROVED RUBBER BOOTS MUST BE USED WITH PVC PIPE.
  8. INSIDE DROPS SHALL NOT EXCEED 2.0 FEET.
  9. COAT INTERIOR & EXTERIOR WITH 2 COATS COAL TAR EPOXY, OR PRO-TECH COATING, 8 mil. MIN. DRY FILM THICKNESS EACH COAT OR OUA APPROVED EQUAL.

|   |                                    |                |
|---|------------------------------------|----------------|
| OKEECHOBEE UTILITY AUTHORITY CONSTRUCTION STANDARDS & DETAILS |                                    |                |
| REVISION<br>OCT. 2015   | STANDARD MANHOLE (CONCENTRIC CONE) | PAGE No<br>D27 |



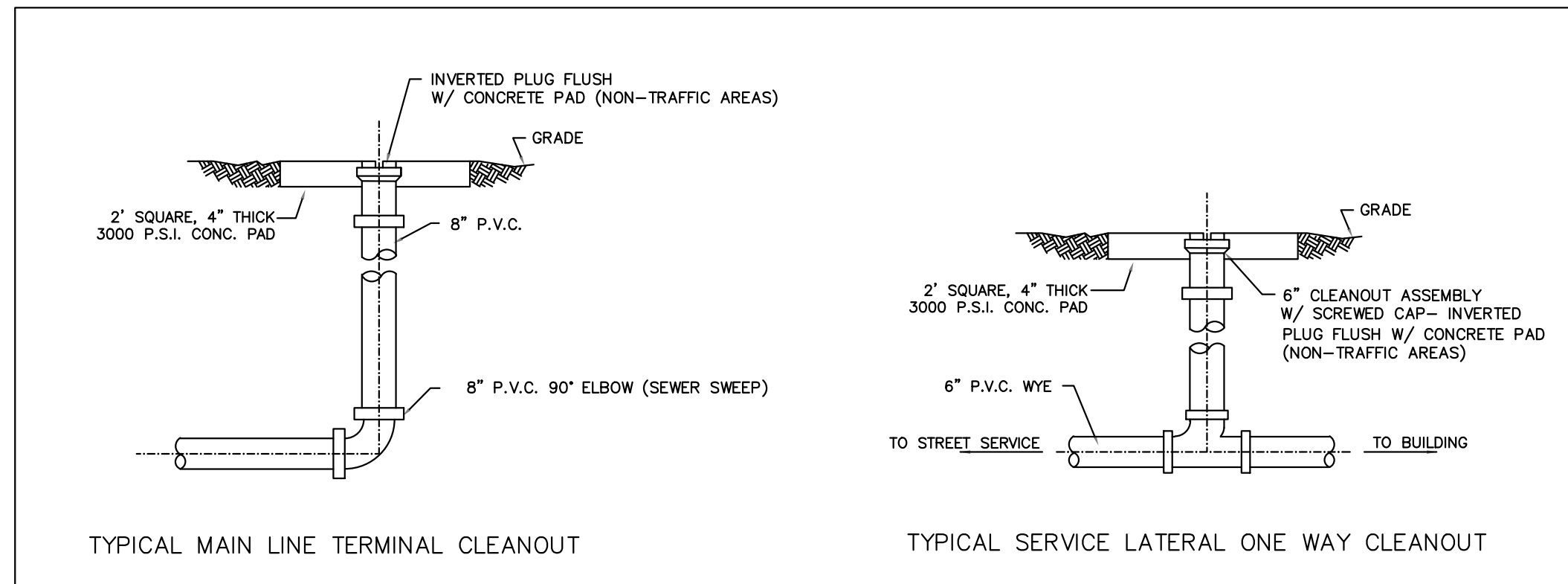
- NOTES:**
1. INVERT CHANNELS TO BE CONSTRUCTED FOR SMOOTH FLOW WITH NO OBSTRUCTIONS.
  2. SPILLWAYS SHALL BE CONSTRUCTED BETWEEN PIPES WITH DIFFERENT INVERT ELEVATIONS PROVIDING FOR SMOOTH FLOWS.
  3. CHANNELS FOR FUTURE CONSTRUCTION (STUBS) SHALL BE CONSTRUCTED, FILLED WITH SAND, AND COVERED WITH 1" OF MORTAR.
  4. SLOPE MANHOLE WITH A 1:2 SLOPE FROM MANHOLE WALL TO CHANNEL.
  5. INVERT SHALL BE A MINIMUM OF 1/2 THE DIAMETER OF THE LARGEST PIPE OR 4" DEEP.

|   |                                   |                |
|---|-----------------------------------|----------------|
| OKEECHOBEE UTILITY AUTHORITY CONSTRUCTION STANDARDS & DETAILS |                                   |                |
| REVISION<br>OCT. 2015   | FLOW PATTERNS FOR MANHOLE INVERTS | PAGE No<br>D30 |



