



City of Okeechobee
TECHNICAL REVIEW COMMITTEE
55 SOUTHEAST THIRD AVENUE ♦ OKEECHOBEE, FL 34974
October 21, 2021
LIST OF EXHIBITS

Draft Minutes	July 15, 2021, Summary of Committee Action
Draft Minutes	August 19, 2021, Summary of Committee Action
Draft Minutes	September 16, 2021, Summary of Committee Action
Staff Report/Application	Site Plan Review Application No. 21-005-TRC



CITY OF OKEECHOBEE, FLORIDA
TECHNICAL REVIEW COMMITTEE MEETING
JULY 15, 2021
SUMMARY OF COMMITTEE ACTION

I. CALL TO ORDER

Chairperson Ritter called the regular meeting of the Technical Review Committee (TRC) for the City of Okeechobee to order on Thursday, July 15, 2021, at 10:00 A.M. in the City Council Chambers, located at 55 Southeast Third Avenue, Room 200, Okeechobee, Florida, followed by the Pledge of Allegiance.

II. ATTENDANCE

The following TRC Members were present: Interim City Administrator Gary Ritter, Building Official Jeffery Newell, Fire Chief Herb Smith, and Public Works Director David Allen. Members Absent: Police Chief Bob Peterson (Lieutenant Bernst was present in his place). City Planning Consultant Ben Smith, Okeechobee Utility Authority (OUA) Executive Director John Hayford (entered the Chambers at 10:27), Environmental Health Director Victor Faconti, Committee Secretary Patty Burnette and General Services Secretary Yesica Montoya were present. City Attorney John Fumero and the Okeechobee County School Board representative were absent. Okeechobee County Fire Rescue Captain Justin Hazellief was present as well.

III. AGENDA

- A. There were no items added, deferred, or withdrawn from the agenda.
- B. Motion by Building Official Newell, seconded by Public Works Director Allen to approve the agenda as presented. **Motion Carried Unanimously.**

IV. MINUTES

- A. Motion by Building Official Newell, seconded by Fire Chief Smith to dispense with the reading and approve the May 20, 2021, Regular Meeting minutes. **Motion Carried Unanimously.**

V. NEW BUSINESS

- A. Site Plan Review Application No. 21-001-TRC, proposed expansion of the Okeechobee County Sheriff's Office and Jail facilities with associated retention, parking, and other ancillary support facilities on 14.794± acres located at 504 NW 4th Street.
 - 1. City Planning Consultant Mr. Ben Smith of LaRue Planning and Management Services reviewed the Planning Staff Report recommending approval.
 - 2. Chief Smith asked for clarification that the structure labeled single story garage on page C-200 of the site plan was actually the Emergency Operations Center (EOC). Also, he inquired as to whether the hydrant at the EOC which was notated on this same page was actually a fire department connection (FDC). A utility plan showing the proposed FDC connections and fire hydrant locations as well as a flow test is needed. He suggested the County consider sprinkling Fire Station One which is located on this same parcel since it is required by law to sprinkle all fire stations and, given they are considering this proposed project, this timing would be perfect. Public Works Director Allen suggested removing the proposed landscaping from the end of the Northwest 4th Street right-of-way and to cut off the "D" curb at the subject property line. OUA Director Hayford needs to see plans showing water mains and private gravity force mains. There are also some concerns with the pump station that may need upgrades.
 - 3. Mr. Steven Dobbs, on behalf of the Property Owner, Okeechobee County was in attendance as well as the Architect for the proposed project, Mr. Joseph Mrak, President of Securitecture, LLC. Mr. Dobbs clarified the structure labeled as a single-story building should be the EOC and the hydrant should be reflected as an FDC. He will pass the Chief's suggestion along to the County regarding sprinkling Fire Station One. Paperwork for an Alley Use Agreement for Northwest 4th Street has been submitted. The site does have a South Florida Water Management District Environmental Resource Permit. Utility plans will be submitted. The buffer for the new parking proposed adjacent to Northwest 5th Avenue does have adequate space between the property line and the parking area to accommodate the 10-foot buffer requirement along that right-of-way. Lastly, there are required dumpsters located in both the secured and unsecured areas in the Northwest and Northeast sections of the site.

V. NEW BUSINESS ITEMS CONTINUED

4. No public comments were offered.
 5. Chairperson Ritter and Fire Chief Smith disclosed they had spoken with Mr. Dobbs, regarding the proposed project. Building Official Newell disclosed he had spoken to Mr. Donnie Oden, Director of Facilities Maintenance and Development Services and Mr. Mrak.
 6. Motion by Building Official Newell, seconded by Public Works Director Allen to recommend approval for Site Plan Review Application No. 21-001-TRC as presented in [Exhibit 1, which includes the Planning Consultant's analysis of the findings and recommendation for approval as well as approval of the alternate landscape plan as submitted] with the following conditions: submittal of an updated utility plan that shows the proposed FDC and fire hydrant locations as well as the flow test received from Okeechobee County Fire Department; verification of submittal and approval of an alley use agreement for Northwest 4th Street, and Okeechobee County should bear the costs of the improvements required by the OUA to meet the potable water demands of the jail facility based on its peak capacity for inmates and staff. **Motion Carried Unanimously.**
- B.** Site Plan Review Application No. 21-002-TRC, construction of a proposed 22,651 sq. ft. building with parking, loading docks and drainage facility on 4.82± acres located at 312 SW 7th Avenue.
1. City Planning Consultant Smith reviewed the Planning Staff Report recommending approval. In addition, he commented the Applicant has submitted a joinder application for all associated parcels. It is currently being reviewed.
 2. Chief Smith commented there are no plans indicating hydrants or water mains and no sprinkler system for the building. Plans do not indicate the size or location of the gates for access to the parking lot and Knox boxes need to be on at least two of the gates, the North and South entrances of the parking lot. In addition, the width of the egress for the South drive should be increased to a 20-foot minimum for access to the site by fire trucks. Public Works Director Allen commented the new culverts need to be aluminum and should be reduced in size to 36 inches. The damaged sidewalks near the existing facility need to be replaced. He mentioned to keep the overhead power lines in mind when installing the landscaping. OUA Director Hayford needs water and wastewater and fire plans submitted. County Environmental Health Director Faconti commented there is an existing septic system that has an annual operating permit issued through the Health Department. Should it be decided to have sewage disposal through the OUA, the septic tank does not need to be removed just the location identified. Chairperson Ritter inquired as to what roadway improvements are needed and should the sidewalks be across the driveway entrances or meet where the driveways start and possibly replacing the North access to the site. The remainder of the parking landscape areas should be grass or some type of landscape material. The Committee discussed that a five-foot fence should extend to the East fence of the proposed new building.
 3. Mr. Steven Dobbs, agent for the property owner was in attendance. He commented Mr. Neal Markus unfortunately could not be present. A permit through South Florida Water Management has been applied for regarding the storm water system. His client is looking into installing a force main. He confirmed with Public Works Director Allen the culvert size needed for under the road for the new driveway entrances. Director Allen commented the existing pipe located to the far North at the existing facility is not good. Mr. Dobbs requested the site plan be reheard at the next possible meeting as he did not feel comfortable discussing the needed roadway improvements and cost associated with those improvements without his client being present.
 4. No public comments were offered.
 5. Chairperson Ritter disclosed he had spoken with Mr. Dobbs regarding the proposed project.

V. NEW BUSINESS ITEMS CONTINUED

6. Motion by Building Official Newell, seconded by Public Works Director Allen to rehear Site Plan Review Application 21-002-TRC at the September 16, 2021, to allow the Applicant to be present for discussion regarding roadway improvements to Southwest 7th Avenue, replacing the existing North access and to address the Committee's concerns regarding the following: supply hydrant location and utility plans; widen the egress width of the South drive to a 20-foot minimum to accommodate fire trucks; fit the existing and the South gate with knox locks for fire department access to the site; reduce the proposed culverts under the proposed access drives to 36-inches and use aluminum culverts; note landscape changes as discussed on plans; install a five-foot fence which extends to the East fence of the proposed new building; replace damaged sidewalks; submit plans for water and wastewater to OUA; and remainder of parking landscape areas should be grass or some type of landscape material. **Motion Carried Unanimously.**

CHAIRPERSON RITTER CALLED FOR A RECESS AT 11:26 A.M.AND RECONVENED THE REGULAR MEETING AT 11:29 A.M.

- C. Site Plan Review Application No. 21-003-TRC, construction of a proposed 4,867 sq. ft. building with parking and drainage facility on 1.03± acres (South half of existing parcel) located at 1600 S. Parrott Avenue for the proposed use of a car wash facility. In addition, requesting a parking reduction from 32 required spaces to 21.
 1. City Planning Consultant Smith reviewed the Planning Staff Report recommending approval.
 2. Building Official Newell expressed he has no concerns with the proposed car wash portion of the property although he does have concerns with the existing building and the uses that would be permitted there due to the remaining parking spaces that would be available. Fire Chief Smith noted there were no hydrants shown or any utility plans provided. He expressed concern with the access not being wide enough for the fire trucks to enter and in the case of emergencies how they would enter the site since there is an automatic stop bar for the exit area. They will need some type of knox box/gate for access. Regarding the building, the egress door cannot be the overhead door and one cannot egress through the equipment room from the office area. The Committee decided this concern could be addressed and handled during the building permit process. Public Works Director Allen commented the sidewalk located in the Southeast corner of the parcel needs to be a minimum of five-foot wide and both sidewalks need to connect. OUA Director Hayford commented the Applicant is working with them on the water and wastewater plans. Lieutenant Bernst inquired about whether an attendant would be on the site at all times. The Committee discussed deliveries with the Applicant, and he agreed with all deliveries being during off hours and also discussed should garbage pickup be between the hours of 4:00 and 7:00 AM, then there would not be a concern with the location of the dumpster area. The remainder of the parking landscape areas should be grass or some type of landscape material. Chairperson Ritter inquired as to what the intentions were for the existing building and commented he was fine with the proposed stormwater plans as they were an improvement to what was located there presently. The Committee agreed with the parking reduction request as most of the spaces will be used by customers who are vacuuming their cars or by the employees.
 3. Mr. Steve Dobbs and Mr. Wes Williamson, property owner for Williamson Cattle Company, were in attendance and available for questions. Mr. Williamson commented there is currently no occupancy in the existing building, and they may either sell or demolish the building in the future. An attendant will be on site at all times.
 4. No public comments were offered.
 5. Chairperson Ritter disclosed he had spoken with Mr. Dobbs and Mr. Williamson regarding the proposed project and Fire Chief Smith disclosed he had spoken to Mr. Dobbs.

V. NEW BUSINESS ITEMS CONTINUED

6. Motion by Public Works Director Allen, seconded by Fire Chief Smith to recommend approval for Site Plan Review Application 21-003-TRC as presented in [Exhibit 3, which includes the Planning Consultant’s analysis of the findings and recommendation for approval] as well as a parking reduction from 32 required spaces to 21, with the following conditions: widen the egress width to accommodate fire trucks; supply knox access for emergency access to the site; sidewalk at Southeast corner needs to be a minimum of five-feet wide; note landscape changes as discussed on plans; supply hydrant location and utility plans. **Motion Carried Unanimously.**

- VI.** Chairperson Ritter adjourned the meeting at 11:58 A.M.
Submitted by:

Patty M. Burnette, Secretary

Please take notice and be advised that when a person decides to appeal any decision made by the Technical Review Committee with respect to any matter considered at this proceeding, he/she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based. General Services' media are for the sole purpose of backup for official records.

DRAFT



CITY OF OKEECHOBEE, FLORIDA
TECHNICAL REVIEW COMMITTEE MEETING
AUGUST 19, 2021
SUMMARY OF COMMITTEE ACTION

I. CALL TO ORDER

Chairperson Ritter called the regular meeting of the Technical Review Committee (TRC) for the City of Okeechobee to order on Thursday, August 19, 2021, at 10:03 A.M. in the City Council Chambers, located at 55 Southeast Third Avenue, Room 200, Okeechobee, Florida. The invocation was offered by Pastor Mark McCarter of First Baptist Church of Okeechobee followed by the Pledge of Allegiance led by Assistant Police Chief Hagan.

II. ATTENDANCE

The following TRC Members were present: Interim City Administrator Gary Ritter, Building Official Jeffery Newell, Fire Chief Herb Smith and Public Works Director David Allen. Members absent: Okeechobee County Fire Rescue (OCFR) Captain Justin Hazellief and Police Chief Bob Peterson (Assistant Police Chief Donald Hagan was present in his place). City Planning Consultant Ben Smith, Okeechobee Utility Authority (OUA) Executive Director John Hayford Okeechobee County Environmental Health Director Victor Faconti and Committee Secretary Patty Burnette were present. City Attorney John Fumero, and the Okeechobee County School Board representative were absent.

III. AGENDA

- A.** There were no items added, deferred, or withdrawn from the agenda.
- B.** Motion by Building Official Newell, seconded by Assistant Police Chief Hagan to approve the agenda as presented. **Motion Carried Unanimously.**
- C.** There were no comment cards submitted for public participation.

IV. NEW BUSINESS

- A.** Site Plan Review Application No. 21-004-TRC, construction of proposed 20,000 sq. ft. auditorium with associated parking for the existing First Baptist Church (FBC) facilities on 1.50± acres of the 7.50± acre site located at 401 Southwest 4th Street.
 - 1.** City Planning Consultant Mr. Ben Smith of LaRue Planning and Management Services reviewed the Planning Staff Report recommending approval.
 - 2.** OCFR Captain Hazellief emailed comments regarding the lack of the Fire Department Connection (FDC) to the sprinkler system. He indicated he had spoken with Mr. Steven Dobbs and is now fine with the location of the FDC on the Southwest corner of the new proposed building. Fire Chief Smith inquired as to whether there were any over hangs on the building and suggested signage for the fire lanes to accommodate the ladder truck. OUA Director Hayford spoke about the sewer lateral crossings on Southwest 5th Avenue.
 - 3.** Mr. Steven Dobbs, the Applicant's agent, commented there was excess parking spaces to accommodate the loading space and the fire sprinkler folks would be designing the connection which needs to be next to the fire hydrant. Pastor Mark McCarter of FBC commented there is adequate dumpster space available and there are no overhangs on the building.
 - 4.** No public comments were offered.
 - 5.** Chairperson Ritter and Building Official Newell disclosed they had spoken with Mr. Dobbs regarding the proposed project.
 - 6.** Motion by Building Official Newell, seconded by Assistant Police Chief Hagan to approve Site Plan Review Application No. 21-004-TRC, as presented in [Exhibit 1, which includes the Planning Consultant's analysis of findings and recommendation for approval]. **Motion Carried Unanimously.**

V. Chairperson Ritter adjourned the meeting at 10:16 A.M.

Submitted by:

Patty M. Burnette, Secretary

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CITY OF OKEECHOBEE, FLORIDA
TECHNICAL REVIEW COMMITTEE MEETING
SEPTEMBER 16, 2021
SUMMARY OF COMMITTEE ACTION

I. CALL TO ORDER

Chairperson Ritter called the regular meeting of the Technical Review Committee (TRC) for the City of Okeechobee to order on Thursday, September 16, 2021, at 10:00 A.M. in the City Council Chambers, located at 55 Southeast Third Avenue, Room 200, Okeechobee, Florida. The invocation was offered by City Council Member Noel Chandler, followed by the Pledge of Allegiance led by Police Chief Hagan.

II. ATTENDANCE

The following TRC Members were present: City Administrator Gary Ritter, Fire Chief Herb Smith, Okeechobee County Fire Rescue (OCFR) Captain Justin Hazellief, Police Chief Donald Hagan, and Public Works Director David Allen. Members absent: Building Official Jeffery Newell. City Planning Consultant Ben Smith (attending via Zoom), Okeechobee Utility Authority (OUA) Executive Director John Hayford, Okeechobee County Environmental Health Director Victor Faconti, Committee Secretary Patty Burnette and General Services Administrative Secretary Keli Trimnal were present. City Attorney John Fumero, and the Okeechobee County School Board representative were absent.

III. AGENDA

- A.** There were no items added, deferred, or withdrawn from the agenda.
- B.** Motion by Police Chief Hagan, seconded by Fire Chief Smith to approve the agenda as presented. **Motion Carried Unanimously.**
- C.** There were no comment cards submitted for public participation.

IV. NEW BUSINESS

- A.** Rehearing from the July 15, 2021, meeting for Site Plan Review Application No 21-002-TRC, construction of a proposed 22,651 square foot building with parking, loading docks and drainage facility on 4.82+/- acres located at 312 Southwest 7th Avenue.
 - 1.** City Planning Consultant Mr. Ben Smith of LaRue Planning and Management Services briefly explained this application is being brought back for discussion and determination associated with the necessary improvements to Southwest 7th Avenue as determined by the City's Engineering service. Planner Smith commented the road improvement issue has been worked out between the Applicant and the City Administrator.
 - 2.** OCFR Captain Hazellief requested working together on the plans for the future shutdown period of the business. Fire Chief Smith inquired about the trailers and raw material that were being stored at a warehouse building (710 Northwest 6th Street) located across from the Emergency Operations Center. Mr. Neal Markus, Applicant, commented the trailers should be gone and there should not be any raw material or finished materials being stored at that location.
 - 3.** Mr. Steven Dobbs, the Applicant's agent, commented there was excess parking spaces to accommodate the loading space and he would verify the proposed parallel configuration of the ADA parking spaces met the requirements of the 2012 Florida Accessibility Code.
 - 4.** No public comments were offered.
 - 5.** Disclosures of Ex-Parte Communications - Chairperson Ritter disclosed he had spoken with both Mr. Markus and Mr. Dobbs, and OCFR Captain Hazellief had spoken with Mr. Dobbs.
 - 6.** Motion by OCFR Captain Hazellief, seconded by Public Works Director Allen to approve Site Plan Review Application No. 21-002-TRC, as presented in [Exhibit 1, which includes the Planning Consultant's analysis of the findings and recommendation for approval with the following conditions: Repair all cracked and broken sidewalks along the property's boundaries on Southwest 7th Avenue; repair and modify the existing turn lanes by creating wider turn angles into the loading dock area; fill and sod areas where trucks have parked and created depressions and create wider turn angles into the new parking lot. **Motion Carried Unanimously.**

V. Chairperson Ritter adjourned the meeting at 10:15 A.M.

Submitted by:

Patty M. Burnette, Secretary

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DRAFT



Staff Report

Site Plan Review:

Prepared for: *The City of Okeechobee*

Applicant: *Loris Asmussen*

Address: *116 SE 8th Avenue*

Parcel ID: *3-22-37-35-0260-00000-0060*

3-22-37-35-0260-00000-0080

Petition No.: *21-005-TRC*

Description: *Townhomes*

General Information

Applicant/Contact Person	Loris Asmussen
Applicant/Contact Phone Number	863-763-8546
Applicant/Contact Email Address	lasmussen@emarqmail.com
Applicant/Contact Address	PO Box 1998 Okeechobee, FL 34974
Owner of Record	B&T Fair Investments, Inc
Site Address	116 SE 8th Avenue
For the legal description of the project or other information regarding this application, please refer to the application submittal package which is available by request at City Hall and is posted on the City's website prior to the advertised public meeting at https://www.cityofokeechobee.com/agendas.html	

Future Land Use, Zoning and Existing Use

	Existing	Proposed
Future Land Use Category	Multi Family Residential	Multi Family Residential
Zoning District	Residential Multiple Family	Residential Multiple Family
Use of Property	Vacant	Townhomes
Acreage	1.31	1.31

Future Land Use, Zoning and Existing Uses on Surrounding Properties

North	Future Land Use	Single Family Residential
	Zoning District	Residential Multiple Family
	Existing Land Use	Residential
East	Future Land Use	Commercial
	Zoning District	Heavy Commercial
	Existing Land Use	Shopping Center
South	Future Land Use	Single Family Residential
	Zoning District	Residential Multiple Family
	Existing Land Use	Single Family Residential
West	Future Land Use	Taylor Creek and Commercial
	Zoning District	Taylor Creek and Heavy Commercial
	Existing Land Use	Taylor Creek, Burger King, Outdoor Vehicle Storage

General Description

The subject site is located on the west side of SE 8th Avenue and the east side of Taylor Creek. The applicant is proposing to construct 12 townhomes for sale as condominiums. Long parking spaces are proposed for each unit which are sufficient to accommodate stacking of two vehicles each. 12 additional parking spaces are proposed on the east side of the development which could presumably be made available to guests. The proposed plans include a dedicated dumpster area and a stormwater management feature located between the principal structure and Taylor Creek.

Following is the Staff analysis of the project's consistency with the various City requirements and regulations. Instances where the Staff believes the submission to be deficient are highlighted.

Adequacy of Public Facilities

POTABLE WATER AND SANITARY SEWER: The estimated demand for potable water and waste water treatment for one multi-family dwelling unit is 285 gallons per day (114 gallons per person per day at an average household size of 2.5). Demand for potable water and waste water treatment for 12 multi-family dwelling units amounts to 3,420 gallons per day. This estimated increase in demand for the Okeechobee Utility Authority, which the Applicant has stated will be providing service to the site, is not significant.

SOLID WASTE DISPOSAL: Service will be provided by Waste Management. Previous landfill capacity estimates indicate that there is adequate capacity to serve the proposed development.

DRAINAGE: The plans include a stormwater management detention facility located between the principal structure and Taylor Creek. Water management calculations have also been provided. These items should be reviewed by the City's engineering service.

TRAFFIC GENERATION, ACCESS, EGRESS, AND INTERNAL CIRCULATION:

Estimated trip generation rates provided by the Institute of Traffic Engineers indicates that, for 12 townhomes (ITE code 230), 70 daily vehicle trips are expected to be generated by this project, 6 of which will occur during the peak PM hour. This is not a significant increase. Local roadways and SR-70 should not experience a significant change in traffic intensity from this development.

One 30 foot wide driveway is proposed on SE 8th Ave to provide ingress and egress to the site. The interior access aisle is also proposed at 30 feet wide. Additional maneuvering space is provided adjacent to the dedicated dumpster location which should sufficiently accommodate waste truck turning movements. Internal circulation appears adequate.

Compatibility With Adjacent Uses

There is existing residential to the north and south, as well as a large shopping center to the east. The proposed project meets all buffering requirements and does not pose any compatibility issues to the adjacent uses. The location of the site is appropriate for a multifamily project.