- NOTES:**
1. SERVICE LATERALS SHALL TERMINATE AT PROPERTY LINE AT A DEPTH OF 3 FEET, PLUGGED WATERTIGHT WITH CLEAN-OUT.
  2. THE MINIMUM DIAMETER OF ALL SINGLE HOUSEHOLD CONNECTIONS SHALL BE 4" MINIMUM ALL OTHERS SHALL BE 6" AND ALL DOUBLE SERVICES.
  3. CONNECTION TO O.U.A. LATERAL SHALL BE MADE WITH A CLEAN-OUT AT PROPERTY LINE BY THE CONTRACTOR OR CUSTOMER MAKING THE CONNECTION, WITH A 2'x2'x4" CONCRETE PAD WITH AN INVERTED PLUG, BOTH TO BE SET AT FINAL GRADE.

|   |                                  |                |
|---|----------------------------------|----------------|
| OKEECHOBEE UTILITY AUTHORITY CONSTRUCTION STANDARDS & DETAILS |                                  |                |
| REVISION<br>OCT. 2015   | TYPICAL SEWER SERVICE CONNECTION | PAGE No<br>D31 |



- NOTES:**
1. ONE WAY CLEANOUT (SWEEP TO STREET SERVICE).
  2. CLEAN OUT SHALL BE LOCATED ON RIGHT OF WAY LINE.
  3. IN TRAFFIC AREAS A METAL CLEANOUT COVER AND LID SHALL BE INSTALLED OVER PVC CLEANOUT.
  4. ALL CLEAN OUTS REQUIRE AN INSPECTION.

|   |                  |                |
|---|------------------|----------------|
| OKEECHOBEE UTILITY AUTHORITY CONSTRUCTION STANDARDS & DETAILS |                  |                |
| REVISION<br>OCT. 2015   | TYPICAL CLEANOUT | PAGE No<br>D32 |

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**Steven L. Dobbs Engineering, LLC**  
1062 JAKES WAY  
Okeechobee, FL 34974  
Phone: (863) 824-7644

FLORIDA CERTIFICATE OF AUTHORIZATION No. 00029206

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**GLENWOOD PARK APARTMENT COMPLEX**  
LOCATED IN THE CITY OF OKEECHOBEE


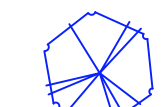




**DETAILS - 4**

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JOB No.: 2021-014  
SHEET  
C601 OF 19

**LEGEND**

-  PROPOSED PALM TREE (18 PROVIDED)
-  PROPOSED TREE (28 PROVIDED)
-  PROPOSED SHRUB (210 PROVIDED)
-  EXISTING PALM TREE TO REMAIN (8 TOTAL)
-  EXISTING TREE TO REMAIN (12 TOTAL)
-  EXISTING PINE TREE TO REMAIN (4 TOTAL)

**NOTE:**

1. There are existing trees onsite that will meet some of the landscaping requirement. Since there is not a tree survey, this will be field adjusted.
2. This plan for site approval and only indicates the location and type of proposed landscaping. The selected plant to be installed will have to meet the City of Okeechobee's Division 4 Landscape Code for type and size of plants installed.
3. The north parcel has already been through site plan and was previously approved and certified prior to Certificate of Occupancy for the latest City of Okeechobee TRC Approval.
4. Consideration will be made to protect the overhead utility lines from mature tree growth.
5. Plantings will be elected from South Florida Water Management District's Xeriscape Plan Guide, with at least 75% of the total required plans being native very drought tolerant species as listed in that Plant Guide.
6. Trees shall be at least 10' high and 2" diameter measured 4' above ground level at the time of planting.

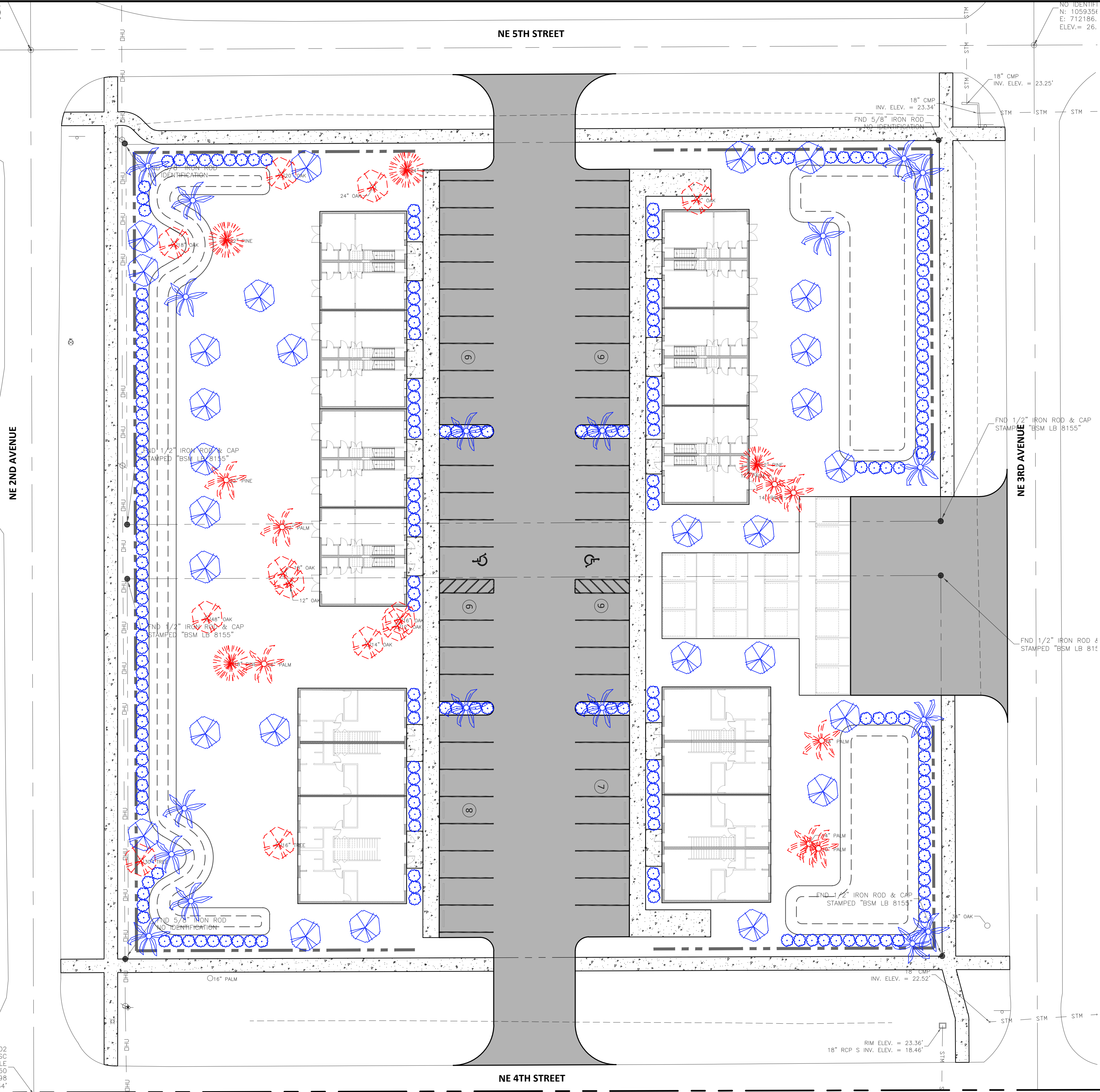
| Landscaping Requirements   | Trees     | Shrubs     |
|--|-----------|------------|
| 1 tree and 3 shrubs for every 3,000 sf of lot area - 87,120 sf   | 30        | 90         |
| Buffer 10' street - 2' other Property Lines (PL) - 1 tree, 3 shrubs for every 300 sf of required landscaping                   | 40        | 120        |
| 1200 lf on street and 0 lf on other PLs  |           |            |
| 18 sf of landscaping for every parking space - 1 tree and 3 shrubs for every 72 sf of landscaping - 50 proposed parking spaces | 15        | 45         |
| Landscape islands min 5' x 15' every 10 spaces max. uninterrupted spaces 12  |           |            |
| Individual Single Family   | 0         | 0          |
| Multifamily One Bedroom (2 trees per unit)   | 0         | 0          |
| Multifamily two to four Bedrooms (3 trees per unit) - 22 units   | 70        | 210        |
| Mobile Home Park or subdivision (2 trees per dwelling)   | 0         | 0          |
| Assisted Living facilities, nursing home (1 tree per two units or bedrooms)  | 0         | 0          |
| Multifamily One Bedroom (2 trees per unit)   | 0         | 0          |
| <b>Total:</b>  | <b>70</b> | <b>210</b> |

Note: Landscaping requirement will require minimum landscaping based on multifamily units of more than 2 bedrooms of 70 trees and 210 shrubs.