Compliance with Land Development Codes

Regulation	Required	Provided
Min Lot Area §90-196(1)(c)	4,356 square feet for each dwelling unit	In compliance
Min FY Setback (SE 8th Ave) §90-196(2)(b)	25'	88'
Min SY Setback §90-196(2)(b)	20'	29' on north side 29' on southeast side
Min RY Setback §90-196(2)(b)	20'	34'
Min Waterbody Frontage Easement §90-451	20'	In compliance
Max Lot Coverage §90-196(3)(a)	40%	19%
Max Impervious Surface §90-196(3)(a)	60%	51%
Max Height §90-196(4)	45'	Two stories (less than 45')
Min parking space dimensions §90-511(b)	9' by 20'	In compliance
Min Loading space dimensions §90-511(c)	At least 10' wide by 30' long w/14' vertical clearance.	No loading space required
Minimum Driveway Width §90-511(d)(2)	24' wide drive for spaces between 75° and 90°.	30'
Paved Parking §90-511(e)(1)	Each parking and loading space shall be paved	In compliance
Paved Space Access §90-511(e)(2)	Each parking or loading space shall open directly onto a driveway that is not a public street, and each parking space shall be designed to permit access without moving another vehicle.	In compliance

Regulation	Required	Provided
Paved Area Safety §90-511(e)(3)	Buildings, parking and loading areas, landscaping and open spaces shall be designed so that pedestrians moving between parking areas and buildings are not unreasonably exposed to vehicular traffic hazards.	In compliance
Paved Area Safety §90-511(e)(4)	Paved pedestrian walks shall be provided along the lines of the most intense use, particularly between building entrances to streets, parking areas, and adjacent buildings.	In compliance
Paved Area Safety §90-511(e)(5)	Loading facilities shall be identified as to purpose and location when not clearly evident	No loading space required
Paved Area Safety §90-511(e)(5)	No parking space accessed via a driveway from a public road shall be located closer than 20 feet from the right-of-way line of said public road.	In compliance
Min Number of Off-street Parking Spaces §90-512(1)	2 spaces per two-bedroom unit <u>$2 \times 12 = 24$ spaces required</u>	36 parking spaces provided
Min number of Off-street Loading spaces §90-513(1)	No loading space required for facilities with less than 20 dwelling units	0 loading spaces provided
Min number of resident ADA parking spaces Florida Accessibility Code §208.2.3.2	Where the total number of parking spaces provided for each residential dwelling unit exceeds one parking space per residential dwelling unit, 2 percent, but no fewer than one space <u>$24 \times .02 = 1$ ADA spaces required</u>	2 ADA parking spaces provided
Min number of guest/employee ADA parking spaces Florida Accessibility Code §208.2.3.3	Where parking spaces are provided for persons other than residents, parking shall be provided in accordance with Table 208.2. <u>12 guest parking spaces provided.</u> <u>1 ADA space required for facilities with 1 – 25 spaces.</u>	

Regulation	Required	Provided
Min ADA parking space dimensions Florida Accessibility Code §502	12' by 20' with a 5' wide access aisle	In compliance
Min Landscaping §90-532	3 trees per two-bedroom dwelling <i>$3 \times 12 = 36$ trees required</i>	36 trees provided
Landscaping for parking and Vehicular use areas §90-533(1)	18 sf of landscaping required per required parking space. <i>$18 \times 24 = 432$ sf of required landscaped space</i>	In compliance
Landscaping for parking and Vehicular use areas § 90-533(2)	One tree per 72 sf of required landscape area <i>$432 \div 72 = 6$ required trees</i>	In compliance
Landscaping for parking and Vehicular use areas §90-533(4)	Two feet of landscaping required between buildings and vehicular use areas.	In compliance
Landscaping for parking and Vehicular use areas §90-533(5)	Min. dimension of landscaped areas must not be less than 4' except adjacent to on-site buildings.	All landscape islands shown at 4' wide or wider.
Landscaping for parking and Vehicular use areas §90-533(6)	One landscaped island at least 5' by 15' w/at least one tree must be provided for each 10 required parking spaces w/ a maximum of 12 uninterrupted parking spaces in a row.	In compliance
Landscaping for parking and Vehicular use areas §90-533(7)	The remainder of a parking landscape area shall be landscaped with grass, ground cover, or other landscape material.	In compliance
Landscape buffer areas §90-534(1)	10' minimum width of street frontage buffers	In compliance
Landscape buffer areas §90-534(1)	2' minimum width of property line buffers	In compliance
Landscape buffer areas §90-534(2)	1 tree and 3 shrubs for each 300 square feet of required landscaped buffer	

Regulation	Required	Provided
	<p><i>254 linear ft of non-driveway frontage on SE 8th Ave requires 10' wide buffer, 2,540 sf of landscaped area, 8 trees and 25 shrubs</i></p> <p><i>189 linear ft of south property line requires 2' wide buffer, 378 sf of landscaped area, 1 tree and 4 shrubs</i></p> <p><i>265 linear ft of west property line requires 2' wide buffer, 530 sf of landscaped area, 2 trees and 5 shrubs</i></p> <p><i>231 linear ft of north property line requires 2' wide buffer, 462 sf of landscaped area, 2 trees and 5 shrubs</i></p>	<p>In compliance</p> <p>In compliance</p> <p>In compliance</p> <p>In compliance</p>
Landscape buffer areas §90-534(3)	Trees may be planted in clusters, but shall not exceed 50 feet on centers abutting the street.	In compliance
Species diversification §90-538(c)	When more than ten trees are required to be planted, two or more species shall be used.	In compliance
Tree spacing from utility structures §90-538(d)	Trees and shrubs shall not be planted in a location where at their maturity they would interfere with utility services (in accordance with §90-543).	In compliance
Shade §90-538(e)	Trees should maximize the shading of pedestrian walks and parking spaces.	In compliance
Landscape area barriers §90-538(g)	Landscaping shall be protected from vehicular encroachment by means of curbs, wheel stops, walks or similar barriers.	In compliance
Drought tolerance §90-540(b)	Plants required to be installed shall be elected from the South Florida Water Management District's Xeriscape Plant Guide.	In compliance

Regulation	Required	Provided
Drought tolerance §90-540(b)	At least 75 percent of the total number of plants required shall be state native very drought tolerant species as listed in the South Florida Water Management District Xeriscape Plant Guide. However, when a landscape irrigation system is installed, at least 75 percent or the total number of plants required shall be state native moderate or very drought tolerant species.	In compliance
Min tree size §90-540(c)	Trees shall be at least ten feet high and two inches in diameter measured four feet above ground level at the time of planting.	In compliance
Prohibited species §90-542	Species listed in §90-542 shall not be planted.	No prohibited species are proposed.
Fencing §90-639(a)	Fences shall not exceed a height of five feet in front of the front building line, nor a height of eight feet elsewhere	No fence proposed.
Sidewalks §78-36(a)(1)	Sidewalks required adjacent to right-of-way	Sidewalk is already in place on the west side of this segment of SE 8 th Ave.
Photometric Plan §78-71(a)(5)	All off-street parking areas, service roads, walkways and other common use exterior areas open to the public shall have a minimum of one-half horizontal foot-candle power of artificial lighting. Lighting, when provided, shall be directed away from public streets and residential areas and shall not be a hazard or distraction to motorists traveling a street.	Photometric plan indicates adequate lighting of site and minimal light trespass beyond property boundaries

Recommendation

Based on the foregoing analyses, we recommend that approval of this site plan be conditional upon the following criteria being met prior to issuance of any building permits:

1. The appropriateness of this plan as it applies to fire truck access should be addressed by the Fire Department in their review.
2. The City's engineering service should review the proposed stormwater facilities and the submitted drainage report to ensure on site stormwater will be captured and released according to all applicable standards.

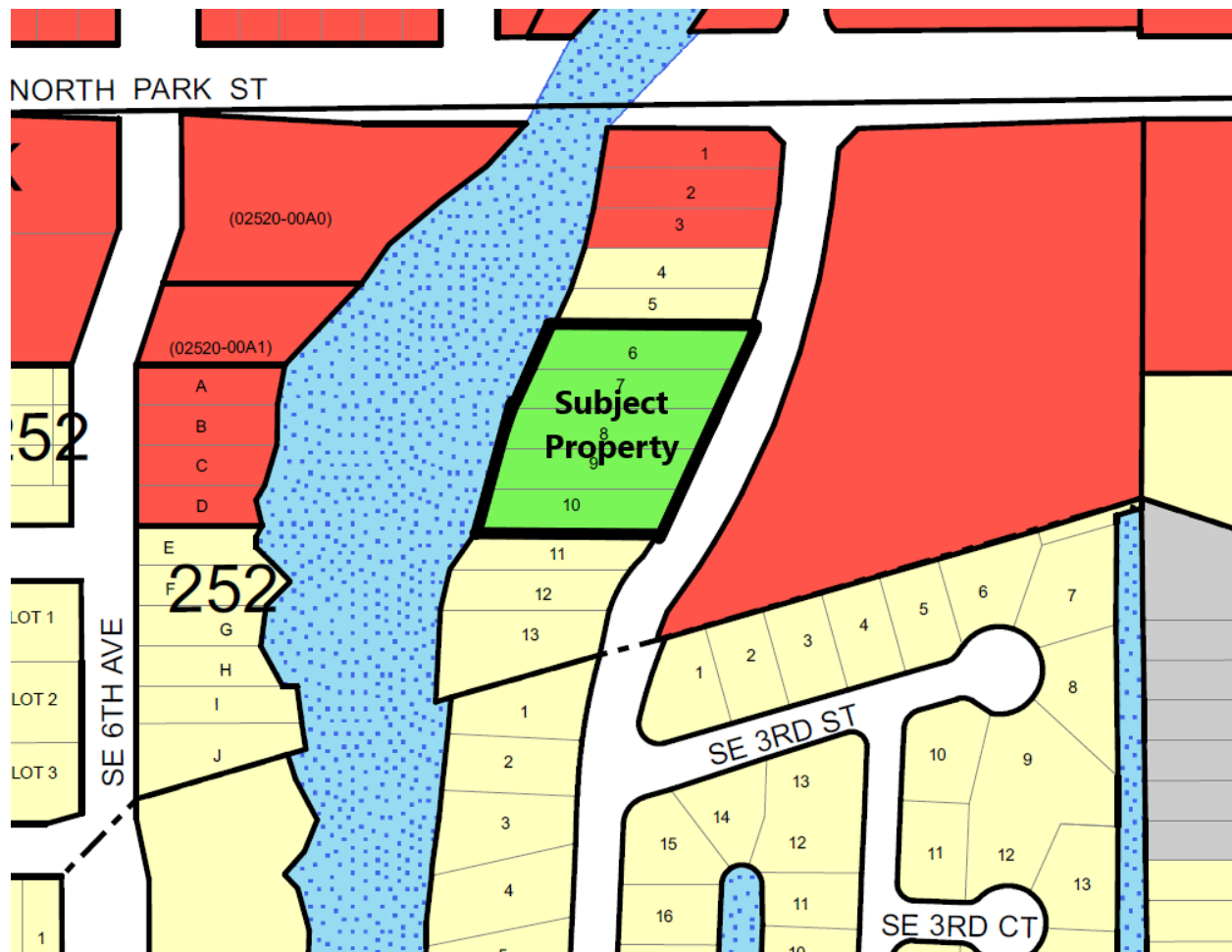
Submitted by:

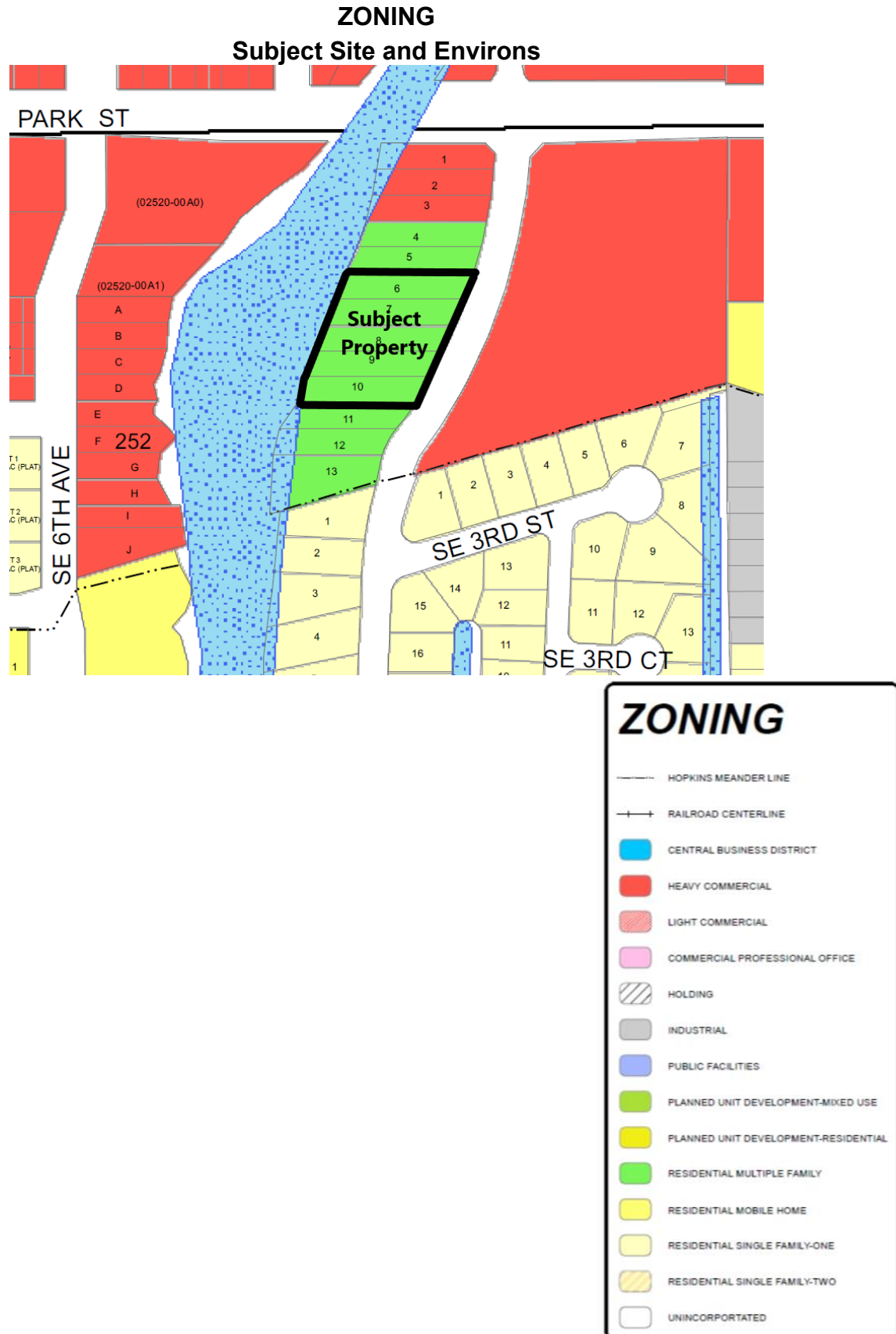


Ben Smith, AICP
Sr. Planner, LaRue Planning
Submitted: October 6, 2021

TRC Hearing date: October 21, 2021

FUTURE LAND USE
Subject Site and Environs





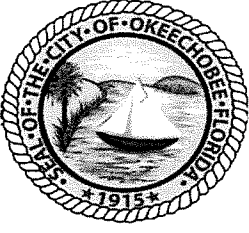
EXISTING LAND USE Subject Site and Environs



CITY OF OKEECHOBEE

Application for Site Plan Review

Pag 1 of 4

	City of Okeechobee General Services Department 55 S.E. 3rd Avenue, Room 101 Okeechobee, Florida 34974 Phone: (863) 763-3372, ext. 9820 Fax: (863) 763-1686 E-mail: pburnette@cityofokeechobee.com	Date Received <u>9-3-21</u>
		Application No. <u>21-005-TRC</u>
		Fee Paid: <u>1039.30</u> CK# <u>1009</u>
		Receipt No. <u>54603</u>
		Hearing Date: <u>10-21-21</u>
APPLICANT INFORMATION		
1	Name of property owner(s): Subarna Joshi (B & T Fair Investments, Inc.)	
2	Owner mailing address: 511 South Parrott Avenue Okeechobee, FL 34974	
3	Name of applicant(s) if other than owner: Loris Asmussen	
4	Applicant mailing address: P.O. Box 1998 Okeechobee, FL 34974	
5	Name of contact person (state relationship): Loris Asmussen / Engineer	
6	Contact person daytime phone(s) and email address: (863) 763-8546 / lasmusse@embarqmail.com	
7	Engineer: Name, address and phone number: Loris Asmussen / 600 S. Parrott Avenue Okeechobee, FL 34974 / (863) 610-0043	
8	Surveyor: Name, address and phone number: Tradewinds Surveying Group, LLC. / 200 SW 3 rd Avenue Okeechobee FL 34974 / (863) 763-2887	
PROPERTY and PROJECT INFORMATION		
9	Property address/directions to property: 116 SE 8 th Avenue Okeechobee, FL 34974 / Across Taylor Creek from Burger King	
10	Parcel Identification Number: 3-22-37-35-0260-00000-0060 3-22-37-35-0260-00000-0080	
11	Current Future Land Use designation: Multi-family Residential	
12	Current Zoning district: Residential Multiple Family	
13	Describe the project including all proposed uses, type of construction and conceptual building layout, how the business or use is expected to operate on the site, including but not limited to: number of employees expected; hours of operation; location, extent and type of any outdoor storage or sales, etc., and fire flow layout. Use additional page if necessary. Twelve (12) unit condominium (two-story) proposed for sale to third parties	
14	Describe existing improvements on property (for example, the number and type of buildings, dwelling units, occupied or vacant, etc.). Use additional page if necessary. Currently undeveloped, but this use previously approved by the City of Okeechobee (prior to previous housing collapse)	
15	Total land area in square feet (if less than two acres): 57,063.6 ft ² or acres: 1.31 ac	
16	Is proposed use different from existing or prior use <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

CITY OF OKEECHOBEE

Application for Site Plan Review

Pag 2 of 4

17	Number and description of phases: Single phase project
18	Source of potable water: OUA
19	Method of sewage disposal: OUA

ATTACHMENTS REQUIRED FOR ALL APPLICATIONS	
20	Applicant's statement of interest in property: Owners (B&T Fair Investments, Inc. / Subarna Joshi)
21	One (1) copy of last recorded warranty deed
22	Notarized letter of consent from property owner (if applicant is different from property owner)
23	Three (3) CERTIFIED BOUNDARY and TOPOGRAPHIC surveys, (one to be no larger than 11 x 17; scale not less than one inch to 20 feet; North point) containing: <ul style="list-style-type: none"> a. Date of survey, surveyor's name, address and phone number b. Legal description of property pertaining to the application c. Computation of total acreage to nearest tenth of an acre d. Location sketch of subject property, and surrounding area within one-half mile radius
24	Two (2) sets of aerials of the site.
25	Eleven (11) copies of sealed site plan drawings (see attached checklist for details of items to be included)
26	Eleven (11) copies of drawing indicating facades for all buildings, including architectural elevations.
27	Eleven (11) copies of landscape plan, including a separate table indicating the number of trees and shrubs by type and showing both the official and common name of each type of tree and shrub.
28	Eleven (11) copies of photometric lighting plan (see Code of Ordinances & LDR's Section 78-71 (A) (5)).
29	Three (3) copies of sealed drainage calculations.
30	Attach a Traffic Impact Study prepared by a professional transportation planner or transportation engineer, if the rezoning or proposed use will generate 100 or more peak hour vehicle trip ends using the trip generation factors for the most similar use as contained in the Institute of Transportation Engineers most recent edition of <u>Trip Generation</u> . The TIA must identify the number of net new external trips, pass-bay calculations, internal capture calculations, a.m. and p.m. peak hour trips and level of service on all adjacent roadway links with and without the project.
31	USB flash drive of application
32	Nonrefundable application fee: \$1,000.00 plus \$30.00 per acre. NOTE: Resolution No. 98-11 Schedule of Land Development Regulation Fees and Charges - When the cost for advertising, publishing and mailing notices of public hearings exceeds the established fee, or when a professional consultant is hired to advise the City on the application, the applicant shall pay the actual costs.
NOTE: Submissions will be reviewed by the General Services Coordinator and City Planner for all necessary documentation. The Applicant will be notified at least 10 days prior to the TRC meeting whether or not additional information is required to proceed or if the review will be rescheduled to the next TRC meeting.	
Confirmation of Information Accuracy	
I hereby certify that the information in this application is correct. The information included in this application is for use by the City of Okeechobee in processing my request. False or misleading information may be punishable by a fine of up to \$500.00 and imprisonment of up to 30 days and may result in the summary denial of this application.	
<div style="display: flex; justify-content: space-between;"> <div>Signature _____</div> <div>Printed Name _____</div> <div>Date _____</div> </div>	

For questions relating to this application packet, call the General Services Dept. at (863) 763-3372, Ext. 9820

CITY OF OKEECHOBEE

Application for Site Plan Review

Pag 2 of 4

17	Number and description of phases: Single phase project
18	Source of potable water: OUA
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ATTACHMENTS REQUIRED FOR ALL APPLICATIONS

- ✓ 20 Applicant's statement of interest in property **OWNER**
- ✓ 21 One (1) copy of last recorded warranty deed
- ✓ 22 Notarized letter of consent from property owner (if applicant is different from property owner)
- ✓ 23 **Three (3) CERTIFIED BOUNDARY and TOPOGRAPHIC** surveys, (one to be no larger than 11 x 17; scale not less than one inch to 20 feet; North point) containing:
- a. Date of survey, surveyor's name, address and phone number
 - b. Legal description of property pertaining to the application
 - c. Computation of total acreage to nearest tenth of an acre
 - d. Location sketch of subject property, and surrounding area within one-half mile radius
- ✓ 24 Two (2) sets of aerials of the site.
- ✓ 25 Eleven (11) copies of sealed site plan drawings (see attached checklist for details of items to be included)
- ✓ 26 Eleven (11) copies of drawing indicating facades for all buildings, including architectural elevations.
- ✓ 27 Eleven (11) copies of landscape plan, including a separate table indicating the number of trees and shrubs by type and showing both the official and common name of each type of tree and shrub.
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Signature

Lorin Asmus
Printed Name

9-1-2021
Date

For questions relating to this application packet, call the General Services Dept. at (863) 763-3372, Ext. 9820



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Profit Corporation

B & T FAIR INVESTMENTS, INC.

Filing Information

Document Number	P16000081316
FEI/EIN Number	81-4099285
Date Filed	10/04/2016
Effective Date	10/06/2016
State	FL
Status	ACTIVE

Principal Address

511 South Parrott Ave.
OKEECHOBEE, FL 34974

Changed: 04/11/2018

Mailing Address

511 South Parrott Ave.
OKEECHOBEE, FL 34974

Changed: 04/11/2018

Registered Agent Name & Address

joshi, subarna
511 South Parrott Ave.
OKEECHOBEE, FL 34974

Name Changed: 04/11/2018

Address Changed: 04/11/2018

Officer/Director Detail

Name & Address

Title President

Joshi, Subarna
511 South Parrott Ave.
OKEECHOBEE, FL 34974

Title VP

CHACKO, THOMAS
1104 S E 12TH DRIVE
OKEECHOBEE, FL 34974 UN

Annual Reports

Report Year	Filed Date
2019	03/26/2019
2020	05/18/2020
2021	02/16/2021

Document Images

02/16/2021 -- ANNUAL REPORT	View image in PDF format
05/18/2020 -- ANNUAL REPORT	View image in PDF format
03/26/2019 -- ANNUAL REPORT	View image in PDF format
04/11/2018 -- ANNUAL REPORT	View image in PDF format
05/05/2017 -- ANNUAL REPORT	View image in PDF format
10/04/2016 -- Domestic Profit	View image in PDF format



Asmussen Engineering LLC.

Engineering & Environmental Services

P.O. Box 1998, Okeechobee, FL. 34973-1998 Office: (863) 763-8546 Cell: (863) 610-0043

September 7, 2021

Mr. Gary Ritter - City of Okeechobee Administrator
55 SE 3rd Avenue
Okeechobee, FL. 34974

Dear Gary,

On behalf of B & T Fair Investments, Inc. we remit this application for a multi-family (townhouse/condominium) development located west of SE 8th Avenue in the City (refer to Sheet 1 of the plans). The contiguous ownership includes Lots 6, 7, 8, 9 and 10 of Taylor Creek Manor (Plat Book 3, Pg. 4), which are zoned multi-family. These units are proposed for sale to third parties. The site is currently undeveloped.

Proposed is a twelve (12) unit, two-story, two (2) bedroom development with associated parking, landscaping and water management system (wms). The wms is designed to adhere to existing rules/criteria. We exceed the required water quality treatment volume for projects in the Lake Okeechobee Basin (refer to calculations). We utilized the minimum allowable bleeder size (0.25' diameter circular bleeder) for this project (S-133 Basin). Modeling the design storm (25 year-3 day) established the design stage (21.8' NAVD) and design discharge (0.39 CFS). We exceed the basin allowable discharge (15.6 CSM or 0.03 CFS), due to utilizing the minimum allowable bleeder size.

An existing six (6) inch water main is located east of SE 8th Avenue and gravity sewer is located west of SE 8th Avenue. Existing fire hydrants can be found nearby. We look forward to working with you and your Staff to complete this effort.

Sincerely,

Loris C. Asmussen, P.E.
President

Enclosures Application Package for TRC/ Application for Unity of Title

C: B & T Fair Investments, Inc. File

#21
FILE NUM 2016009386
OR BK 781 PG 240
SHARON ROBERTSON, CLERK OF CIRCUIT COURT
OKEECHOBEE COUNTY, FLORIDA
RECORDED 10/13/2016 09:45:44 AM
AMT \$92,000.00
RECORDING FEES \$10.00
DEED DOC \$644.00
RECORDED BY L Shain
Pg 240 (1 pg)

THIS INSTRUMENT PREPARED BY AND RETURN TO:

John E. Burdeshaw
Lake Okeechobee Title Inc.
425 SW Park Street
Okeechobee, FL 34974

Property Appraisers Parcel Identification (Folio) Number: **3-22-37-35-0260-1111-0060&0080**

SPACE ABOVE THIS LINE FOR RECORDING DATA

THIS WARRANTY DEED, made the 12th day of October, 2016 by Ashraf Shabaan Ahmed, A married Man , whose post office address is 980 SE 23rd Street, Okeechobee, FL 34974 herein called the grantor, to B & T Fair Investments, Inc., A Florida Corporation whose post office address is 1403 SE 8th Avenue, Okeechobee, FL 34974, hereinafter called the Grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH: That the grantor, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee all that certain land situate in OKEECHOBEE County, State of Florida, viz.:

Lots 6, 7, 8, 9 and 10 TAYLOR CREEK MANOR, according to the plat thereof as recorded in Plat Book 3, page 4, public records of Okeechobee County, Florida. This is not the Homestead of the Grantor.

Subject to easements, restrictions and reservations of record and taxes for the year 2016 and thereafter.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

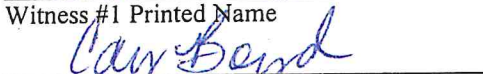
AND, the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2015.

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.


Signed, sealed and delivered in the presence of:


Witness #1 Signature

John E. Burdeshaw
Witness #1 Printed Name


Witness #2 Signature

Cay Boyd
Witness #2 Printed Name


Ashraf Shabaan Ahmed

STATE OF FLORIDA
COUNTY OF OKEECHOBEE

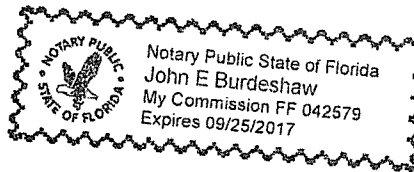
The foregoing instrument was acknowledged before me this 12th day of October, 2016 by Ashraf Shabaan Ahmed

STATE OF FLORIDA
COUNTY OF OKEECHOBEE

The foregoing instrument was acknowledged before me this 12th day of October, 2016 by Ashraf Shabaan Ahmed who is personally known to me or has produced Driver's Lic. as identification.

SEAL

My Commission Expires:



John E. Burdeshaw
Notary Public

Printed Notary Name

File No.: 16-1514

CITY OF OKEECHOBEE
55 SE 3RD AVENUE
OKEECHOBEE, FL 34974

TELE: 863-763-3372 FAX: 863-763-1686

LAND USE POWER OF ATTORNEY

Name of Property Owners: Subarna Joshi & Thomas Chacko (B&T Fair Investments, Inc.)		
Mailing Address: 511 South Parrott Avenue Okeechobee, FL 34974		
Home Telephone: (863) 634-7722	Work: (863) 447-4390	Cell:
Property Address: 116 SE 8 th Avenue Okeechobee, FL 34974		
Parcel ID Number: 3-22-37-35-0260-00000-0060 & 0080		
Name of Applicant: Loris Asmussen		
Home Telephone:	Work: (863) 763-8546	Cell: (863) 610-0043

The undersigned, being the record title owner(s) of the real property described above, do hereby grant unto the applicant stated above the full right and power of attorney to make application to the City of Okeechobee to change the land use of said property. This land use change may include rezoning of the property, the granting of special exception or variances, and appeals of decisions of the Planning Department. It is understood that conditions, limitations and restrictions may be place upon the use or operation of the property. Misstatements upon application or in any hearing may result in the termination of any special exception or variance and a proceeding to rezone the property to the original classification. This power of attorney may be terminated only by a written and notarized statement of such termination effective upon receipt by the Planning Department.

IN WITNESS WHEREOF THE UNDERSIGNED HAVE SET THEIR HAND AND SEALS THIS 2nd
DAY OF September 2021.

Subarna Joshi
OWNER

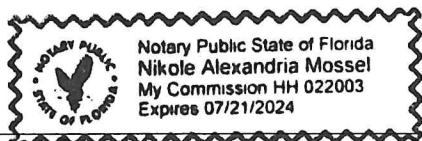
Samantha Hodges Samantha Hodges
WITNESS

OWNER

WITNESS

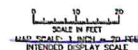
STATE OF FLORIDA
COUNTY OF Okeechobee

The foregoing instrument was acknowledged before me by means of physical presence or
online notarization, this 2nd day of September, 2021, by Subarna Joshi,
FDL (Name of Person)
who is personally known to me or produced J200-780-68-253-0 as identification.

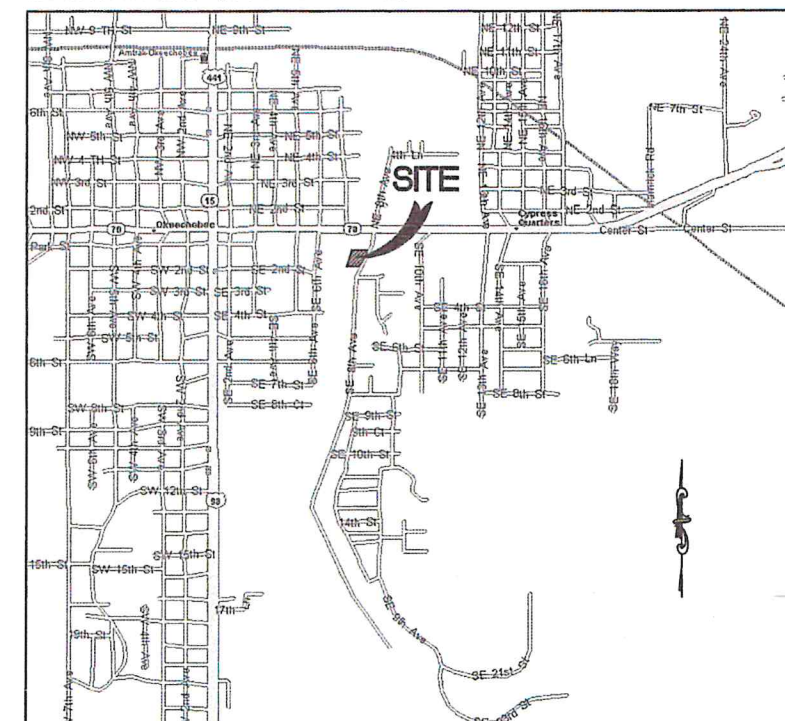


Nikole Alexandria Mossel
NOTARY PUBLIC SIGNATURE

#23



LOCATION MAP: (NOT TO SCALE)



DESCRIPTION:

DESCRIPTION:
LOTS 6, 7, 8, 9 AND 10, TAYLOR CREEK MANOR, ACCORDING TO THE PLAT THEREOF AS
RECORDED IN PLAT BOOK 3, PAGE 4, PUBLIC RECORDS OF OKEECHOBEE COUNTY, FLORIDA.

PROJECT SPECIFIC NOTES:

- PROJECT SPECIFIC NOTES:**
- 1) UNLESS SHOWN OTHERWISE, ALL DIMENSIONS ARE PLAT(P) AND MEASURED(M).
 - 2) SITE ADDRESS: 116 S.E. 8TH AVENUE.
 - 3) PARCEL ID: (LOTS 6-7) 3-22-37-35-0260-00000-0060 & (LOTS 8-10) 3-22-37-35-0260-00000-0080.
 - 4) F.I.R.M. ZONE: AE (B.F.E. 16' & "X", MAP NO. 12093C04060, DATED 07/16/15).
 - 5) BEARING REFERENCE: THE SOUTH LINE OF LOT 10 IS TAKEN TO BEAR NORTH 89°18'22" WEST.
 - 6) THE DESCRIPTION SHOWN HEREIN WAS PROVIDED BY THE CLIENT OR THE CLIENT'S REPRESENTATIVE.
 - 7) THIS SURVEY IS NOT INTENDED TO DEPICT JURISDICTIONAL AREAS OR OTHER AREAS OF LOCAL CONCERN.
 - 8) THE SURVEY DEPICTED HERE IS NOT COVERED BY PROFESSIONAL LIABILITY INSURANCE. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
 - 9) NO SEARCH OF THE PUBLIC RECORDS FOR DETERMINATION OF OWNERSHIP OR RESTRICTIONS AFFECTING THE LAND SHOWN WAS PERFORMED BY THE SURVEYOR.
 - 10) NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY THE SURVEYOR FOR USE BY OTHERS NOT SPECIFICALLY NAMED.
 - 11) NO ATTEMPT WAS MADE TO LOCATE UNDERGROUND IMPROVEMENTS AND/OR ENCROACHMENTS (IF ANY) AS PART OF THIS SURVEY.
 - 12) ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
 - 13) DATE OF LAST FIELD SURVEY: 07/23/21.

PROJECT SPECIFIC LEGEND:

ID = IDENTIFICATION

PREPARED FOR THE EXCLUSIVE USE OF:
B & T FAIR INVESTMENTS, INC.

[illegible]

DESCRIPTION		DWG. DATE	FD/PG	BY	CHK
BOUNDARY & TOPO SURVEY		08/30/21	372/68-70	WC	KJ
SCALE <i>1" = 20'</i>		DRAWING NUMBER: <i>21-364</i>			
SHEET <i>1</i> OF <i>1</i>					

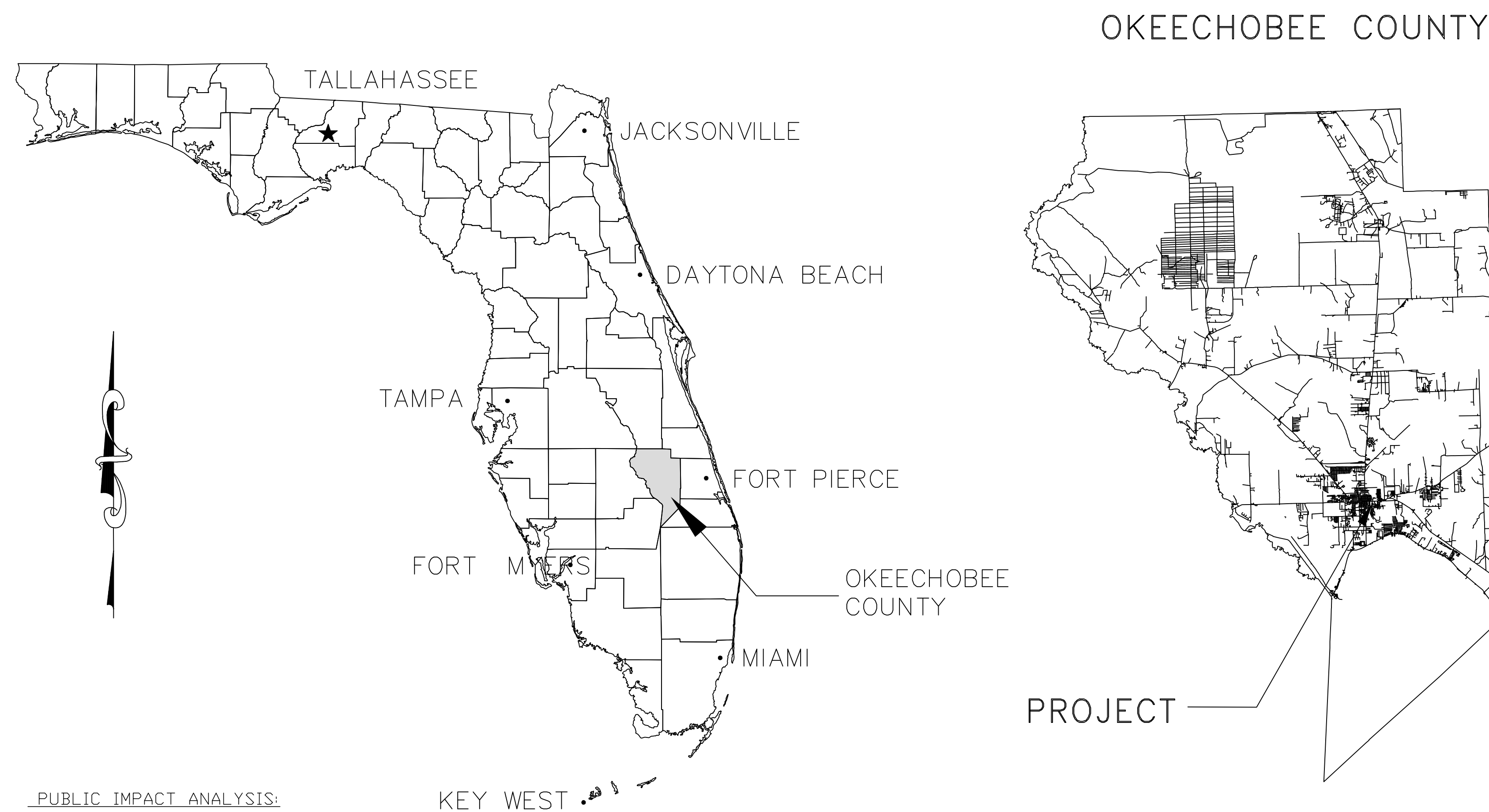
TRADEWINDS SURVEYING GROUP, LLC.

200 SW 3rd Avenue
Okeechobee, FL 34974
Tel: (863) 763-2887
Fax: (863) 763-4342

John J. Rice, P.S.M. (LS 4506) LB 8360

BRIDGEWATER ON TAYLOR CREEK OKEECHOBEE, FLORIDA

SECTION 22/TOWNSHIP 37S/RANGE 35E
PARCEL IDS: 3-22-37-35-0260-00000-0060 & 3-22-37-35-0260-00000-0080



PUBLIC IMPACT ANALYSIS:

POTABLE WATER DEMAND = 3,000 GPD

WASTEWATER GENERATED = 3,000 GPD

SOLID WASTE GENERATED = 150 LBS/DAY

DESIGN STORM = 25 YEAR - 72 HOUR EVENT (9.0 INCHES)

PEAK DAILY TRAFFIC GENERATED = 96 TRIPS PER DAY

OWNER PROPOSES A TOWNHOUSE/CONDOMINIUM DEVELOPMENT CONSISTING TO TWELVE (12) TWO-STORY UNITS, WHICH ARE TO BE CONVEYED TO THIRD PARTIES.

TOWNHOUSE/CONDOMINIUM ASSOCIATION DOCUMENTS (PER CHAPTER 718 F.S.) ARE BEING PREPARED BY OTHERS, WHICH WILL ADDRESS THE RESPONSIBILITIES/REQUIREMENTS/RULES APPLICABLE TO EACH UNIT OWNER. THIS INCLUDES COLLECTION OF FEES TO FACILITATE MAINTENANCE OF THE COMMON AREAS, INCLUDING THE WATER MANAGEMENT SYSTEM (WMS) AND OUTFALL CONTROL STRUCTURE.

WMS WAS DESIGNED TO ADHERE TO EXISTING SFMWD RULES/CRITERIA FOR PROJECTS LOCATED IN THE S-133 (LAKE OKEECHOBEE) BASIN. ALLOWABLE DESIGN DISCHARGE FOR THE DESIGN EVENT (25 YR-3 DAY STORM) IN THE S-133 BASIN IS 15.6 CSM (OR 0.03 CFS). ENGINEER UTILIZED THE MINIMUM ALLOWABLE CIRCULAR BLEEDER DIAMETER (0.25'), WHICH RESULTED IN A DESIGN DISCHARGE OF 0.39 CFS. THE RESULTING PEAK DESIGN STAGE IS 21.8' NAVD, WHICH IS CONTAINED USING A PERIMETER BERM (TOP ELEVATION OF 23.0' NAVD).

PREPARED FOR:


B & T FAIR INVESTMENTS, INC.
511 SOUTH PARROTT AVENUE
OKEECHOBEE, FLORIDA 34972-2600

ASSISTED BY:

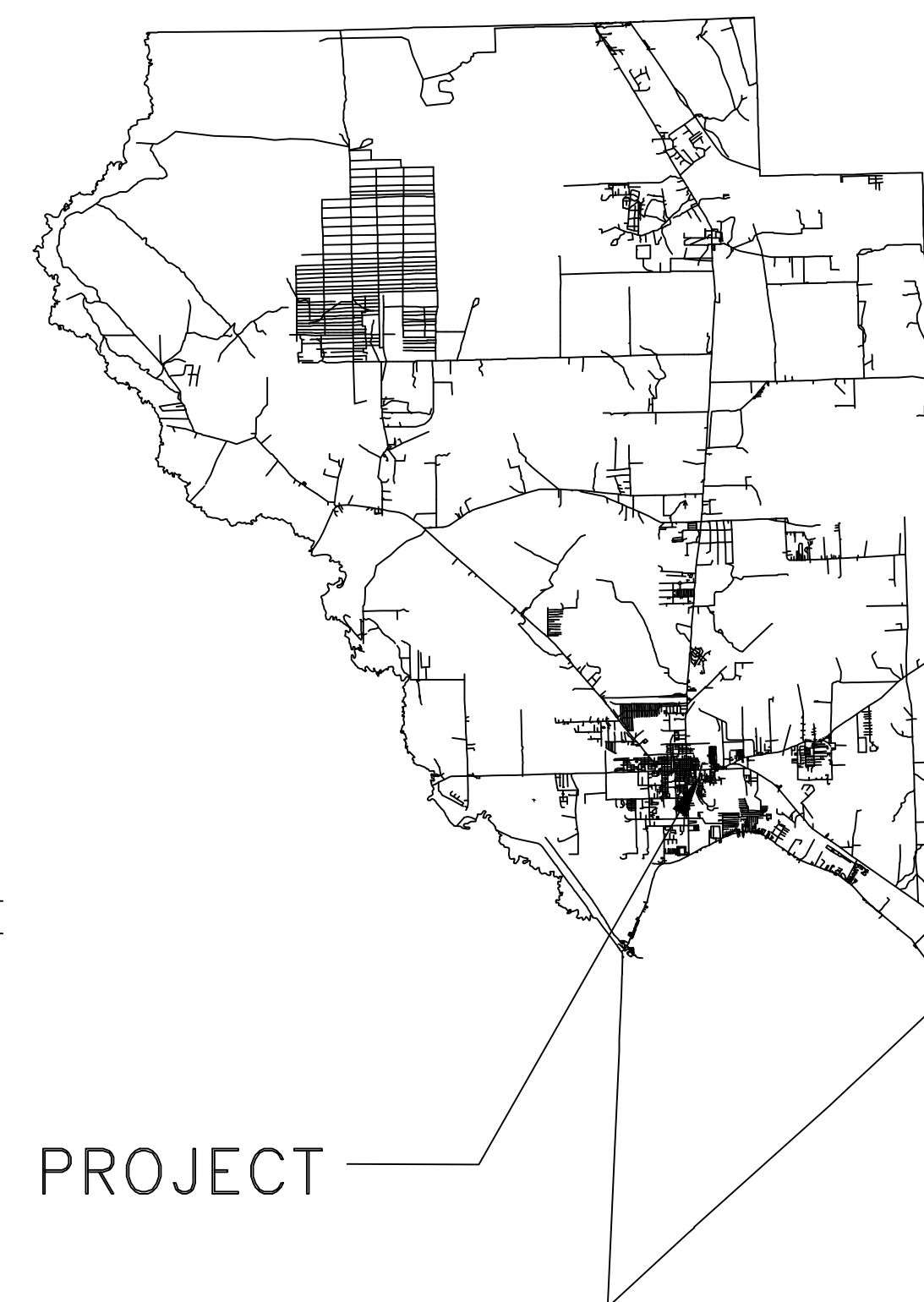
CONTRACTOR: MOSSEL-HODGES CONSTRUCTION, INC.

SURVEYOR: TRADEWINDS SURVEYING GROUP, LLC.