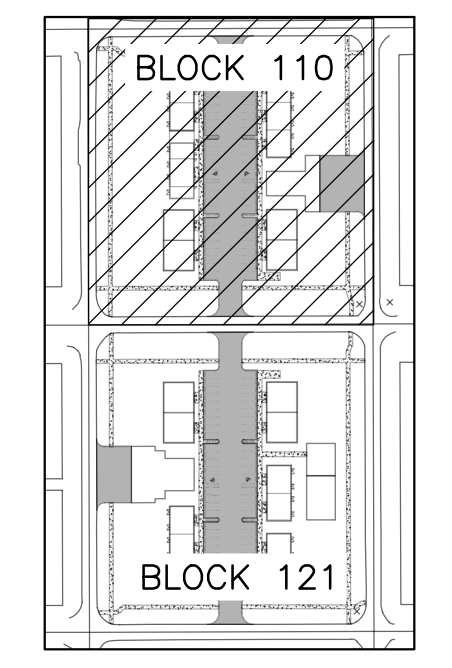
MATCHLINE SHEET C301  
MATCHLINE SEE SHEET C302

N: 1059354.54  
E: 711816.79  
ELEV. = 28.22'

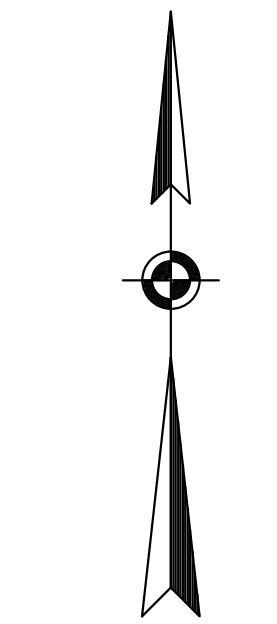
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IMPING ILLEGIBLE  
N: 1058969.50  
E: 711817.98  
ELEV. = 26.34'




NO IDENTIFI  
N: 1059354  
E: 712186.  
ELEV. = 26.



KEY MAP  
SCALE: 1/2"=20'



SCALE: 1"=20'  
0 10 20 40



**Steven L. Dobbs  
Engineering, LLC**  
1062 JAKES WAY  
Okeechobee, FL 34974  
Phone: (863) 824-7644


FLORIDA CERTIFICATE OF AUTHORIZATION No. 00029206

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**GLENWOOD PARK  
APARTMENT COMPLEX**  
LOCATED IN THE CITY OF OKEECHOBEE

**BLOCK 110  
LANDSCAPING PLAN**

CALL 48 HOURS BEFORE YOU DIG IN FLORIDA, IT'S THE LAW








JOB No.: **2021-014**  
SHEET  
**C701 OF 19**



MATCHLINE SEE SHEET C301  
MATCHLINE SHEET C302

**LEGEND**

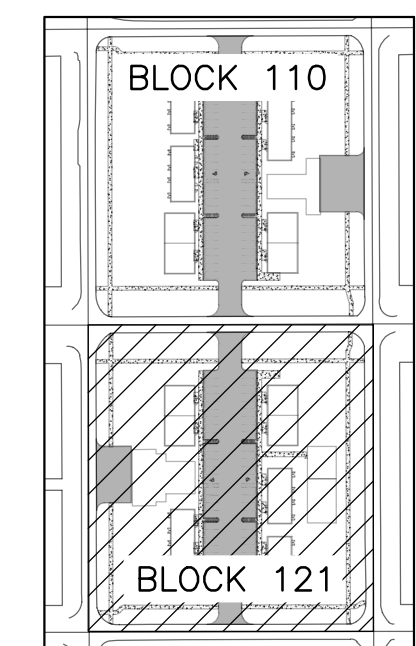
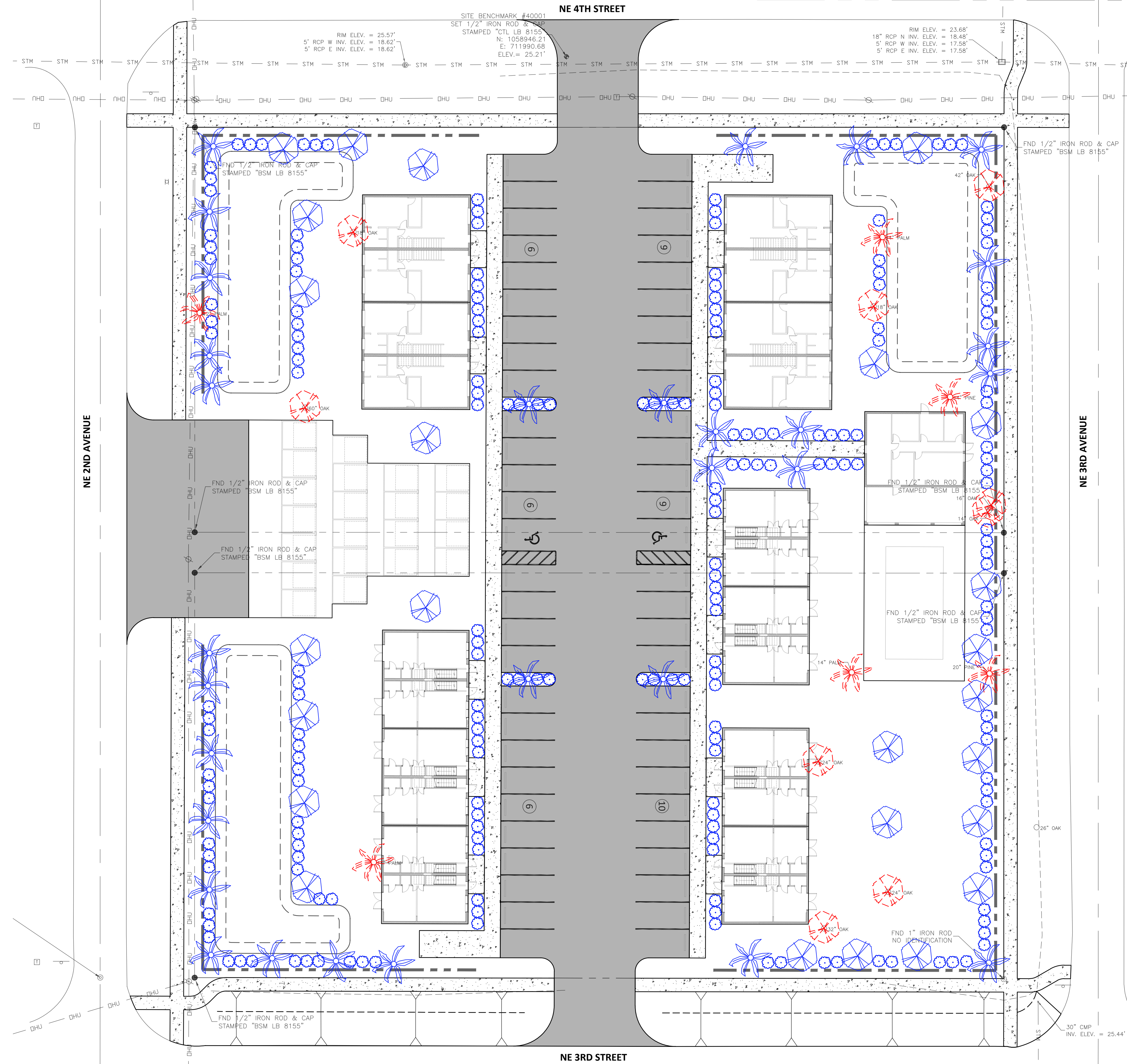
-  PROPOSED PALM TREE (30 PROVIDED)
-  PROPOSED TREE (25 PROVIDED)
-  PROPOSED SHRUB (210 PROVIDED)
-  EXISTING PALM TREE TO REMAIN (6 TOTAL)
-  EXISTING TREE TO REMAIN (9 TOTAL)

**NOTE:**

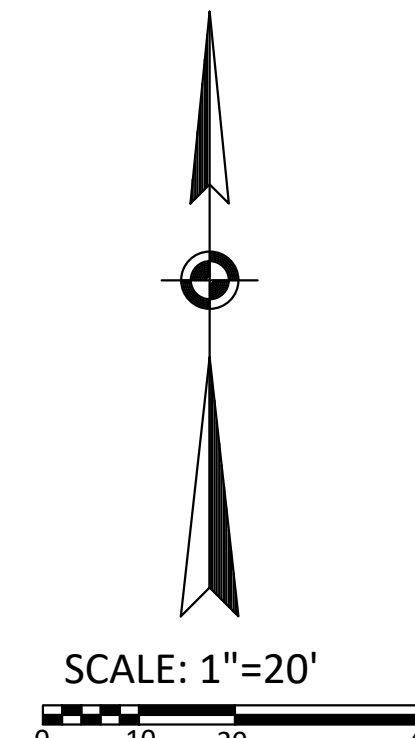
1. There are existing trees onsite that will meet some of the landscaping requirement. Since there is not a tree survey, this will be field adjusted.
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3. The north parcel has already been through site plan and was previously approved and certified prior to Certificate of Occupancy for the latest City of Okeechobee TRC Approval.
4. Consideration will be made to protect the overhead utility lines from mature tree growth.
5. Plantings will be elected from South Florida Water Management District's Xeriscape Plan Guide, with at least 75% of the total required plants being native very drought tolerant species as listed in that Plant Guide.
6. Trees shall be at least 10' high and 2" diameter measured 4' above ground level at the time of planting.


| Landscaping Requirements   | Trees     | Shrubs     |
|--|-----------|------------|
| 1 tree and 3 shrubs for every 3,000 sf of lot area - 95,832 sf   | 35        | 105        |
| Buffer 10' street - 2' other Property Lines (PL) - 1 tree, 3 shrubs for every 300 sf of required landscaping                   | 40        | 120        |
| 1200 lf on street and 0 lf on other PLs  | 15        | 45         |
| 18 sf of landscaping for every parking space - 1 tree and 3 shrubs for every 72 sf of landscaping - 50 proposed parking spaces |           |            |
| Landscape islands min 5' x 15' every 10 spaces max. uninterrupted spaces 12  |           |            |
| Individual Single Family   | 0         | 0          |
| Multifamily One Bedroom (2 trees per unit)   | 0         | 0          |
| Multifamily two to four Bedrooms (3 trees per unit) - 22 units   | 70        | 210        |
| Mobile Home Park or subdivision (2 trees per dwelling)   | 0         | 0          |
| Assisted Living facilities, nursing home (1 tree per two units or bedrooms)  | 0         | 0          |
| Multifamily One Bedroom (2 trees per unit)   | 0         | 0          |
| <b>Total:</b>  | <b>70</b> | <b>210</b> |

Note: Landscaping requirement will require minimum landscaping based on multifamily units of more than 2 bedrooms of 70 trees and 210 shrubs.