PREPARED BY:

 ASMUSSEN ENGINEERING, LLC
ENGINEERING AND ENVIRONMENTAL SERVICES
P.O. BOX 1998, OKEECHOBEE, FLORIDA. 34973 (863) 763-8546

OKEECHOBEE COUNTY



ENGINEERING (CONSTRUCTION) PLANS

SHEET 1 OF 5	COVER
SHEET 2 OF 5	PAVING, GRADING & DRAINAGE
SHEET 3 OF 5	CONSTRUCTION DETAILS AND NOTES
SHEET 4 OF 5	TOPOGRAPHIC INFORMATION
SHEET 5 OF 5	TECHNICAL SPECS. / EROSION & SEDIMENT CONTROL

EXHIBITS

EXHIBIT 1	LANDSCAPING PLAN
EXHIBIT 2	ELEVATION VIEWS & FLOOR PLANS
EXHIBIT 3	LIGHTING PLANS

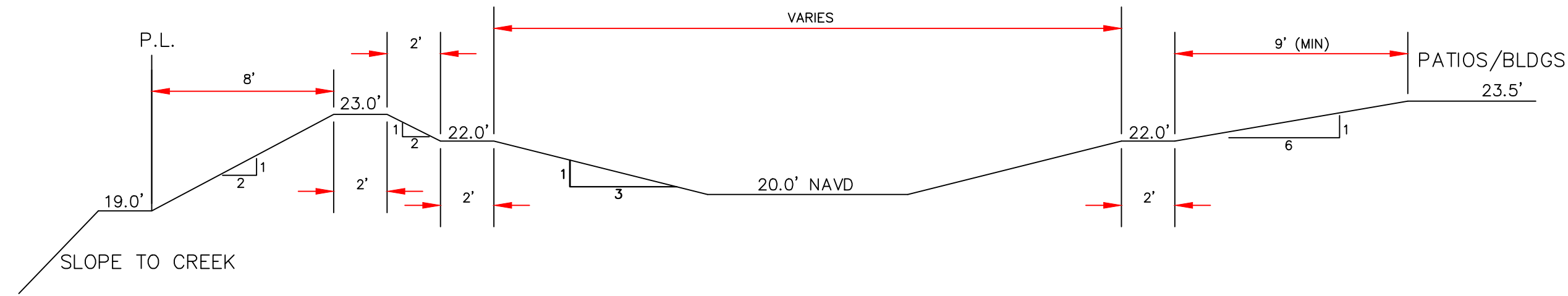
CALL 48 HOURS
BEFORE DIGGING IN FLORIDA
SIMPLY CALL 811
or
1-800-432-4770
WWW.CALLSUNSHINE.COM

IMPORTANT NOTE:

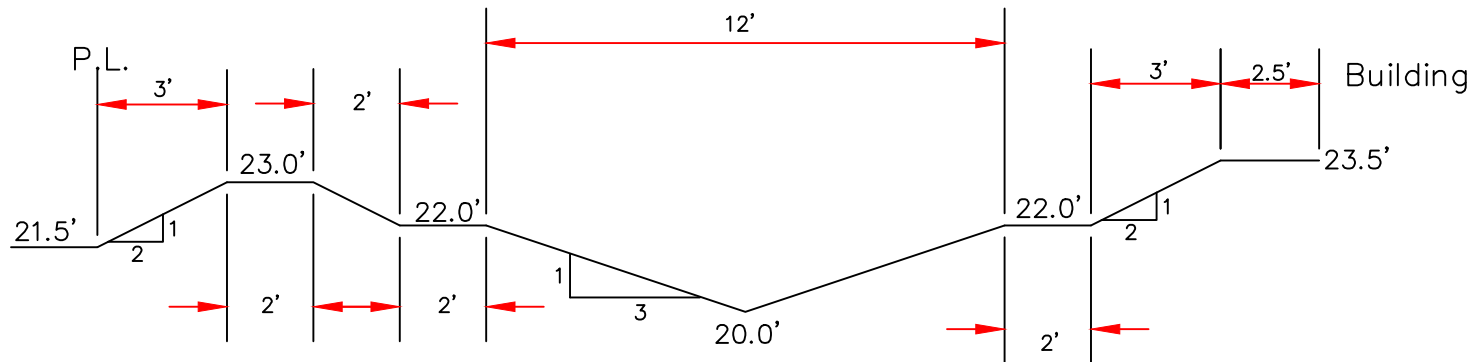
HORIZONTAL & VERTICAL DATA WAS COLLECTED IN COOPERATION W/ TRADEWINDS SURVEYING GROUP, LLC. ELEVATION DATA, USED TO GENERATE THESE PLANS, ARE REFERENCED TO NAVD (1988).

ASMUSSEN ENGINEERING, LLC.
P.O. Box 1998
OKEECHOBEE, FLORIDA 34973-1998
TEL: (863) 763-8546 CELL: (863) 610-0043
EMAIL: lasmusse@embargmail.com

PROJECT NUMBER	BRIDGEWATER ON TAYLOR CREEK	File	Cover.dwg	SHEET
06042021-01	SCALE N.T.S.	CERTIFICATE OF AUTHORIZATION	26134	1 of 5
	SEPTEMBER 1, 2021			



DRY DETENTION TYPICAL SECTION
N.T.S.

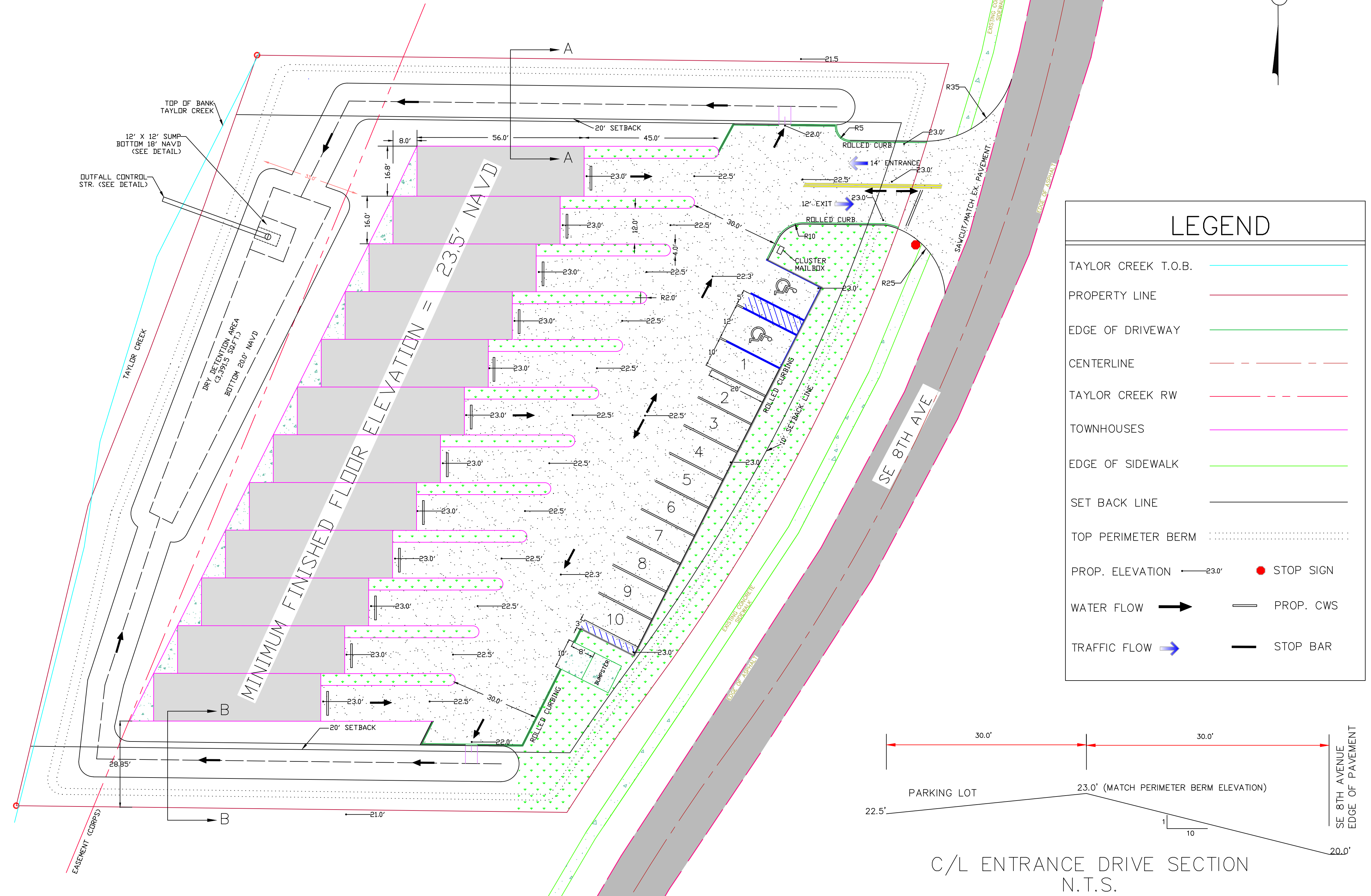


N. SWALE SECTION A-A
N.T.S.

LAND USE TABLE			
USE/DESCRIPTION	SQ.FT.	AC.	% COVER
TOTAL SITE	56,109.88 SQ.FT.	1.29 AC.	100.0
ONSITE IMPERVIOUS	28,693.88 SQ.FT.	0.66 AC.	51.1
ASPHALT	16,714.55 SQ.FT.	0.38 AC.	29.8
BUILDING	10,794.58 SQ.FT.	0.25 AC.	19.2
CONCRETE	997.22 SQ.FT.	0.02 AC.	1.8
CURBING	187.53 SQ.FT.	0.004 AC.	0.33
OFFSITE IMPERVIOUS	1055.35 SQ.FT.	0.024 AC.	
ASPHALT	1,026.26 SQ.FT.	0.02 AC.	
CURBING	29.09 SQ.FT.	0.001 AC.	
ONSITE PERVIOUS	27,416.00 SQ.FT.	0.63 AC.	48.9
LANDSCAPING	6,582.85 SQ.FT.	0.15 AC.	11.7
FRONTAGE	4,448.09 SQ.FT.	0.10 AC.	
EA. UNIT	2,134.76 SQ.FT.	0.05 AC.	
DRY DETENTION	8,400.49 SQ.FT.	0.19 AC.	15.0
OPEN/CANAL BANK	12,432.66 SQ.FT.	0.29 AC.	22.2

OTHER NOTES:

- OWNERS ARE B & T FAIR INVESTMENTS INC.
511 SOUTH PARROTT AVENUE
OKEECHOBEE, FL. 34974
(863) 447-4390
- TOTAL PROPERTY SIZE = 56,109.88 SQ.FT. (1.29 ACRES)
- PROPOSED IMPERVIOUS AREA = 28,693.88 SQ.FT. (0.66 ACRES OR 51.1%)
- SOIL TYPE: TAVARES AND ST. LUCIE
- EXISTING ZONING: RESIDENTIAL MULTIPLE FAMILY
- EXISTING USE: VACANT
- PROPOSED USE: 12 RESIDENTIAL TOWNHOUSE UNITS
- PERMITS REQUIRED: CITY OF OKEECHOBEE (MEET SFWMD WMS CRITERIA)
- THERE ARE NO WATER COURSES, WATER BODIES, FLOODPLAINS, XERIC UPLANDS, WETLANDS, CUTTHROAT GRASS SEEPS, HISTORICAL AND ARCHAEOLOGICAL RESOURCES, CONES OF INFLUENCE FOR POTABLE WELLS OR AQUIFER RECHARGE AREAS ON OR ADJACENT TO THE PROJECT SITE EXCEPT AS NOTED.
- EXISTING GROUND COVER: DIRT, GRASS, WEEDS
- WATER SERVICE: CENTRAL - DUA
- SEWER SERVICE: CENTRAL - DUA
- PARCEL # 3-22-37-35-0260-00000-0060 & 3-22-37-35-0260-00000-0080
- THERE ARE NO EXISTING BUILDINGS, CULVERTS, EASEMENTS, BOUNDARIES OF INCORPORATED AREAS, LAKES, STREETS, WATER COURSES, OR WATER MAINS EXCEPT AS SHOWN OR NOTED.
- THERE ARE NO PUBLIC SUPPLY WELLS WITHIN 600' OF THE PROJECT.
- PROJECT DENSITY = 12/1.29 = 9.3 UNITS PER ACRE
- CONTRACTOR TO WORK WITH ENGINEER THROUGHOUT CONSTRUCTION.
- ALL WORK SHALL CONFORM WITH ALL APPLICABLE SPECIFICATIONS CONTAINED IN THE CITY OF OKEECHOBEE'S CODE OF ORDINANCES.
- PRIOR TO CONSTRUCTION, CONTRACTOR WILL EMPLOY THE SERVICES OF A GEOTECHNICAL FIRM TO CONDUCT SOIL BORINGS UNDER THE BUILDING AND PARKING AREAS. COMPACTION TESTING RESULTS WILL BE PROVIDED TO THE ENGINEER FOR THE BUILDING PAD, PARKING LOT AND RIGHT-OF-WAY.
- PARKING: TWELVE (12) TOWNHOUSE UNITS X 2 = 24 REQUIRED;
34 SPACES AND TWO (2) HANDICAP PARKING SPACES ARE PROVIDED.
UNIT PARKING IS 45' LONG TO ACCOMMODATE TWO (2) VEHICLES PER UNIT.



LEGEND

- TAYLOR CREEK T.O.B.
- PROPERTY LINE
- EDGE OF DRIVEWAY
- CENTERLINE
- TAYLOR CREEK RW
- TOWNHOUSES
- EDGE OF SIDEWALK
- SET BACK LINE
- TOP PERIMETER BERM
- PROP. ELEVATION 23.0'
- STOP SIGN
- WATER FLOW
- PROP. CWS
- TRAFFIC FLOW
- STOP BAR

BRIDGEWATER ON TAYLOR CREEK
PAVING, GRADING AND DRAINAGE PLAN

DRAWN FOR:

SUBARNA JOSHI
B&T FAIR INVESTMENTS INC
OKEECHOBEE, FL. 34972

ASMUSSEN ENGINEERING, LLC.

P.O. Box 1998
OKEECHOBEE, FLORIDA 34973-1998
TEL: (863) 763-8546 CELL: (863) 610-0043

Print Date

9-1-2021

CONTIGUOUS OWNERSHIP (1.29 AC)

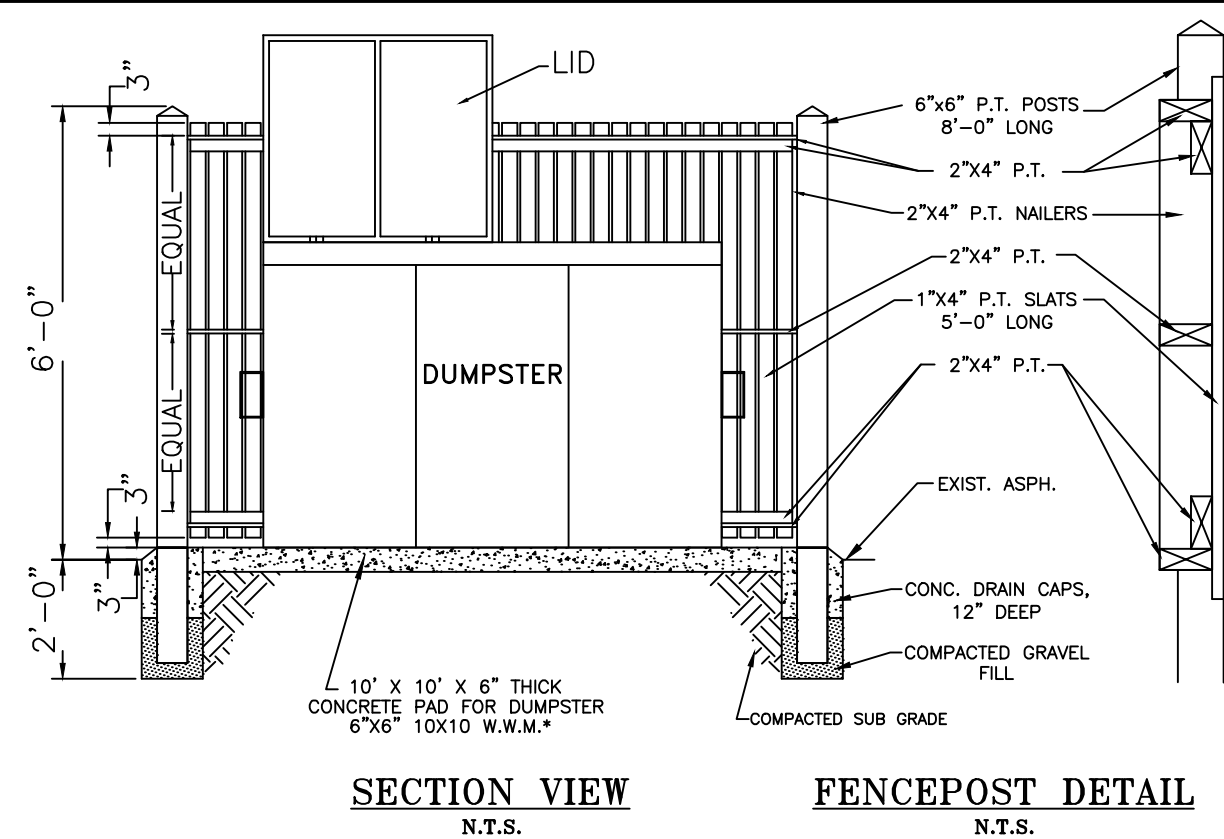
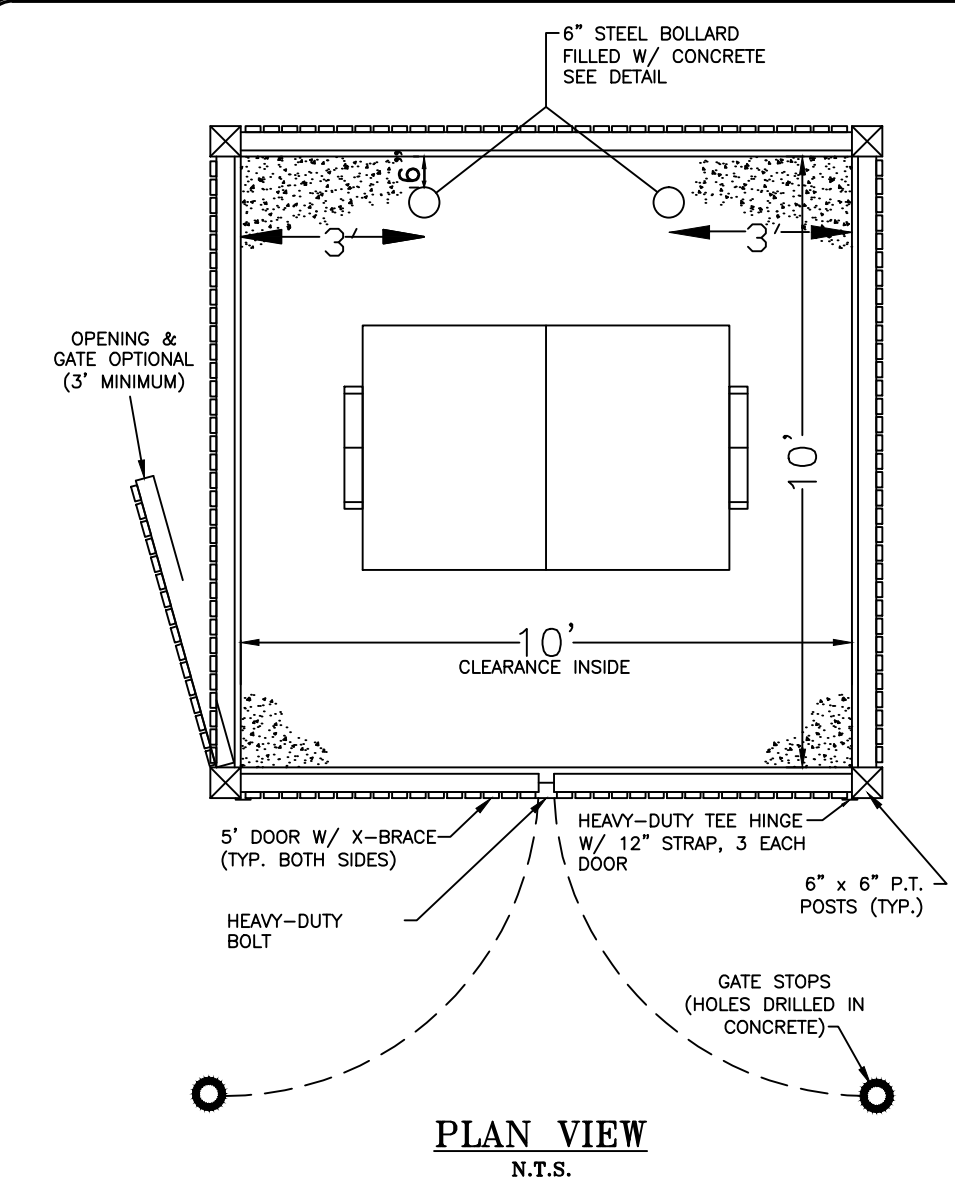
SCALE 1" = 20'

CADD FILE: Site Plan.dwg

CERTIFICATE OF
AUTHORIZATION NO. 26134

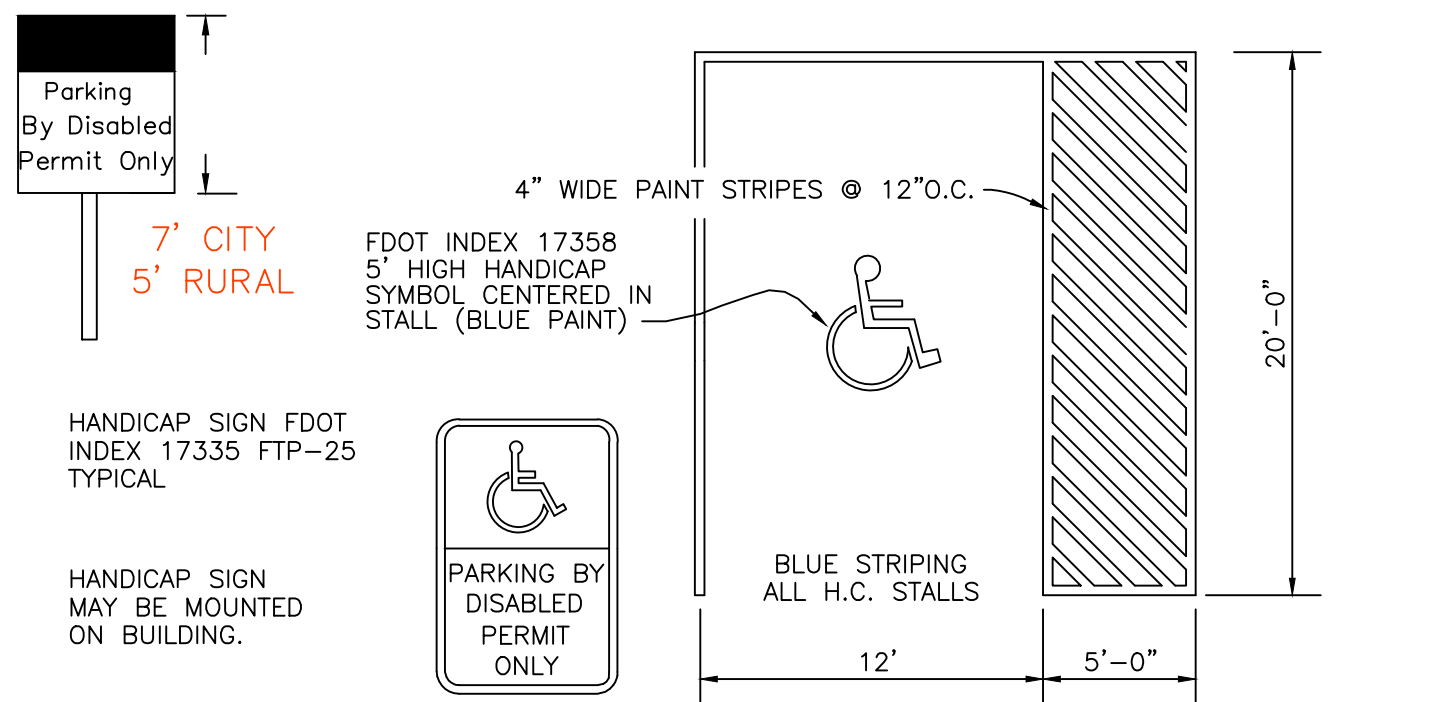
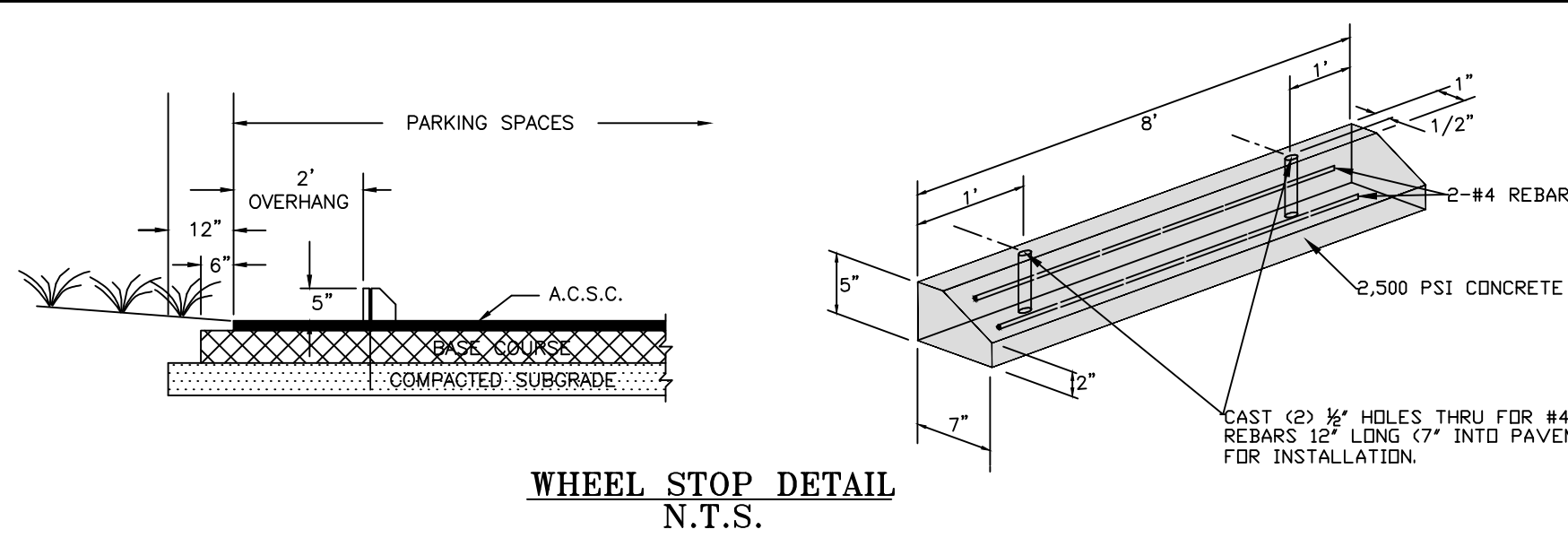
SHEET

2 of 5

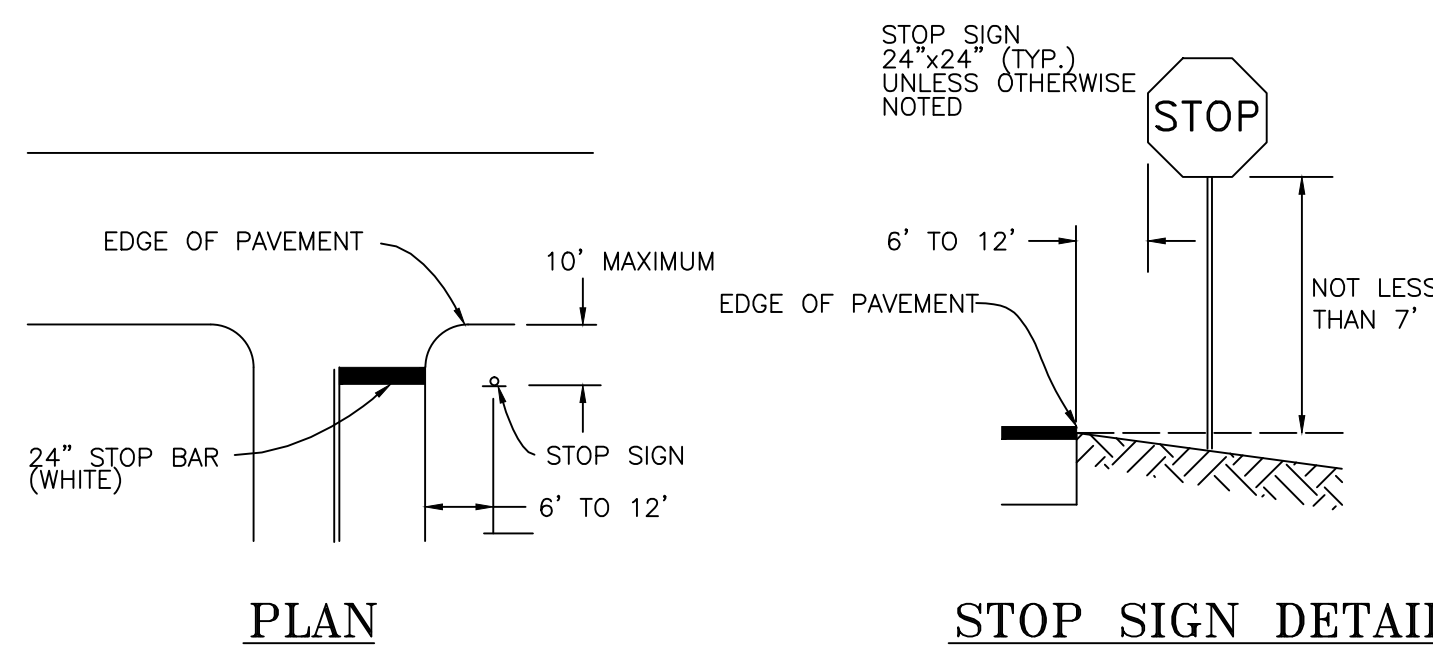


DUMPSTER ENCLOSURE DETAILS
N.T.S.

A DUMPSTER IS SHOWN (PROPOSED) ON THESE PLANS, TO BE CONTAINED WITHIN A DUMPSTER ENCLOSURE. CONSIDERATION COULD BE GIVEN TO THE USE OF INDIVIDUAL GARBAGE CANS (FOR EACH UNIT).



HANDICAP PARKING DETAIL
N.T.S.



STOP SIGN AND BAR LOCATION
N.T.S.

BLADES: ALCOA #86054, 6063-T6 ALLOY, ETCHED, DEGREASED, DEBURRED, WITH #1200 ALDINE FINISH, #2277 GREEN SCOTCHLITE BACKGROUND OR EQUAL. DIMENSIONS-6" HEIGHT; 24", 30" or 36" LENGTHS.

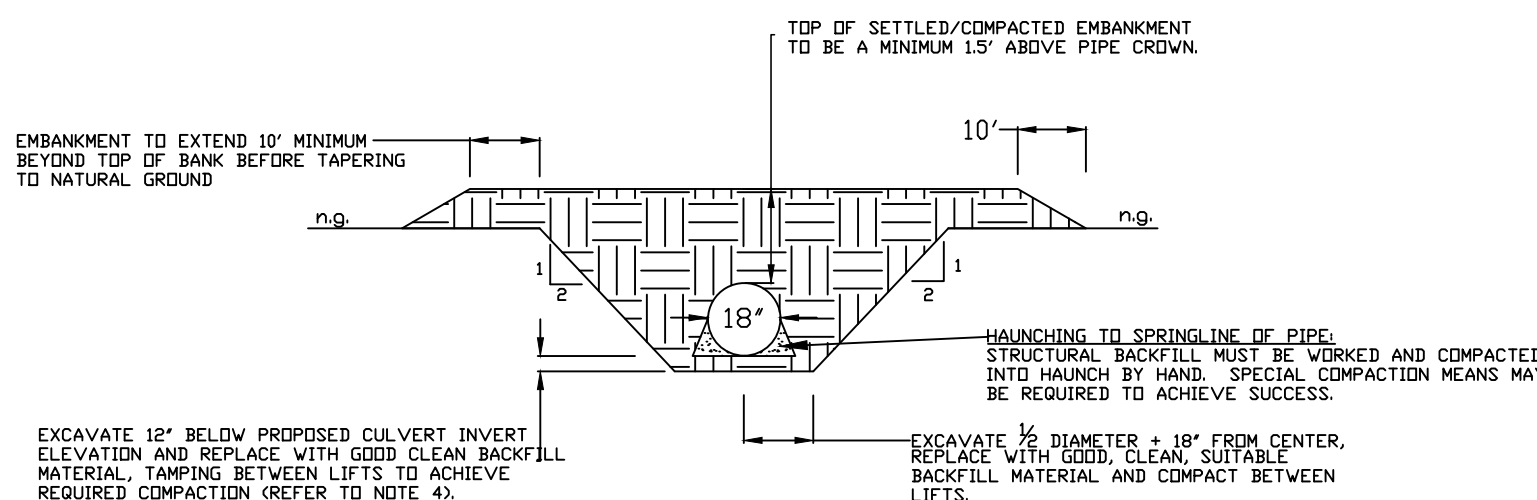
LETTERS: NAME - 4" SERIES "B" #2270 SCOTCHLITE (SILVER) OR EQUAL. SUFFIX-2" SERIES "B" #2270S SCOTCHLITE (SILVER) OR EQUAL.

BRACKETS: DIE-CAST HIGH STRENGTH ALUMINUM ALLOY, MIN. TENSILE STRENGTH 45,000 P.S.I., DEGREASED, TUMBLED, AND POLISHED, SIDES OF ALL SLOTS SHALL BE SOLID METAL WITH TWO HOLES PER SLOT (SAME SIDE) DRILLED TO 7/32" AND TAPPED TO 1/4" TO RECEIVE STAINLESS STEEL ALLEN-HEAD SET SCREWS. SKIRT OF POST CAP BRACKET TO BE DRILLED AND TAPPED FOR 3 SCREWS OF WHICH NO TWO SCREWS ARE TO BE LESS THAN 90° OR MORE THAN 135° APART. (METRO HUSKEY No. 6 or EQUAL.)

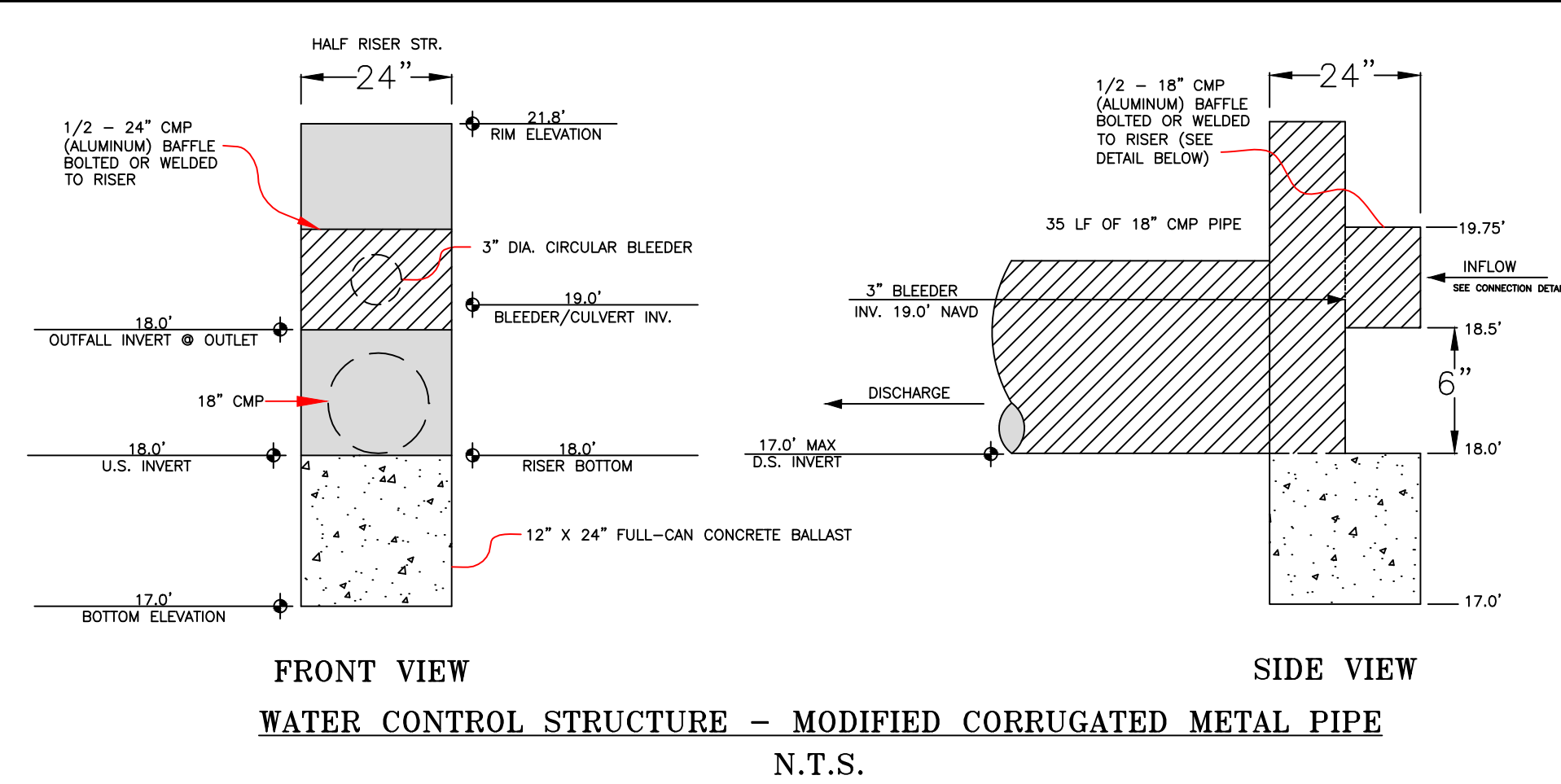
POST: STANDARD 2" I.D. (2 3/8" O.D.) 14' LONG GALVANIZED STEEL, "GLOSS" DIPPED.

CONCRETE BASE: 2000#

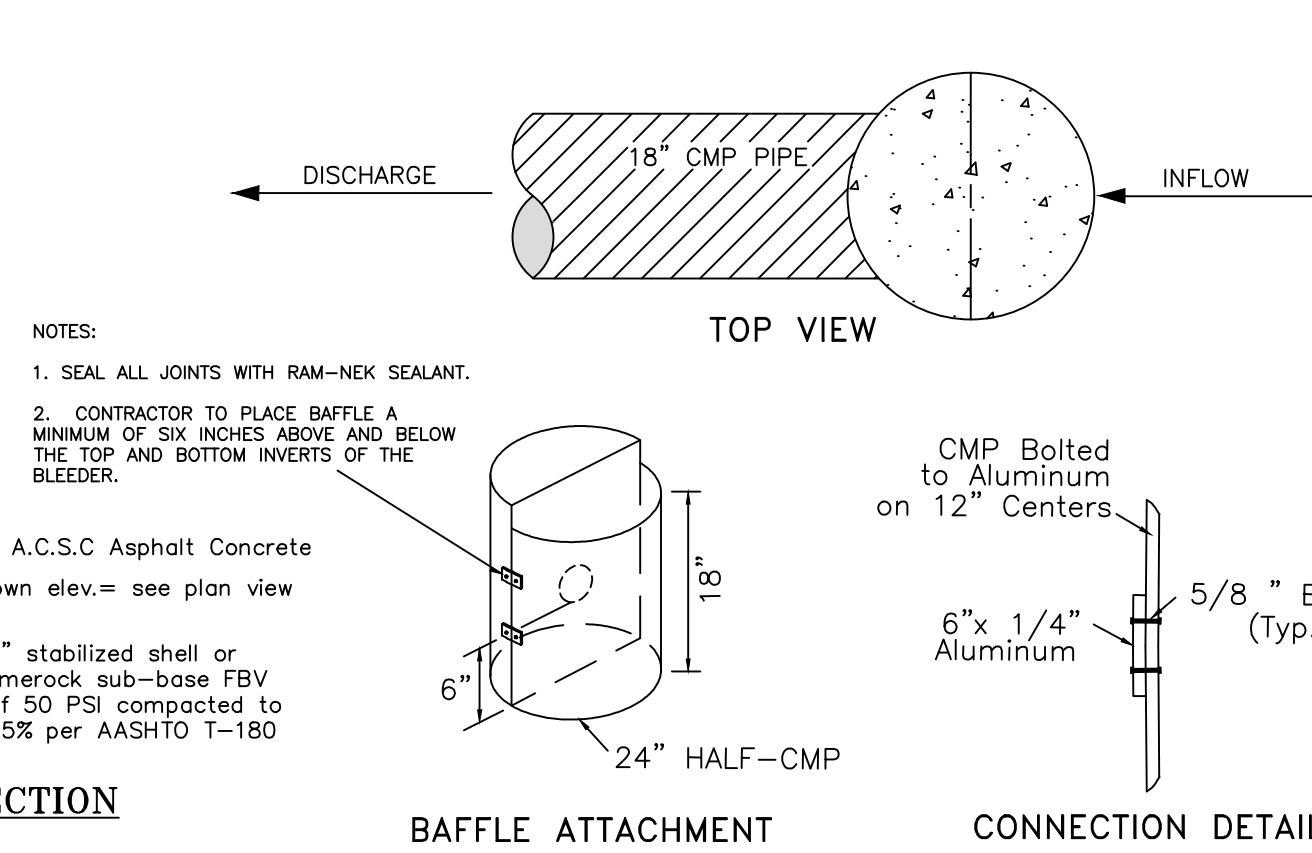
PERIMETER BERM (ELEV. 23.0' NAVD) WILL CONTAIN RUNOFF ONSITE, FACILITATING CONVEYANCE TO THE OUTFALL CONTROL STRUCTURE. THE ENTRANCE DRIVE, AT ITS APEX WILL MATCH THIS ELEVATION (23.0'). CONTRACTOR TO WORK WITH ENGINEER TO INSTALL PERIMETER BERM AND WATER MANAGEMENT FACILITIES.



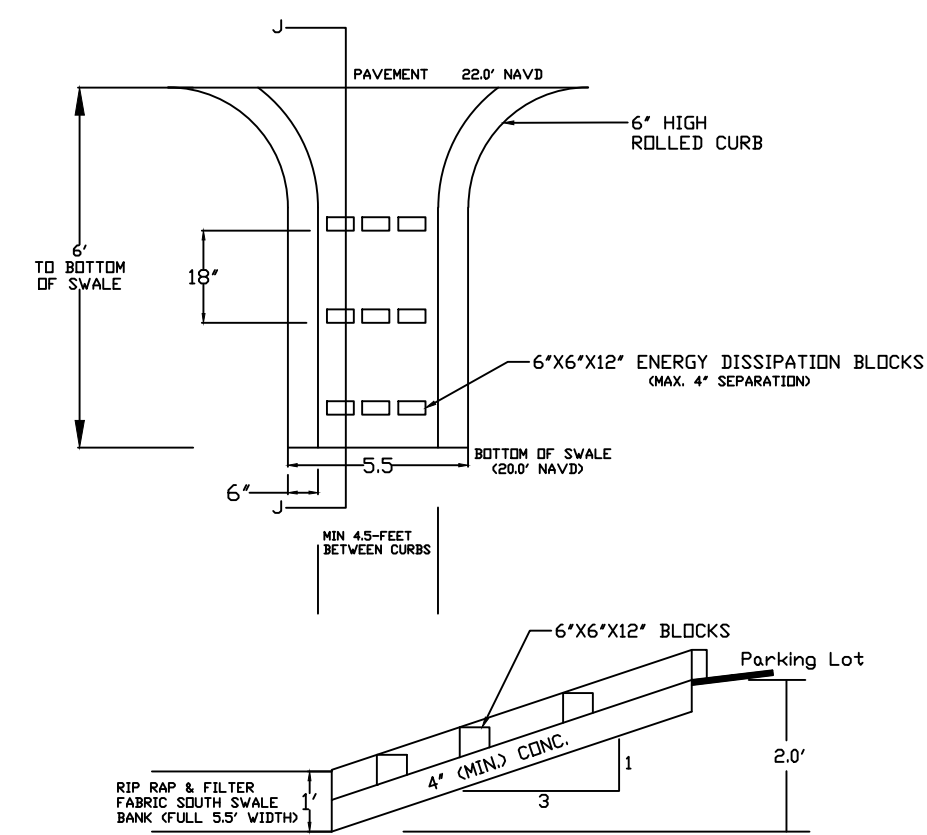
CULVERT BEDDING DETAIL
N.T.S.