KEY MAP  
SCALE: 1:250





**Steven L. Dobbs Engineering, LLC**  
1062 JAKES WAY  
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Phone: (863) 824-7644


FLORIDA CERTIFICATE OF AUTHORIZATION No. 00029206

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**GLENWOOD PARK APARTMENT COMPLEX**  
LOCATED IN THE CITY OF OKEECHOBEE

**BLOCK 121 LANDSCAPING PLAN DRAINAGE PLAN**

CALL 48 HOURS BEFORE YOU DIG IN FLORIDA, IT'S THE LAW



of Florida, Inc.

JOB No.: 2021-014  
SHEET C602 OF 19

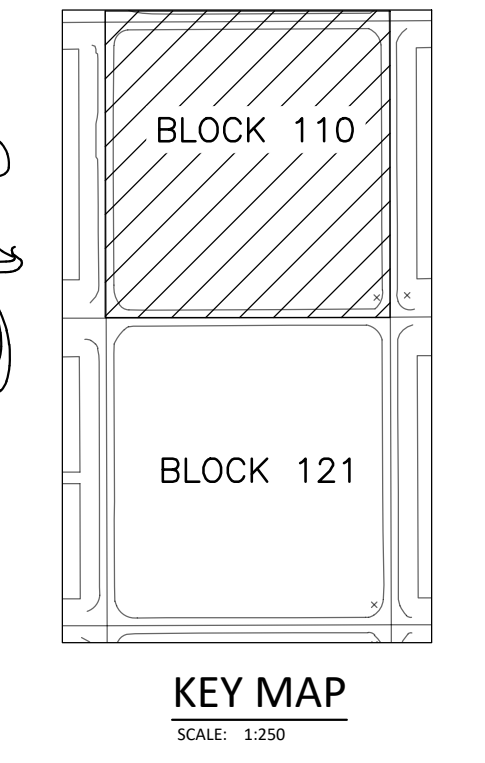
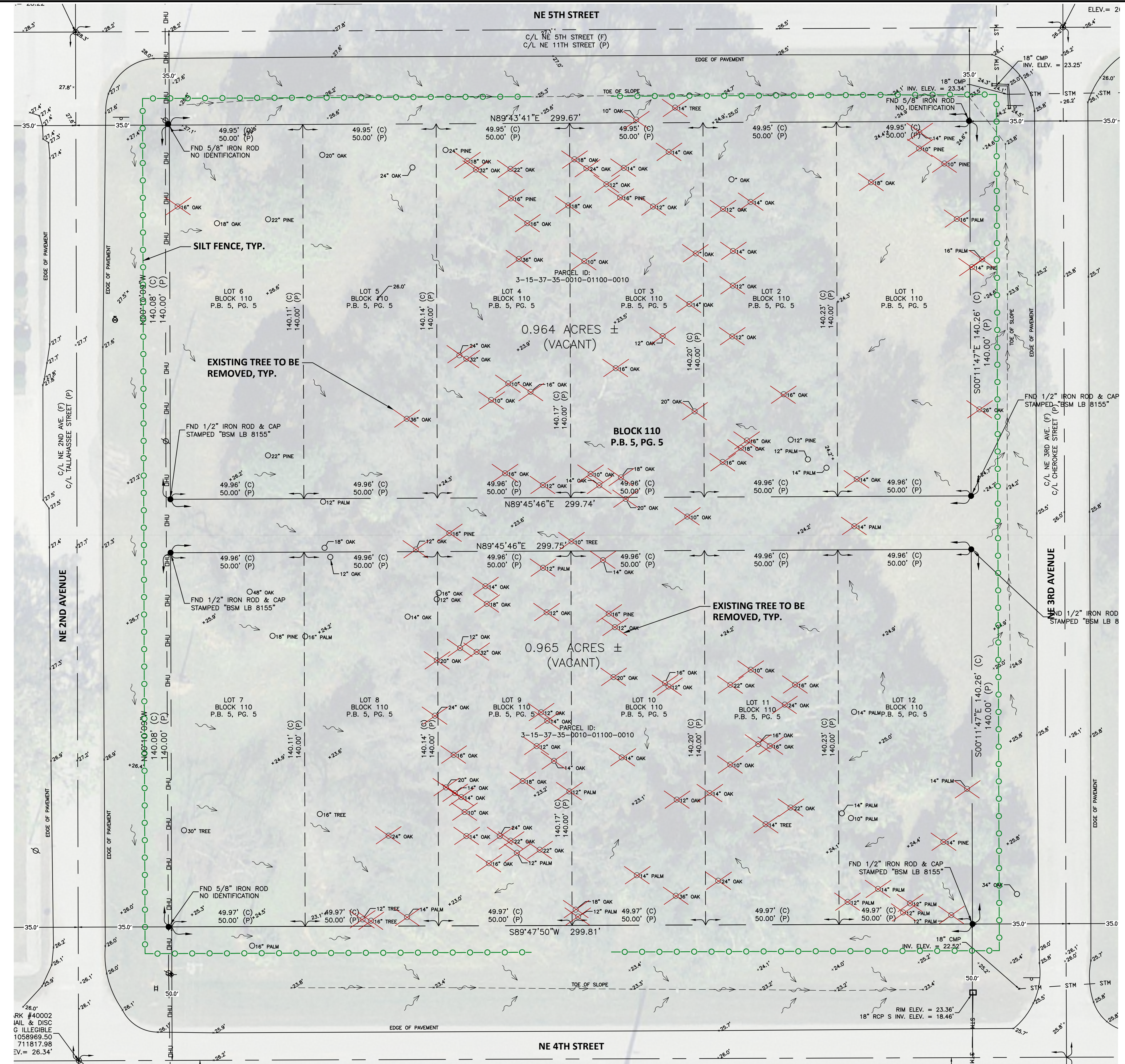
SCALE: 1"=20'