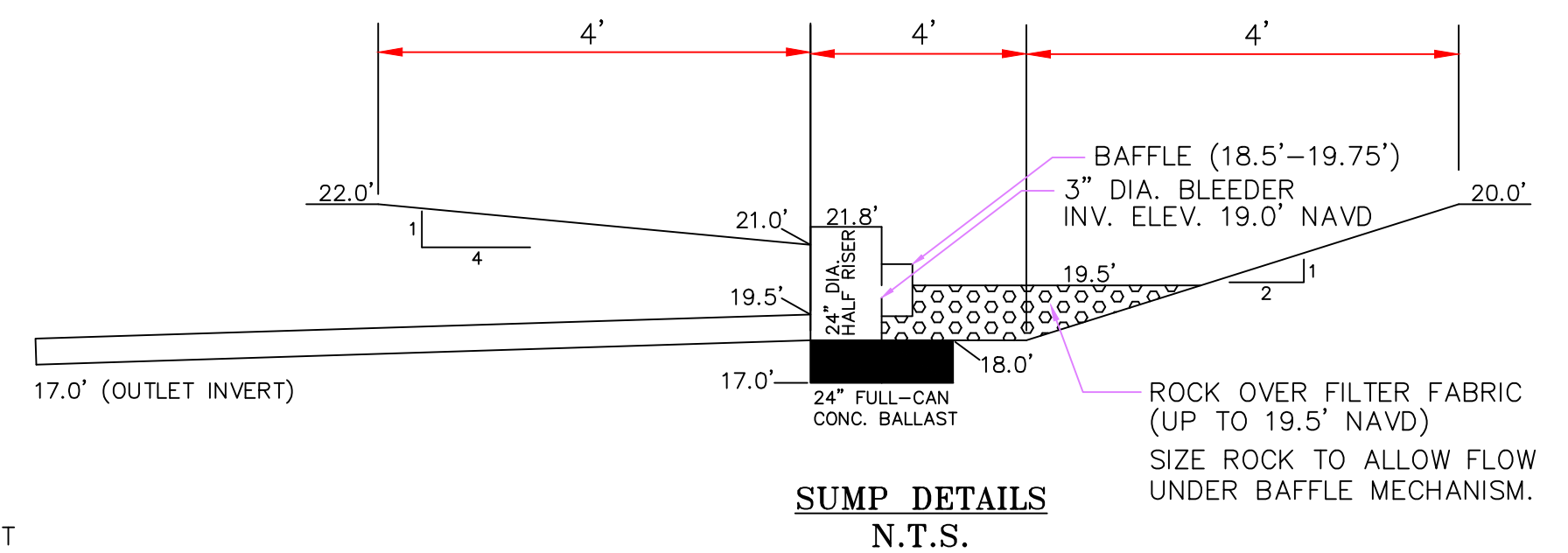
WATER CONTROL STRUCTURE - MODIFIED CORRUGATED METAL PIPE
N.T.S.



C.S. BAFFLE DETAIL
N.T.S.



SECTION J-J
CONCRETE SPILLWAY DETAILS
N.T.S.



SUMP DETAILS
N.T.S.

SILT FENCING NOTES:

1. SILT FENCING TO BE INSTALLED TO CONTROL SEDIMENT MOVEMENT DURING CONSTRUCTION. ENGINEER SHALL WORK WITH CONTRACTOR TO DETERMINE SILT SCREEN NEEDS. A FLOATING TURBIDITY BARRIER SHALL BE USED, IF BANK DISTURBANCE (ALONG TAYLOR CREEK) OCCURS.
2. INSPECT AND REPAIR SILT FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHERE/WHEN NECESSARY.
3. SEDIMENT REMOVED (UNDER BLDG./PARKING) SHALL BE DEPOSITED IN UPLANDS (TO ELEVATION 22.0' NAVD (N.G.) AND STABILIZED OR REMOVED FROM THE SITE.
4. SILT FENCE SHALL BE PLACED ON SLOPED CONTOURS TO MAXIMIZE PONDING EFFICIENCY.

GENERAL NOTES:

1. ALL AREAS NOT COVERED BY PAVEMENT OR BUILDING SHALL BE LANDSCAPED (FRONTAGE), SODDED (WMS) OR LEFT IN ITS NATURAL STATE (CANAL BANK).
2. PERMANENT EROSION CONTROL SHALL BE INCORPORATED AT THE EARLIEST PRACTICAL TIME.
3. TEMPORARY EROSION CONTROL (INCLUDING, SILT FENCE) SHALL BE USED TO PREVENT EROSION BEING DIRECTED OFFSITE.
4. TEMPORARY EROSION CONTROLS MAY CONSIST OF (BUT NOT LIMITED TO): GRASSING, SODDING, SAND BAGGING, SLOPE DRAINS, SEDIMENT BASINS, BERMS, BALED HAY OR STRAW, FLOATING TURBIDITY BARRIERS AND STAKED SILT FENCING.
5. LOCATION OF EXISTING UTILITY LINES AND DRAINAGE STRUCTURE (CONTROL STRUCTURE) ON THESE PLANS ARE APPROXIMATE ONLY. A IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THESE LOCATIONS (PRIOR TO COMMENCEMENT OF CONSTRUCTION).
6. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ANY EXISTING UNDERGROUND UTILITY LINES (NOT SHOWN ON THESE PLANS) AND TO PRESERVE AND PROTECT SAID UTILITY LINES.
7. WRITTEN DIMENSIONS ON PLANS SUPERCEDE SCALED DIMENSIONS.
8. CONTRACTOR SHALL SCHEDULE OPERATIONS SUCH THAT A MINIMUM AREA OF UNPROTECTED ERODIBLE EARTH (NECESSARY FOR EFFICIENT CONSTRUCTION OPERATIONS) SHALL BE EXPOSED AT ONE TIME (AND FOR THE SHORTEST DURATION POSSIBLE).
9. CONTRACTOR SHALL NOTIFY THE SUPERINTENDENTS OF THE WATER, GAS, SEWER, TELEPHONE, CABLE T.V. AND ELECTRIC POWER COMPANIES TEN (10) DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION HE INTENDS TO CONDUCT IN THESE SPECIFIC AREAS.
10. OWNERS DISCLAIM ANY RESPONSIBILITY FOR THE SUPPORT AND PROTECTION OF SEWERS, DRAINS, WATER PIPES, GAS LINES, CONDUITS OF ANY KIND, UTILITIES WHICH LEGALLY OCCUPY ANY STREET, ALLEY, PUBLIC PLACE, EASEMENT OR RIGHT-OF-WAY.
11. ALL DISTURBED AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE AND SHALL RECEIVE SOD AS DIRECTED.
12. ANY DISCREPANCIES ON THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER (PRIOR TO COMMENCING SAID WORK).
13. FILL (UNDER BUILDING AND PARKING) SHALL BE COMPACTED IN LIFTS NOT EXCEEDING TWELVE (12) INCHES TO A DENSITY OF 98% PER AASHTO T-180. REFER TO BUILDING PLANS FOR ANY STRUCTURAL COMPACTION REQUIREMENTS.
14. CONTRACTOR SHALL MAINTAIN TRAFFIC DURING CONSTRUCTION IN ACCORDANCE WITH "THE FEDERAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
15. CONTRACTOR SHALL OBTAIN COPIES OF ALL REQUIRED PERMITS, PRIOR TO COMMENCING WORK.
16. IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE THE WORK SITE TO INFORM HIMSELF OF THE CONDITION UNDER WHICH THE WORK IS TO BE PERFORMED.
17. ALL DISPLACED TREES AND OTHER VEGETATIVE MATTER SHALL BE REMOVED FROM THE SITE IN A LEGAL MANNER.
18. RUNOFF FROM IMPROVEMENTS (INCLUDING PARKING AND BUILDING), IS DESIGNED TO BE DIRECTED TO THE WATER MANAGEMENT SYSTEM (WMS), WHICH INCLUDES SWALES AND DRY DETENTION AREA CONTAINING THE OUTFALL CONTROL STRUCTURE.
19. OUTFALL CONTROL STRUCTURE IS DESIGNED TO CONTAIN THE DESIGN STAGE (21.8' NAVD - PER DESIGN STORM MODELING), WHILE UTILIZING THE MINIMUM BLEEDER SIZE (3.0-INCHES) RESULTING IN A PEAK DESIGN DISCHARGE OF 0.39 CFS (S-133 BASIN).
20. THE 100 YEAR - 3 DAY (ZERO DISCHARGE) STAGE WAS CALCULATED AT ELEVATION 22.85' NAVD. MODELING (WITH DISCHARGE) RESULTED IN A STAGE OF 22.1' NAVD. PROPOSED MINIMUM FINISHED FLOOR ELEVATION (23.5' NAVD) EXCEEDS BOTH STAGES.

IMPORTANT NOTES:

1. ALL EXPOSED AREAS, INCLUDING SWALES AND DRY DETENTION, WILL BE SODDED USING BAHIA, UPON REACHING FINAL GRADES.
2. A PRE-CONSTRUCTION MEETING WILL BE CONDUCTED (ENGINEER AND CONTRACTOR) PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
3. SILT FENCING WILL BE USED TO PRECLUDE THE MOVEMENT OF SEDIMENT OFFSITE DURING CONSTRUCTION. DRY SEASON CONSTRUCTION REDUCES THE NEED TO MANAGE RUNOFF.
4. NO ROADSIDE SWALE EXISTS, SO A DRIVEWAY CULVERT IS NOT PROPOSED. THE EXISTING SIDEWALK WILL BE REPLACED AS A FINAL COMPONENT OF CONSTRUCTION.
5. DUE TO THE LOW VOLUME OF TRAFFIC ANTICIPATED BY THIS USE, NO TRAFFIC STUDY IS REQUIRED.
6. THE SITE DOES NOT CONTAIN ANY ENVIRONMENTALLY SENSITIVE LANDS (WETLANDS).
7. THE EXISTING CORPS EASEMENT IS TO REMAIN UNAFFECTED BY THIS PROJECT. NO BUILDING OR OTHER STRUCTURES ARE PROPOSED THEREIN.
8. WATER AND SEWER SERVICES WILL BE COORDINATED WITH OKEECHOBEE UTILITY AUTHORITY (OUA). A SIX (6) INCH WATER MAIN IS LOCATED ON THE EAST SIDE OF SE 8TH AVENUE. AN EXISTING LIFT STATION IS LOCATED JUST SOUTH OF THIS PROJECT (WEST OF SE 8TH AVE).
9. ELEVATIONS WERE COLLECTED IN COOPERATION WITH TRADEWINDS SURVEYING GROUP, LLC.
10. ALL ELEVATIONS, COLLECTED AS PART OF THIS APPLICATION, ARE REFERENCED TO NAVD (1988). BENCHMARKS, PREVIOUSLY ESTABLISHED, WERE REFERENCED TO NGVD (1929). TO OBTAIN NGVD VALUES, ADD 1.22' TO NAVD VALUES.
11. CONTRACTOR TO WORK WITH ENGINEER AND SURVEYOR TO MEET THE INTENT OF THESE PLANS.

BRIDGEWATER ON TAYLOR CREEK

PAVING, GRADING AND DRAINAGE PLAN

DRAWN FOR:

SUBARNA JOSHI
B&T FAIR INVESTMENTS INC.
OKEECHOBEE, FL 34972

ASMUSSEN ENGINEERING, LLC.

P.O. Box 1998
OKEECHOBEE, FLORIDA 34973-1998
TEL: (863) 763-8546 CELL: (863) 610-0043

Print Date

9-1-2021

CONTIGUOUS OWNERSHIP (1,366 AC)

SCALE N.T.S.
06042021-01

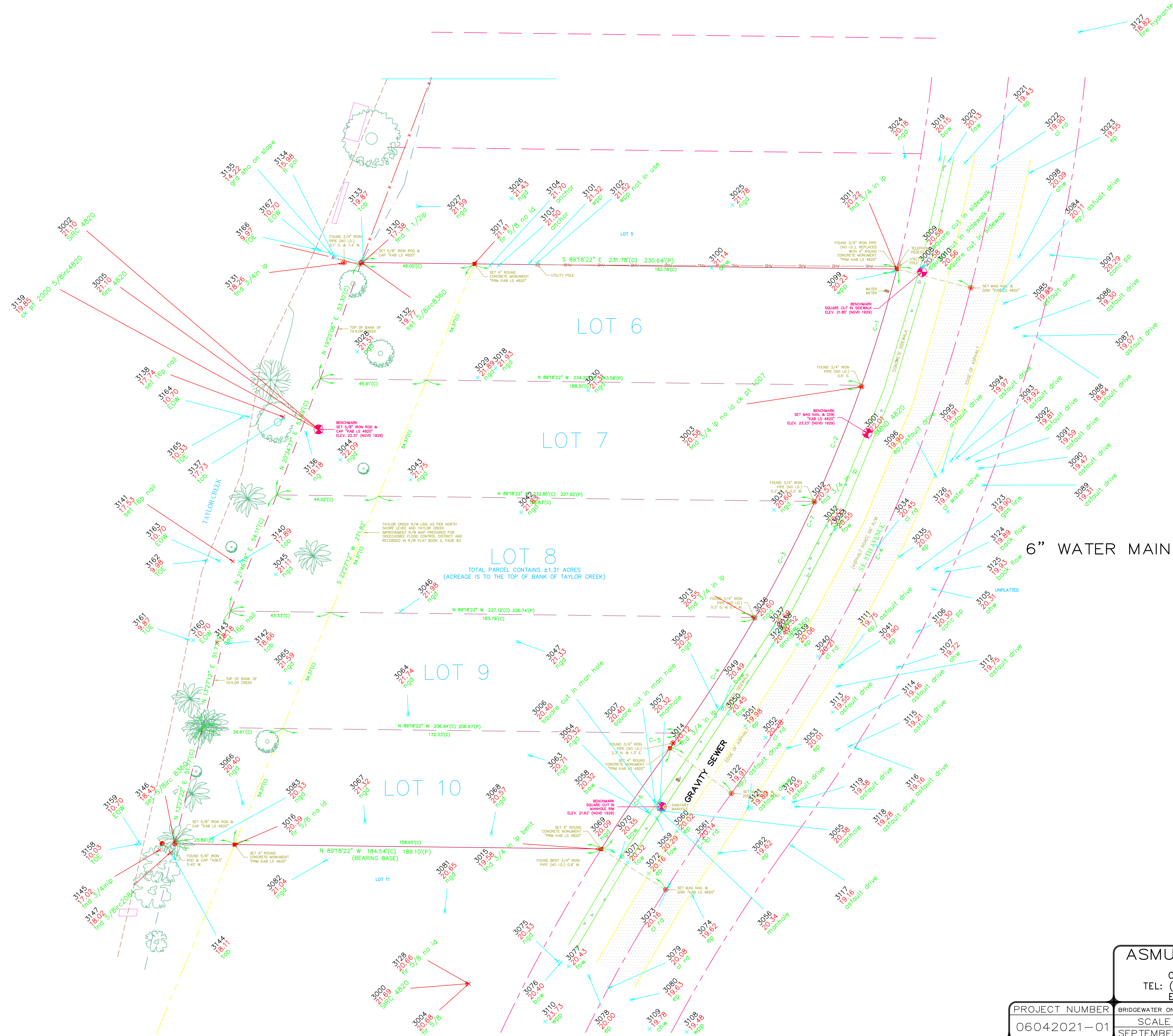
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CERTIFICATE OF AUTHORIZATION NO. 26134

SHEET

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EX. FIRE HYDRANT



ASMUSSEN ENGINEERING, LLC.
P.O. Box 1998
OKEECHOBEE, FLORIDA 34973-1998
TEL: (863) 763-8546 CELL: (863) 610-0043
EMAIL: lasmusse@embargmail.com

PROJECT NUMBER	BRIDGEWATER ON TAYLOR CREEK	File Topography.dwg	SHEET
06042021-01	SCALE 1"=20'	CERTIFICATE OF AUTHORIZATION	4 of 5
	SEPTEMBER 2, 2021	26134	

TECHNICAL SPECIFICATIONS:

1. CLEARING AND GRUBBING:

CLEARING AND GRUBBING, WHERE REQUIRED BY THESE PLANS, SHALL BE PERFORMED IN ACCORDANCE WITH ACCEPTED SPECIFICATIONS. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, COMPLETE REMOVAL OF ALL TREES, BRUSH, STUMPS, ROOTS, SEPTIC REMNANTS, GRASS, WEEDS, RUBBISH AND OTHER UNDESIRABLE MATERIAL (TO A DEPTH OF 18 INCHES BELOW NATURAL GROUND OR PROPOSED FINISHED GRADE, WHICHEVER IS LOWER). AREAS TO BE CLEARED GENERALLY CONSIST OF DRIVES, PAVED PARKING, BUILDING AREA AND WATER MANAGEMENT AREAS.

EROSION CONTROL SHALL BE ACCOMPLISHED BY SEEDING AND MULCHING OR SODDING. CONTRACTOR(S) TO WORK WITH ENGINEER AND CITY STAFF TO MEET THE INTENT OF THESE PLANS.

ALL MATERIAL REMOVED FROM THE SITE SHALL BE LEGALLY DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS. ORGANIC MATERIAL MAY BE BURNED ONSITE PROVIDED CONTRACTOR OBTAINS ALL REQUIRED BURN PERMITS. ANY UNBURNED REMAINS SHALL BE DISPOSED OF OFFSITE IN ACCORDANCE WITH ESTABLISHED REQUIREMENTS.

THE CONTRACTOR SHALL MAINTAIN ALL STORMWATER ONSITE DURING CONSTRUCTION AND PREVENT DISCHARGE OF TURBID WATER TO THE RECEIVING SYSTEM. SHOULD SEVERE STORM EVENTS OCCUR, MAKING CONTAINMENT IMPOSSIBLE, CONTRACTOR SHALL TAKE ALL POSSIBLE STEPS TO PREVENT DISCHARGE OF TURBID WATER. "STEPS" INCLUDE: INSTALLATION OF ADDITIONAL SILT FENCE, UTILIZATION OF HAY BALES, CONTAINMENT BERMS AND FOR EXTREMES TREATMENT OF STORMWATER PONDS WITH ALUM.

2. EARTHWORK & GRADING:

ALL EARTHWORK AND GRADING SHALL BE PERFORMED AS REQUIRED TO ACHIEVE FINAL GRADES, TYPICAL SECTIONS (AND ELEVATIONS) INDICATED ON THE PLANS. IN ALL OTHER RESPECTS, MATERIALS AND CONSTRUCTION METHODS FOR EARTHWORK, EMBANKMENT, EXCAVATION AND GRADING SHALL CONFORM TO ALL REQUIREMENTS OF THE CITY OF OKEECHOBEE (REFER TO LDR'S). ANY UNDESIRABLE MATERIAL, WITHIN THREE (3) FEET OF FINISHED ROAD GRADE, SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.

3. PAVING IMPROVEMENTS:

ALL AREAS PROPOSED FOR PAVING SHALL BE CONSTRUCTED IN ACCORDANCE WITH DESIGN GRADES AND TYPICAL SECTIONS SHOWN HEREIN. CONSTRUCTION SHALL BE IN CONFORMANCE WITH ALL CITY REQUIREMENTS.

A. ASPHALT: PRIME COAT AND TACK COAT FOR BASE COURSES, AND BETWEEN LIFTS, SHALL CONFORM TO THE REQUIREMENTS OF SECTIONS 300-1 THROUGH 300-7 OF THE FDOT SPECIFICATIONS. PRIME COAT SHALL BE APPLIED AT A RATE OF 0.25 GALLONS PER SQUARE YARD AND TACK COAT AT A RATE OF 0.10 GALLONS PER SQUARE YARD, UNLESS OTHERWISE APPROVED BY THE ENGINEER.

ASPHALT SURFACE COURSE SHALL BE TWO-INCHES OF TYPE S-3 PER FDOT SECTION 331, WITH A MAXIMUM AGGREGATE SIZE OF 1/2-INCH AND SHALL HAVE A MINIMUM MARSHALL STABILITY OF 1,000 POUNDS. THICKNESS SHALL BE AS SPECIFIED ABOVE FOR EACH PAVEMENT SECTION.

B. BASE: AN EIGHT-INCH LIMEROCK BASE MATERIAL SHALL BE COMPACTED TO 98% OF MAXIMUM DENSITY PER AASHTO T-180. ALL LIMEROCK-SHELL SHALL MEET THE MINIMUM REQUIREMENTS OF FDOT SECTION 911. AS AN ALTERNATIVE, CEMENTED COQUINA CONFORMING TO FDOT SECTION 915 MAY BE USED AS A SUBSTITUTE, WITH THE SAME COMPACTION SPECIFICATIONS PREVIOUSLY DESCRIBED.

C. SUB-GRADE: A TWELVE-INCH SUB-GRADE SHALL BE COMPACTED TO 98% OF MAXIMUM DENSITY PER AASHTO T-180, AND STABILIZED TO A MINIMUM FBV OF 75 PSI. SUB-GRADE SHALL BE THOROUGHLY ROLLED WITH A PNEUMATIC-TIRED ROLLER PRIOR TO SCHEDULING ANY SUB-GRADE INSPECTION.

D. CONCRETE PAVEMENT:

CONCRETE PAVEMENT SURFACE COURSE SHALL BE FIBER REINFORCED CONCRETE WITH A 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI.

COMPACTED SUB-GRADE IN CONFORMANCE WITH ASPHALT SUB-GRADE ABOVE (C).

SUB-GRADE SHALL BE MOISTENED AS REQUIRED TO PROVIDE A UNIFORM DAMPENED SURFACE AT TIME CONCRETE IS POURED.

CONTRACTION JOINTS SHALL BE CONSTRUCTED TRUE TO LINE WITH FACE PERPENDICULAR TO SURFACE OF PAVEMENT. JOINTS SHALL BE PROVIDED IN BOTH LONGITUDINAL AND TRANSVERSE DIRECTIONS AT A MAXIMUM SPACING OF EIGHTEEN (18) FEET. DEPTH OF CONTRACTION JOINTS SHALL BE NO GREATER THAN 1/4 NOR LESS THAN 1/5 OF PAVEMENT THICKNESS. CONTRACTION JOINTS SHALL BE FORMED BY SAWING, PRE-MOLDED INSERTS OR HAND TOOL. JOINTS MUST BE COMPLETED BETWEEN FOUR (4) AND EIGHTEEN (18) HOURS AFTER CONCRETE HAS BEEN PLACED.

EXPANSION JOINTS SHALL BE PLACED BETWEEN PROPOSED PAVEMENT & OTHER RIGID STRUCTURES SUCH AS DRAINAGE INLETS & EXISTING CONCRETE SLABS. EXPANSION JOINTS SHALL BE 1/2" WIDE & FILLED WITH A PREFORMED EXPANSION JOINT FILLER, CONFORMING TO AASHTO M-213, & JOINT SEALING COMPOUND, CONFORMING TO AASHTO M-173.

CONSTRUCTION JOINTS SHALL BE USED IF CONCRETE PLACEMENT IS INTERRUPTED LONG ENOUGH TO CAUSE A COLD JOINT. IF POSSIBLE, CONSTRUCTION JOINTS SHALL BE PLACED AT LOCATION OF A PLANNED CONTRACTION JOINT. THE JOINT SHALL BE FORMED BY EITHER A SEMICIRCULAR KEY-WAY 2" DIAMETER OR 14" LONG 6" DOWELS PLACED ACROSS THE JOINT 12" ON CENTER.

FINISH OF CONCRETE SHALL BE A UNIFORM, GRITTY, NON-SLIP SURFACE, BROOM FINISHED WITH A COARSE BROOM TO PROVIDE A NON-SKID SURFACE JUST BEFORE THE WATER SHEEN DISAPPEARS. NO WATER SHALL BE ADDED TO THE SURFACE TO ASSIST FINISHING OPERATIONS. CONCRETE SHALL BE CURED BY PROTECTING IT AGAINST LOSS OF MOISTURE AND MECHANICAL INJURY FOR AT LEAST THREE (3) DAYS AFTER PLACEMENT. A LIQUID CURING MEMBRANE, TRANSLUCENT WITH A FUGITIVE DYE AND CONFORMING TO AASHTO M-148, SHALL BE APPLIED IMMEDIATELY AFTER FINISHING HAS BEEN COMPLETED. READY-MIXED CONCRETE SHALL CONFORM TO AASHTO M-157. SLUMP SHALL BE BETWEEN TWO (2) AND FOUR (4) INCHES. NO WATER SHALL BE ADDED TO INCREASE WORKABILITY.

E. SOD: DISTURBED AREAS, INCLUDING SWALES ADJACENT TO ACCESS POINTS, WILL BE SODDED WITH BAHIA TO CONTROL WASHING/EROSION GOING FORWARD. RETENTION BOTTOMS WILL ALSO BE SODDED WITH BAHIA.

F. SEEDING, FERTILIZING AND MULCHING: ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED, FERTILIZER AND MULCH UPON COMPLETION AND ACCEPTANCE (BY ENGINEER) OF FINAL GRADING. CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING A STAND OF GRASS SUFFICIENT TO PREVENT EROSION AND TO ALLOW REMOVAL ANY TEMPORARY SILT FENCING. THIS APPLIES TO AREAS NOT COVERED BY SOD.

G. TESTING: CONTRACTOR SHALL SECURE SERVICES OF AN APPROVED INDEPENDENT TESTING LABORATORY TO CONDUCT ALL REQUIRED TESTING (INCLUDING COMPACTION AND THICKNESS) ON SUB-GRADE, BASE, ASPHALT AND CONCRETE. ALL TEST RESULTS WILL BE PROVIDED TO ENGINEER UPON RECEIPT, INCLUDING A MAP OF TEST LOCATIONS. TEST LOCATIONS SHALL BE THE MINIMUM AS REQUIRED BY THE CITY. ENGINEER WILL REQUIRE TESTING OF DRIVES (TWO IN THE RIGHT-OF-WAY AND TWO ONSITE), PARKING (FOUR) AND FOUNDATION (FOUR). SHOULD ANY TEST FAIL, CONTRACTOR SHALL (AT HIS OWN EXPENSE) REPAIR DEFICIENCIES AND RE-TEST UNTIL COMPLIANCE WITH SPECIFICATIONS IS DEMONSTRATED.

H. TRAFFIC CONTROL: INSTALLATION OF TRAFFIC CONTROL DEVICES SHALL BE IN CONFORMANCE WITH REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND CITY REQUIREMENTS.

4. DRAINAGE IMPROVEMENTS:

ALL LABOR, MATERIALS AND CONSTRUCTION METHODS SHALL BE IN CONFORMANCE WITH MINIMUM ENGINEERING AND CONSTRUCTION STANDARDS. TRENCH EXCAVATION AND BACK-FILLING OPERATIONS SHALL MEET OR EXCEED CITY REQUIREMENTS (AND/OR DUA). CONTRACTOR SHALL PROVIDE BACK-FILL COMPACTION TESTING TO DEMONSTRATE COMPLIANCE WITH ALL REQUIREMENTS.

CONTRACTOR SHALL COMPLY WITH CHAPTER 90-96, LAWS OF FLORIDA, WHICH REQUIRES CONTRACTOR PERFORMING TRENCH EXCAVATIONS (OVER FIVE FEET IN DEPTH) TO COMPLY WITH ALL APPLICABLE TRENCH SAFETY STANDARDS & SHORING REQUIREMENTS AS SET FORTH IN THE OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION'S (OSHA) EXCAVATION & SAFETY STANDARDS, 29 C.F.R. 19926.650, SUBPART P & INCORPORATED AS A STATE STANDARD (AS REVISED OR UPDATED). COST OF COMPLIANCE SHALL BE INCLUDED AS A SEPARATE LINE ITEM ON CONTRACTOR'S BID. OTHERWISE, CONTRACTOR CERTIFIES COST OF COMPLIANCE IS INCLUDED IN THE UNIT COST OF ALL ITEMS OF WORK, WHICH THIS REQUIREMENT APPLIES.

EROSION AND SEDIMENT CONTROL NOTES

CONSTRUCTION ACTIVITIES CAN RESULT IN THE GENERATION OF SIGNIFICANT LEVELS OF POLLUTANTS, WHICH MAY REACH SURFACE AND/OR GROUND WATERS. ONE OF THE PRIMARY POLLUTANTS OF SURFACE WATERS IS SEDIMENT IN EROSION. EXCESSIVE QUANTITIES OF SEDIMENT REACHING WATER BODIES HAS BEEN SHOWN TO ADVERSELY AFFECT THE PHYSICAL, BIOLOGICAL AND CHEMICAL PROPERTIES OF RECEIVING WATERS. TRANSPORTED SEDIMENT CAN OBSTRUCT STREAM CHANNELS, REDUCE THE HYDRAULIC CAPACITY, REDUCE THE CONVEYANCE CAPACITY OF CULVERTS AND OTHER CONVEYANCE FACILITIES AND ADVERSELY IMPACT BENTHIC INVERTEBRATE AND FISH SPECIES THROUGH SILTATION. EXCESSIVE SUSPENDED SEDIMENTS REDUCE LIGHT PENETRATION AND THEREFORE REDUCE PRIMARY PRODUCTIVITY WITHIN THESE RECEIVING SYSTEMS.

MINIMUM STANDARDS:

1. SEDIMENT BASINS, PERIMETER BERMS, EROSION CONTROL BARRIERS AND OTHER MEASURES, IMPLEMENTED TO TRAP SEDIMENT TRANSPORT, SHALL BE CONSTRUCTED AS THE FIRST STEP IN ANY LAND DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE ANY LAND DISTURBANCE TAKES PLACE.

2. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS (AT THE TIME OF CONSTRUCTION) AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING, FLOATING OR BLOWING ONTO ADJACENT PROPERTIES.

3. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED (ON ANY PORTION OF THE SITE). TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE, BUT WILL REMAIN UNDISTURBED FOR LONGER THAN THIRTY (30) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS LEFT UNDISTURBED FOR MORE THAN ONE (1) YEAR.

4. DURING CONSTRUCTION, SOIL STOCKPILES SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. APPLICANT IS RESPONSIBLE FOR TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL STOCKPILES MAINTAINED ON-SITE, AS WELL AS, SOIL INTENTIONALLY TRANSPORTED FROM THE SITE.

5. A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUDED AREAS, NOT OTHERWISE PERMANENTLY STABILIZED. PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL A GROUND COVER IS ACHIEVED THAT, IN THE OPINION OF THE ENGINEER, IS UNIFORM, MATURE ENOUGH TO SURVIVE AND WILL FUNCTION TO INHIBIT EROSION GOING FORWARD.

6. STABILIZATION MEASURES SHALL BE APPLIED TO EARTHEN STRUCTURES SUCH AS DAMS, PERIMETER BERMS, DIKES AND DIVERSIONS IMMEDIATELY FOLLOWING INSTALLATION.

7. SURFACE RUNOFF FROM DISTURBED AREAS, THAT ARE COMPRISED OF FLOW FROM DRAINAGE AREAS GREATER THAN OR EQUAL TO ONE (1) ACRE, SHALL BE CONTROLLED BY A SEDIMENT BASIN. SEDIMENT BASIN SHALL BE DESIGNED AND CONSTRUCTED TO ACCOMMODATE ANTICIPATED SEDIMENT LOADING FROM DISTURBED AREAS. OUTFALL DEVICE DESIGN SHALL TAKE INTO ACCOUNT TOTAL DRAINAGE AREA FLOWING THROUGH THE DEVICE FROM DISTURBED AREAS.

8. FOLLOWING ANY SIGNIFICANT RAINFALL EVENT, SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED FOR INTEGRITY AND FUNCTIONALITY. ANY DAMAGED DEVICES SHALL BE CORRECTED IMMEDIATELY.

9. CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL OR STRUCTURE.

10. WHENEVER WATER SEEPS FROM A SLOPE FACE, ADEQUATE DRAINAGE OR OTHER EFFECTIVE PROTECTION SHALL BE PROVIDED.

11. PRIOR TO SWALES OR DRY DETENTION BECOMING OPERATIONAL, COMPACTION AND SODDING OF THESE AREAS SHALL BE COMPLETED IN ACCORDANCE WITH THESE PLANS AND ALL CITY REQUIREMENTS.

12. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE THE INTENDED PURPOSE IS ACCOMPLISHED. DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY BE RESPONSIBLE FOR ALL SEDIMENT LEAVING THE PROPERTY. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.

13. UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS, IN ADDITION TO ALL OTHER APPLICABLE CRITERIA:

- NO MORE THAN 500 LINEAR FEET OF TRENCH MAY BE OPENED AT ONE TIME.
- EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
- EFFLUENT FROM DE-WATERING OPERATIONS, IF PROPOSED, SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, THEN DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT RECEIVING SYSTEMS OR ADJACENT LANDS.
- RE-STABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THESE ESTABLISHED REGULATIONS.

14. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE TRANSPORT OF SEDIMENT BY TRACKING ONTO PAVED SURFACES. AREAS WHERE SEDIMENT IS TRANSPORTED ONTO PUBLIC ROAD SURFACES SHALL BE CLEANED REGULARLY. SEDIMENT SHALL BE REMOVED FROM ROADS BY SHOVELING OR SWEEPING WITH TRANSPORT TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER.

15. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER COMPLETION OF CONSTRUCTION OR UNTIL TEMPORARY MEASURES ARE NO LONGER NEEDED. DISTURBED SOIL AREAS, RESULTING FROM DISPOSITION OF TEMPORARY MEASURES, SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND/OR SEDIMENTATION.

16. PROPERTIES AND WATERWAYS DOWNSTREAM FROM THE CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION.

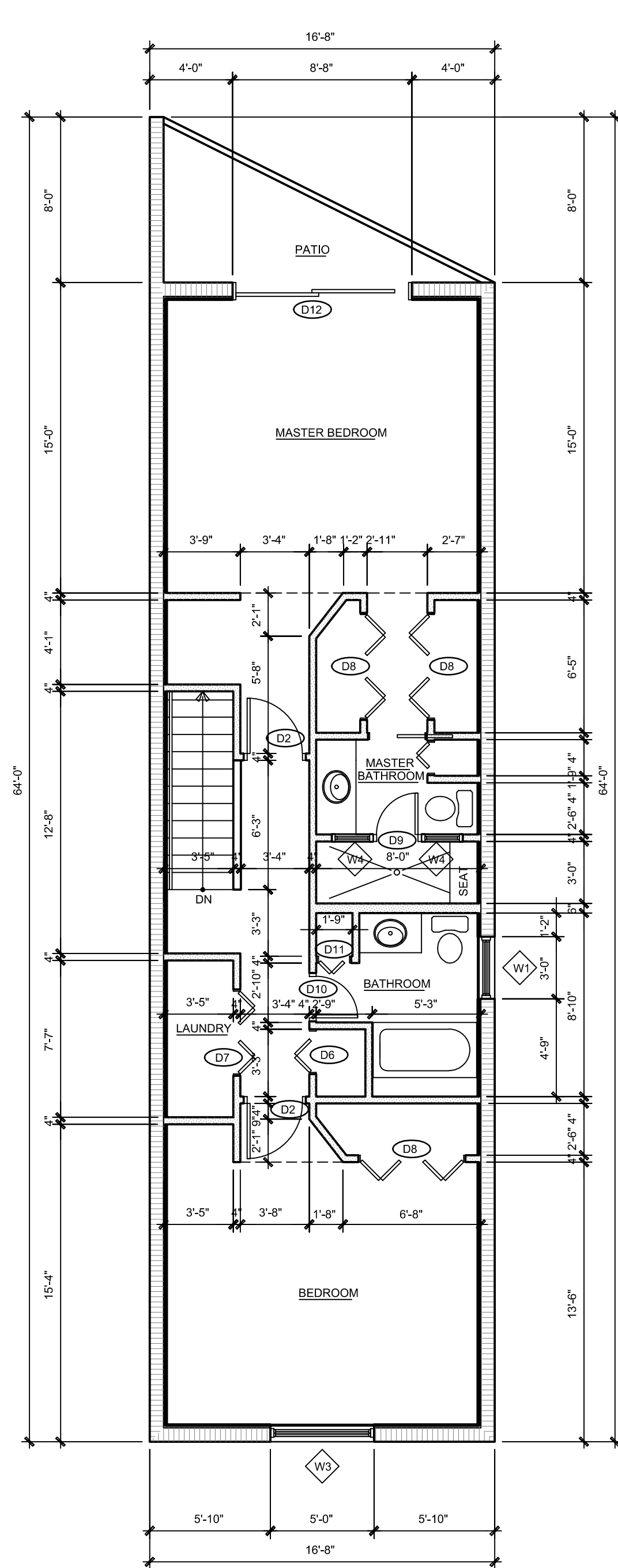
17. EROSION CONTROL DESIGN AND CONSTRUCTION SHALL FOLLOW CITY REQUIREMENTS, USING DETAILS CONTAINED HEREIN AS A GUIDE.

UTILITY NOTES:

- ALL FITTINGS AND STOPS SHALL BE BRASS PACK JOINT TYPE WITH CLAMP SCREW RETAINERS.
- SERVICE SHALL NOT TERMINATE BENEATH PAVEMENT, SIDEWALK OR OTHER STRUCTURE.
- EACH SERVICE SHALL TERMINATE AT A CURB STOP WHICH SHALL BE BURIED APPROXIMATELY 7" BELOW FINAL GRADE AND SHALL BE CLEARLY MARKED WITH A 2" X 2" X 18" STAKE WITH THE TOP PAINTED BLUE AND MARKED WITH THE LOT TO BE SERVED.
- CORPORATION STOP BENEATH PAVEMENT SHALL BE INSTALLED HORIZONTALLY AND HAVE BOX AND COVER TO ALLOW OPERATION.
- CURBS STOP SHALL BE LOCKING TYPE, STRAIGHT BALL VALVE WITH OUTLET SIZE AND THREADS TO MATCH INTENDED METER.
- PROVIDE SCH 40 PVC CASING PIPE 4' BENEATH AND 4' BEYOND EDGES OF PAVEMENT.
- SUCCESSIVE TAPS INTO THE WATER MAIN SHOULD BE SPACED AT A MINIMUM EIGHTEEN (18) INCHES.
- THE SERVICE LINE SHALL BE CONTINUOUS FROM CORPORATION STOP TO CURB STOP OR WYE BRANCH WITH NO FITTINGS IN BETWEEN.
- APPROVED BACKFLOW PREVENTION IS REQUIRED ON ALL SERVICES.
- SERVICE CONNECTIONS ARE ALLOWED ONLY ON WATER MAINS 12" DIA. AND SMALLER. A SIX (6) INCH MAIN IS LOCATED EAST OF SE 8TH AVENUE.

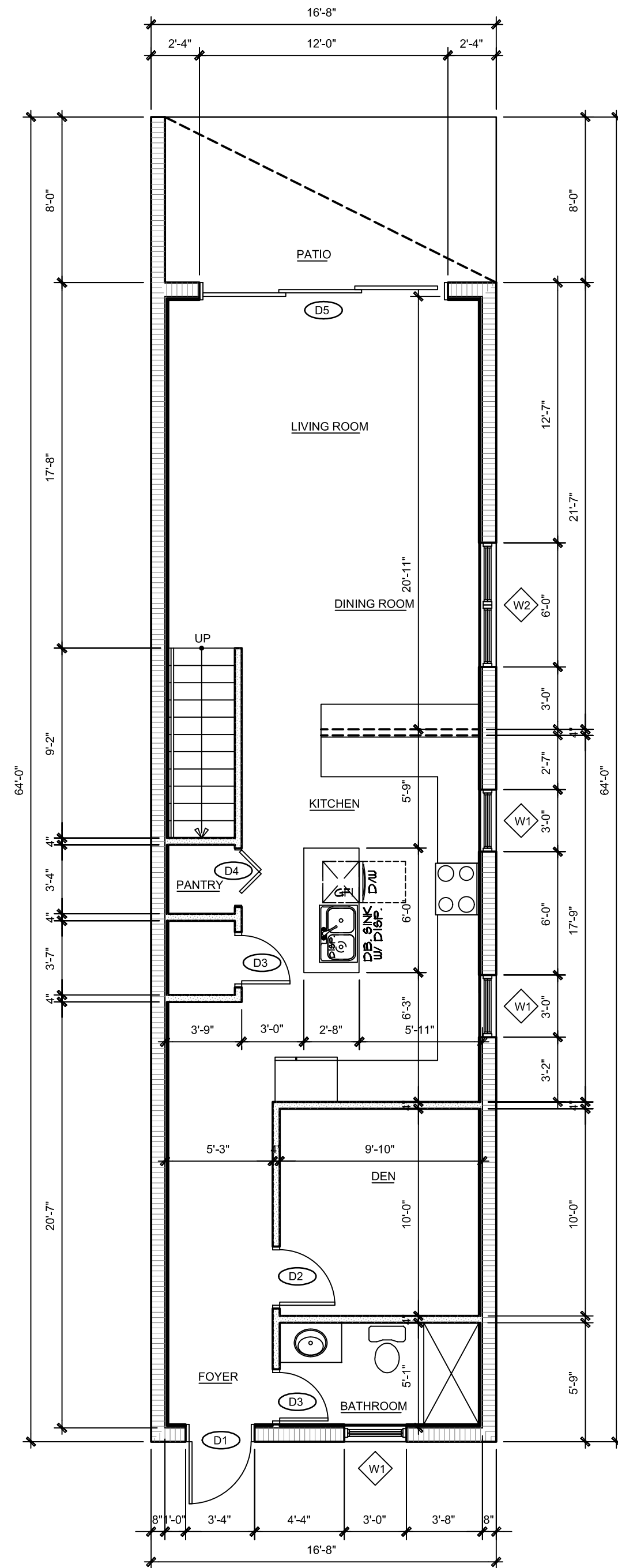
ASMUSSEN ENGINEERING, LLC.
P.O. Box 1998
OKEECHOBEE, FLORIDA 34973-1998
TEL: (863) 763-8546 CELL: (863) 610-0043
EMAIL: lasmusse@embargmail.com

PROJECT NUMBER	BRIDGEWATER ON TAYLOR CREEK	File Specifications.dwg	SHEET
06042021-01	SCALE	N.T.S.	5 of 5
	SEPTEMBER 1, 2021	CERTIFICATE OF AUTHORIZATION	26134



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



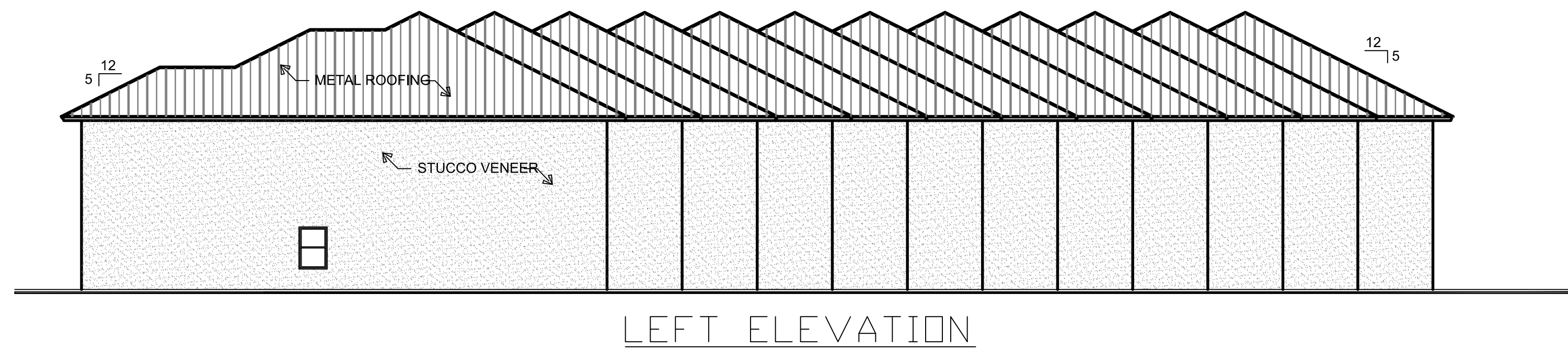
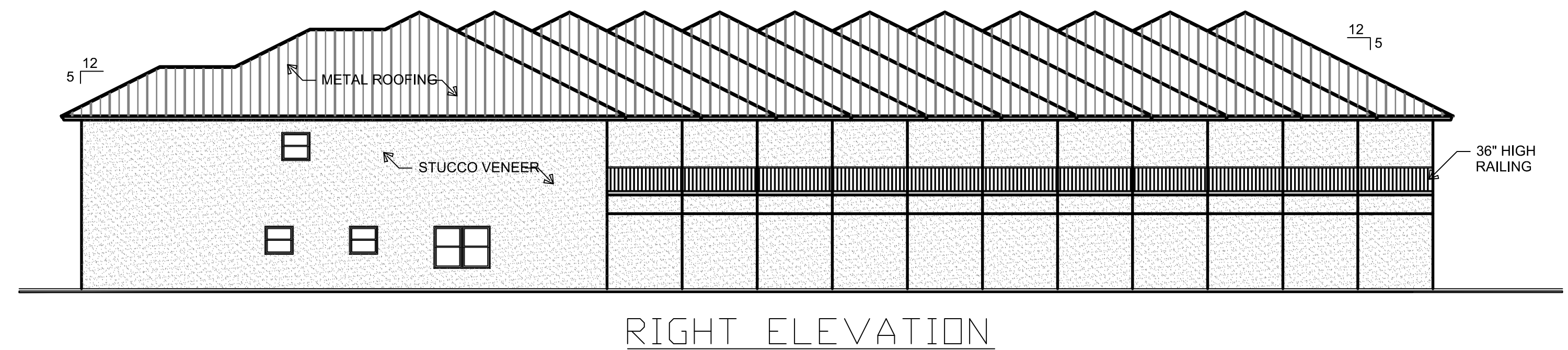
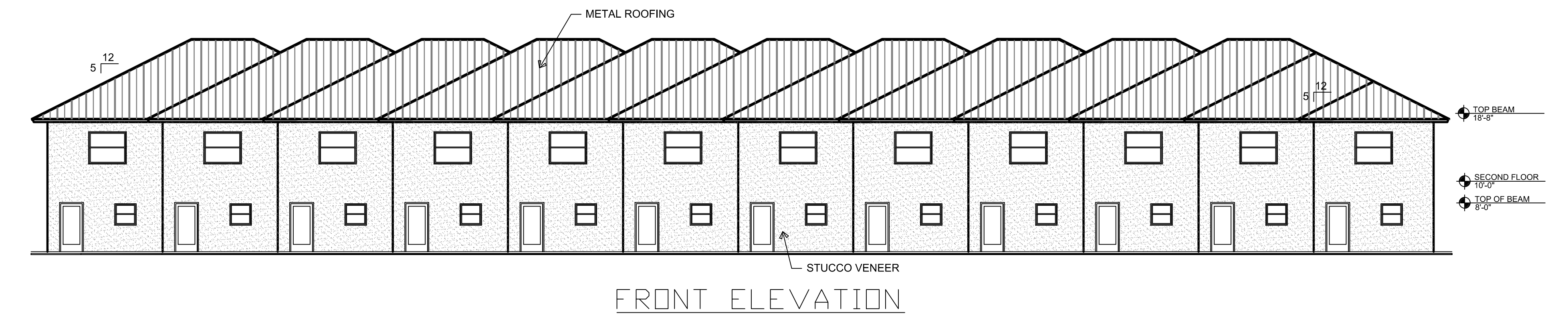
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

WALL LEGEND

- CBS WALL @ 9'-4" AFF
- * INTERIOR FRAMING TO CEILING
- R-11 INSULATED WALL

* = ALL INTERIOR FRAME WALLS ABOVE 10'-10" TO HAVE A HORIZONTAL DRAFT STOP MIDWAY (NOT TO EXCEED 10'-10" IN HEIGHT)



AREA CALCULATIONS

INDIVIDUAL UNIT:	
A/C 1ST FLOOR:	896 S.F.
1ST FLOOR PATIO:	64 S.F.
A/C 2ND FLOOR:	896 S.F.
2ND FLOOR PATIO:	64 S.F.
TOTAL:	
1,920 S.F.	
BUILDING #1:	
12 UNITS:	1,920 S.F. EACH
TOTAL:	
23,040 S.F.	