# BOUNDARY SURVEY


LOCATED IN SECTION 15;  
TOWNSHIP 37 SOUTH; RANGE 35 EAST

**LEGEND:**

-  PROPOSED SILT FENCE
-  EXISTING TREE TO BE REMOVED



MATCHLINE SHEET CD01  
MATCHLINE SEE SHEET CD02



**Steven L. Dobbs Engineering, LLC**  
1062 JAKES WAY  
Okeechobee, FL 34974  
Phone: (863) 824-7644


FLORIDA CERTIFICATE OF AUTHORIZATION No. 00029206

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**GLENWOOD PARK APARTMENT COMPLEX**  
LOCATED IN THE CITY OF OKEECHOBEE

**BLOCK 110**  
**EXISTING CONDITION, DEMOLITION, AND SEDIMENT CONTROL PLAN**

CALL 48 HOURS BEFORE YOU DIG IN FLORIDA, IT'S THE LAW





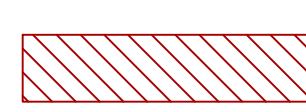
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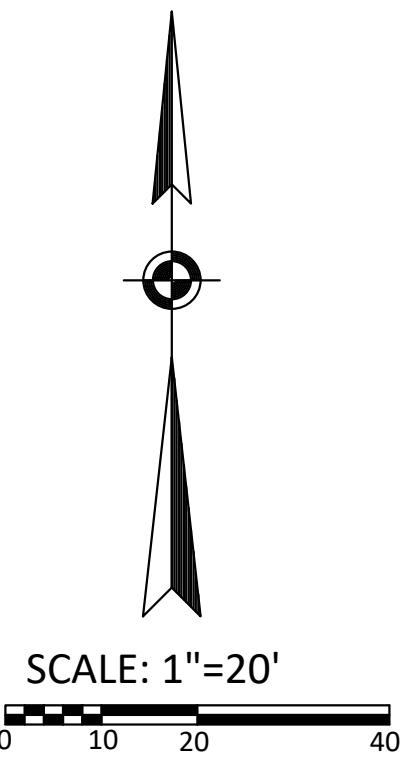
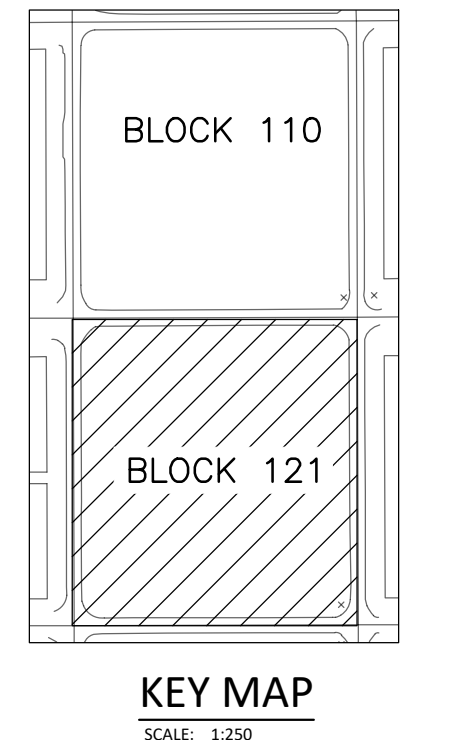
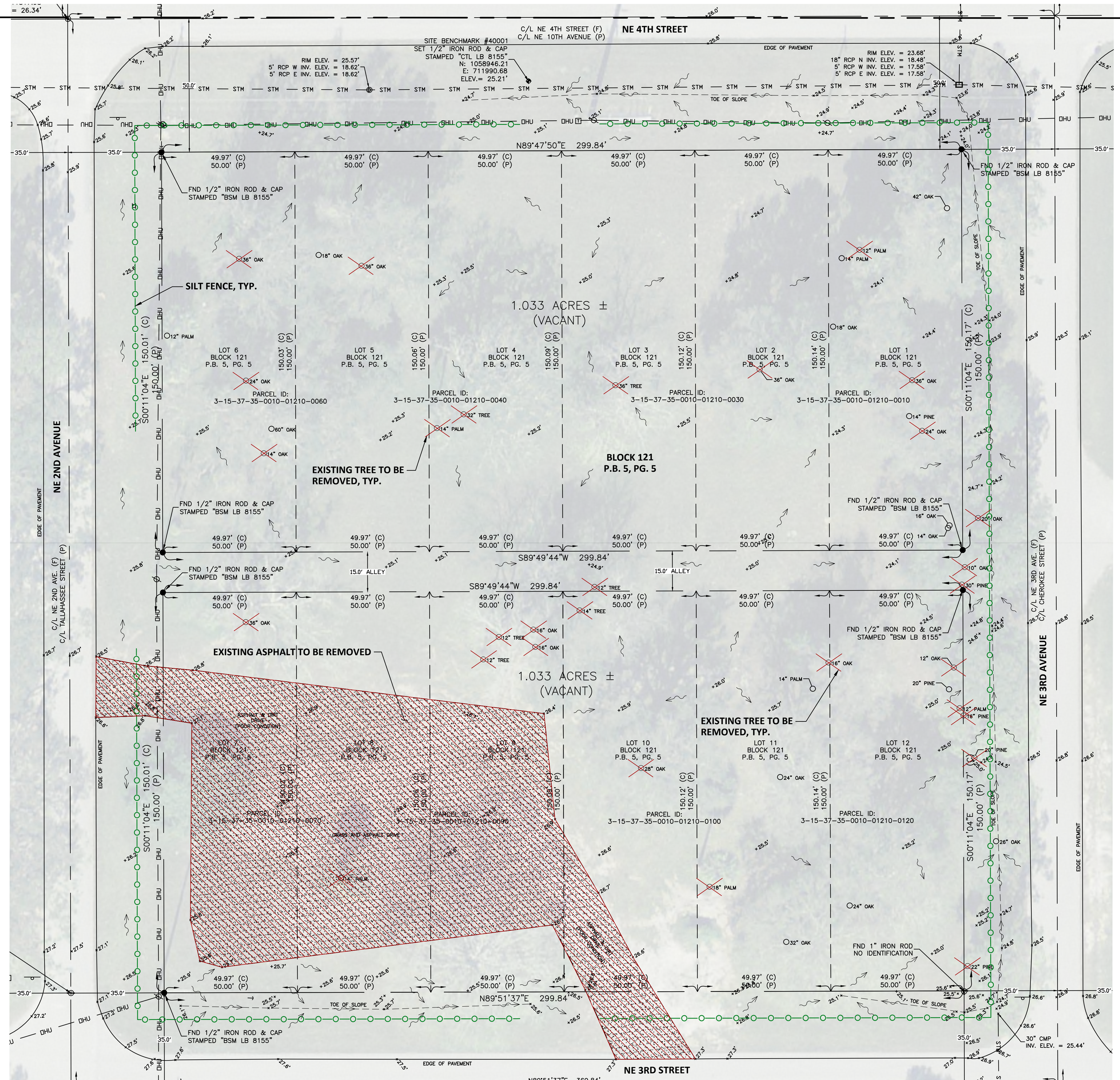
MATCHLINE SEE SHEET CD01  
MATCHLINE SHEET CD02

# BOUNDARY SURVEY

LOCATED IN SECTION 15;  
TOWNSHIP 37 SOUTH; RANGE 35 EAST

**LEGEND:**

-  PROPOSED SILT FENCE
-  EXISTING TREE TO BE REMOVED
-  EXISTING ASPHALT TO BE REMOVED



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**GLENWOOD PARK APARTMENT COMPLEX**  
LOCATED IN THE CITY OF OKEECHOBEE

**BLOCK 121**  
**EXISTING CONDITION, DEMOLITION, AND SEDIMENT CONTROL PLAN**

CALL 48 HOURS BEFORE YOU DIG IN FLORIDA, IT'S THE LAW

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