BRIDGEWATER ON TAYLOR CREEK
FLOOR PLAN AND ELEVATIONS

DRAWN FOR:
SUBARNA JOSHI
B&T FAIR INVESTMENTS INC
OKEECHOBEE, FL. 34972

ASMUSSEN ENGINEERING, LLC.

P.O. Box 1998
OKEECHOBEE, FLORIDA 34973-1998
TEL: (863) 763-8546 CELL: (863) 610-0043

Print Date

9-2-2021

CONTIGUOUS OWNERSHIP (1.29 AC)

SCALE N.T.S.






06042021-01

CADD FILE: Site Plan.dwg

CERTIFICATE OF
AUTHORIZATION NO. 26134

EXHIBIT

2

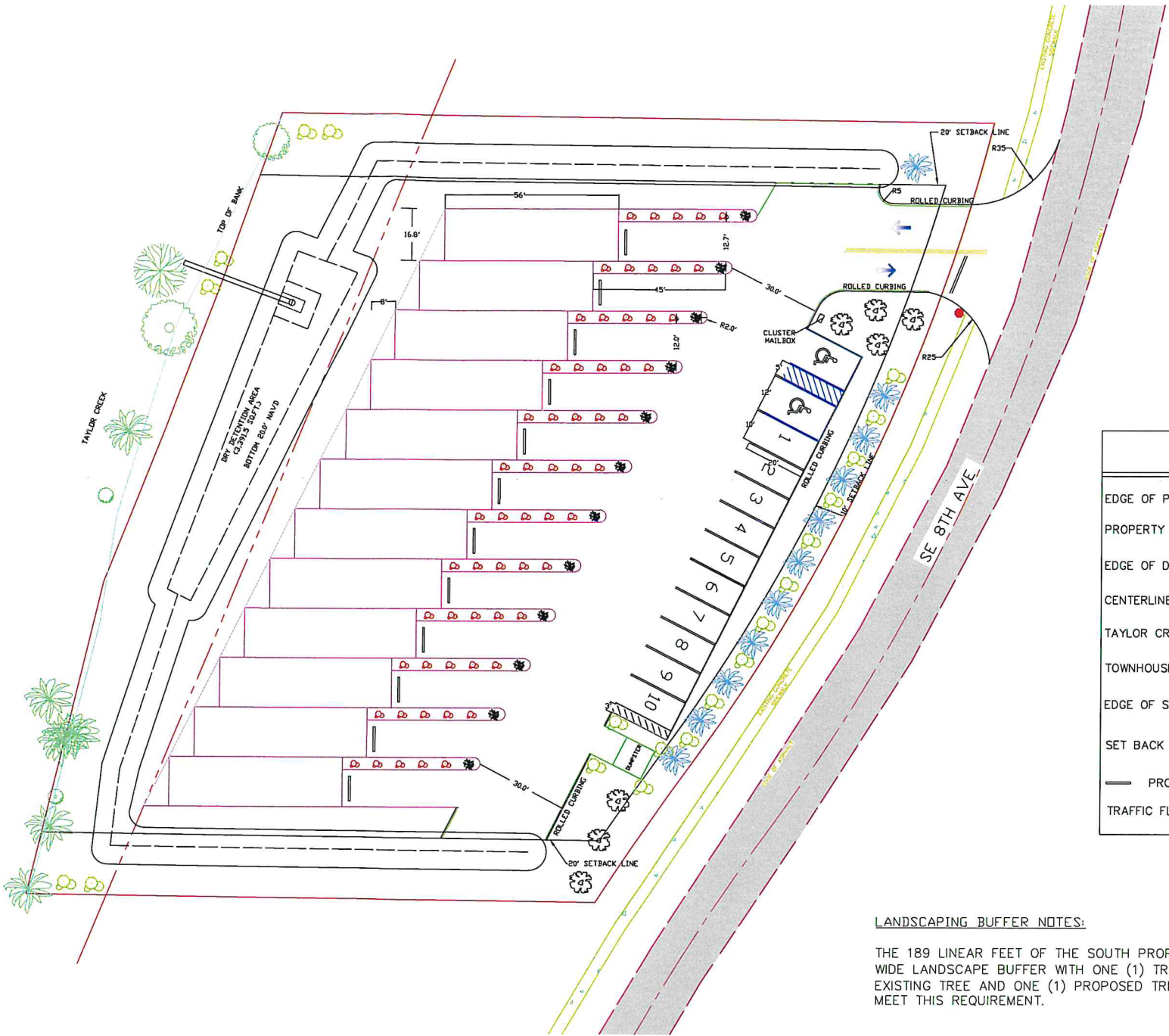
LANDSCAPING TABLE		
REQUIRED LANDSCAPING		NOTES
36	TREES	1. The four (4) existing oak trees at the front of the property are to be removed. 2. The shrub symbols (C) & (D) represents three (3) shrubs. 3. The Foxtail Palms should be planted a minimum of fifteen (15) feet apart. 4. According to landscaping requirements, tree clusters shall not exceed 50' on centers abutting the street.
42	SHRUBS	
EXISTING TREES TO REMAIN		
7	TOTAL	
PROPOSED LANDSCAPING		
 42	COCOPLUM	Chrysobalanus icaco (Red Tip)
 78	SWEET VIBURNUM	Viburnum odoratissimum
 11	FOXTAIL PALMS	Wodyetia bifurcata
 12	SABAL PALMS	Sabal palmetto
 7	CREPE MYRTLES	Lagerstroemia indica
LANDSCAPING PROVIDED		
37	TREES & 120 SHRUBS	

LANDSCAPING NOTES:

- ALL PLANTS WILL BE FLORIDA GRADE NO. 1 (OR BETTER) IN ACCORDANCE WITH "GRADES AND STANDARDS FOR NURSERY PLANTS", PUBLISHED BY THE STATE OF FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. NURSERY STOCK SHALL MEET MINIMUM REQUIREMENTS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, FREE FROM MUTILATION, PLANT DISEASES, INSECT PESTS OR THEIR EGGS, AND FUNGUS AND SHALL HAVE HEALTHY NORMAL ROOT SYSTEMS. PLANTS SHALL BE NURSERY STOCK IN CONTAINERS OR FRESHLY DUG, BALLED AND BURLAPPED.
- CALIPER MEASUREMENT, HEIGHT MEASUREMENT, HEIGHT RELATION TO CALIPER SPREAD, BARE ROOT AND BALL DIMENSIONS, NUMBER OF CANES, TYPES OF VINES AND GROUND COVERS, ETC., SHALL CONFORM TO APPLICABLE STANDARDS GIVEN IN THE "ASNS".
- EXISTING TREES, LOCATED WHERE PARKING AND/OR BUILDING CONSTRUCTION IS PROPOSED, ARE TO BE REMOVED. EXISTING TREES LOCATED OUTSIDE THE WEST LEG OF THE PERIMETER BERM (ALONG THE BANK LEADING TO TAYLOR CREEK) ARE TO BE RETAINED.
- WE HEREBY CERTIFY THAT THE LANDSCAPING PLANS ARE IN FULL AND COMPLETE COMPLIANCE WITH THE LANDSCAPING REQUIREMENTS OF THE CITY OF OKEECHOBEE LAND DEVELOPMENT REGULATIONS.
- EXISTING TREES LOCATIONS WERE PROVIDED WITH THE SURVEY BY TRADEWINDS SURVEYING GROUP, LLC.
- PER LDC SECTION 90-533(7), THE REMAINDER OF THE PARKING LANDSCAPE AREAS SHALL BE LANDSCAPED WITH GRASS, GROUND COVER OR OTHER LANDSCAPING MATERIAL (SUCH AS MULCH).
- PER LDC SECTION 90-538(D) AND 90-543, TREES AND SHRUBS SHALL NOT BE PLANTED IN A LOCATION WHERE AT MATURITY THEY WOULD INTERFERE WITH UTILITY SERVICES.

SHRUB NOTES:

- COCOPLUM IS ONE OF THE MOST COMMON HEDGES IN SOUTH FLORIDA. IT DOESN'T GROW FAST, SO TRIMMING IS MINIMAL WHEN COMPARED TO A FICUS HEDGE. THE NEW LEAVES ARE COLORED RED, WHICH GIVES IT MORE COLOR THAN TRADITIONAL "ALL GREEN" HEDGES. IT IS A PERENNIAL, WITH A LOW WATER REQUIREMENT (ONCE ESTABLISHED). FULL OR PARTIAL SUN IS RECOMMENDED. THE MAXIMUM HEIGHT IS AROUND FOUR (4) FEET.
- SWEET VIBURNUM BUSHES HAVE EXTREMELY FRAGRANT FLOWERS, BUT THE SHRUB CAN BE ENORMOUS. AT SIX (6) METERS TALL, IT CAN BE CONSIDERED A SMALL TREE. IN SPRINGTIME, THE ENTIRE CANOPY IS COVERED WITH TINY BLOSSOMS, MAKING THIS A LANDSCAPING FAVORITE. IT ENJOYS PARTIAL OR FULL SUN AND ACCEPTS ALMOST ANY TYPE OF SOIL FROM SANDS TO CLAYS, AS WELL AS, ACIDIC TO ALKALINE SOILS. ALTHOUGH THIS SHRUB IS RELATIVELY MAINTENANCE FREE, SHAPING WILL BE REQUIRED TO CONTROL IT'S SIZE AND SPREAD. SURFACE ROOTS ARE USUALLY NOT A PROBLEM AND THE SHRUB'S LONG-TERM HEALTH IS USUALLY NOT THREATENED BY PESTS.
- BOTH OF THESE SHRUBS REQUIRE WATERING ONLY UNTIL THEY BECOME ESTABLISHED. ONCE ESTABLISHED, NO IRRIGATION WILL BE REQUIRED.



LEGEND

EDGE OF PAVEMENT	---
PROPERTY LINE	---
EDGE OF DRIVEWAY	---
CENTERLINE	---
TAYLOR CREEK RW	---
TOWNHOUSES	---
EDGE OF SIDEWALK	---
SET BACK LINE	---
PROP. CWS	---
TRAFFIC FLOW	→
STOP SIGN	●
STOP BAR	---

LANDSCAPING BUFFER NOTES:

THE 189 LINEAR FEET OF THE SOUTH PROPERTY LINE REQUIRES A TWO (2) FOOT WIDE LANDSCAPE BUFFER WITH ONE (1) TREE AND FOUR (4) SHRUBS. ONE (1) EXISTING TREE AND ONE (1) PROPOSED TREE AND SIX (6) PROPOSED SHRUBS MEET THIS REQUIREMENT.

THE 265 LINEAR FEET OF THE WEST PROPERTY LINE REQUIRES A TWO (2) FOOT WIDE LANDSCAPE BUFFER WITH TWO (2) TREES AND FIVE (5) SHRUBS. EXISTING TREES AND SIX (6) PROPOSED SHRUBS MEET THIS REQUIREMENT.

THE 231 LINEAR FEET OF NORTH PROPERTY LINE REQUIRES A TWO (2) FOOT WIDE LANDSCAPE BUFFER WITH TWO (2) TREES AND FIVE (5) SHRUBS. ONE (1) EXISTING TREE AND ONE (1) PROPOSED TREE AND SIX (6) SHRUBS MEET THIS REQUIREMENT.



SWEET VIBURNUM



COCOPLUM

BRIDGEWATER ON TAYLOR CREEK
LANDSCAPING PLAN

DRAWN FOR:
SUBARNA JOSHI
B&T FAIR INVESTMENTS INC.
OKEECHOBEE, FL. 34972

ASMUSSEN ENGINEERING, LLC.

P.O. Box 1998
OKEECHOBEE, FLORIDA 34973-1998
TEL: (863) 763-8546 CELL: (863) 610-0043

Print Date

CONTIGUOUS OWNERSHIP (1.29 AC)

CADD FILE: Site Plan.dwg

EXHIBIT

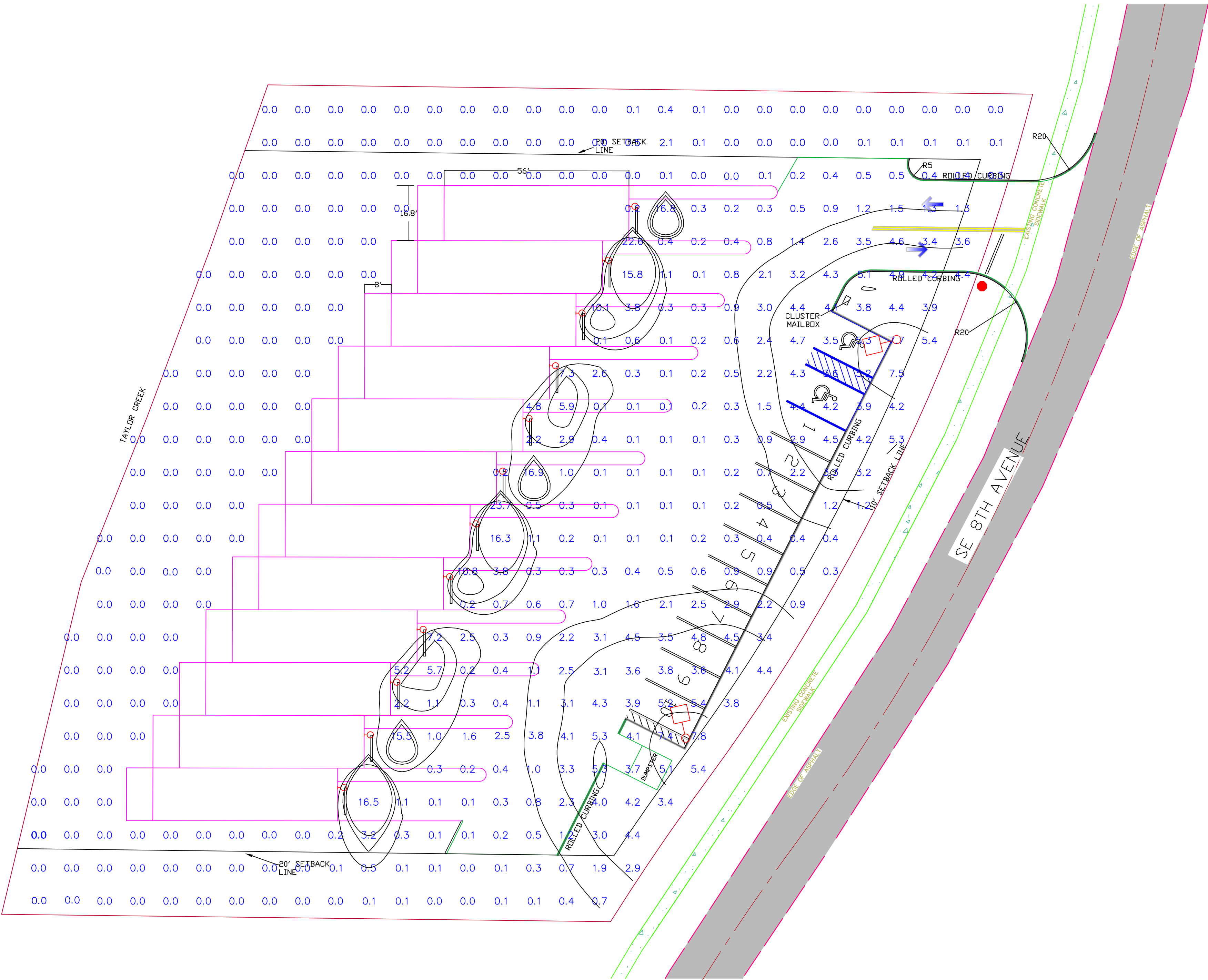
9-1-2021

SCALE 1" = 20'

CERTIFICATE OF
AUTHORIZATION NO. 26134

1

LIGHTING LEGEND				
CALLOUT	SYMBOL	MOUNTING	LUMENS	QUANTITY
POLE LIGHT		POLE	20,000	2
WALL MOUNT		WALL	200	12



GENERAL PHOTOMETRIC SCHEDULE	
AVERAGE FOOT-CANDLES	1.16
MAXIMUM FOOT-CANDLES	24.3
MINIMUM FOOT-CANDLES	0.0
MINIMUM TO MAXIMUM FC RATIO	0.00
MAXIMUM TO MINIMUM FC RATIO	24.29 / 0.00
AVERAGE TO MINIMUM FC RATIO	1.16 / 0.00

BRIDGEWATER ON TAYLOR CREEK
PHOTOMETRIC LIGHTING PLAN

DRAWN FOR: SUBARNA JOSHI B&T FAIR INVESTMENTS INC OKEECHOBEE, FL. 34972	ASMUSSEN ENGINEERING, LLC. P.O. Box 1998 OKEECHOBEE, FLORIDA 34973-1998 TEL: (863) 763-8546 CELL: (863) 610-0043
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Print Date 9-2-2021	CONTIGUOUS OWNERSHIP (1.29 AC) SCALE 1" = 20' 06042021-01	CADD FILE: Site Plan.dwg CERTIFICATE OF AUTHORIZATION NO. 26134	EXHIBIT 3
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B & T FAIR INVESTMENTS, INC.**WATER MANAGEMENT SYSTEM CALCULATIONS & MODELING****PROJECT LOCATION:****SFWMD BASIN: S-133 BASIN ALLOWABLE Q: 15.6 CSM (OR 0.03 CFS)****DEVELOPED AREA (INSIDE PERIMETER BERM) USED FOR MODELING: 1.15-ACRES****RAINFALL AMOUNTS (FOR MODELING):**

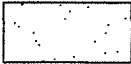
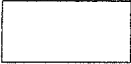


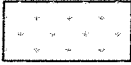
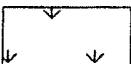

ROAD/PARKING	10 YEAR – 24 HOUR STORM	(5.5 INCHES)
DESIGN STORM	25 YEAR – 72 HOUR STORM	(9.0 INCHES)
MIN. FLOOR	100 YEAR – 72 HOUR STORM	(10.0 INCHES)

DATE GENERATED: AUGUST 29, 2021**ASMUSSEN ENGINEERING, LLC.****P.O. BOX 1998****OKEECHOBEE, FL. 34973-1998**

Paul Munn
9-1-2021

LAND USE TABLE

USE/DESCRIPTION SQ.FT. AC. % COVER

TOTAL SITE		56,109.88 SQ.FT.	1.29 AC.	100
ONSITE IMPERVIOUS		28,693.88 SQ.FT.	0.66 AC.	51.1
	ASPHALT	16,714.55 SQ.FT.	0.38 AC.	29.8
	BUILDING	10,794.58 SQ.FT.	0.25 AC.	19.2
	CONCRETE	997.22 SQ.FT.	0.02 AC.	1.8
	CURBING	187.53 SQ.FT.	0.004 AC.	0.33
OFFSITE IMPERVIOUS		1055.35 SQ.FT.	0.024 AC.	
ASPHALT		1,026.26 SQ.FT.	0.02 AC.	
CURBING		29.09 SQ.FT.	0.001 AC.	
ONSITE PERVIOUS		27,416.00 SQ.FT.	0.63 AC.	48.9
	LANDSCAPING	6,582.85 SQ.FT.	0.15 AC.	11.7
FRONTAGE		4,448.09 SQ.FT.	0.10 AC.	
EA. UNIT		2,134.76 SQ.FT.	0.05 AC.	
	DRY DETENTION	8,400.49 SQ.FT.	0.19 AC.	15.0
	OPEN/CANAL BANK	12,432.66 SQ.FT.	0.29 AC.	22.2

8/29/21

I. Given

A. Acreage

1. Total 1.29 ac (56,109.88 SQFT)
2. Impervious
 - a. Building 0.25 ac (10,794.58 SQFT)
 - b. Asphalt 0.39 ac (17,186.66 SQFT)
 - c. Concrete 0.02 ac (997.22 SQFT)
3. Pervious (includes dry detention)
0.63 ac (27,416.00 SQFT)

B. Minimum Elevations

1. Roads/Parking 22.0' NAVD
2. Building Floors 23.5' NAVD

C. Design Storm (25yr-3day event) allowable Q (5.133 BASIN)

15.6 CSM \rightarrow 0.031 cfs

D. Water levels

1. Wet season watertable 18' NAVD
 2. Taylor Creek levels (12.5'-14.0' NGVD)
- Note: MIN. parking/entrance elevation is more than 2.0' above the WSWT elevation.

E. RAINFALL AMOUNTS

1. Road / Parking 10yr-24hr storm = 5.5"
2. Design 25y-72hr storm = 9.0"
3. Floors 100yr-72hr storm = 10.0"

II. Design Criteria

A. Quality

1. Proposed Dry Detention

a. Greater volume between the first inch of runoff over site, or

b. 2.5" times the percentage of impervious.

- 8-29-21
- Project is in the lake Okeechobee Basin which requires 50% more WQ treatment or 1.5" x total site area.

B. Water Quantity

- Allowable peak discharge is 0.031 cfs for the design storm (25yr-3day)
- Min. Finished Floor elevation 23.5' NAVD
- Roads/Parking elevation 22.0' NAVD

III. Computations

A. Quality

- First 1.5 inches of runoff (Lake Okeechobee Basin)

$$\left(\frac{1.5}{12}\right)' \times 1.29 \text{ ac} = \underline{0.16 \text{ ac.ft}}$$

- Compute 2.5" x percentage of impervious
 a. Site Area for WQ pervious/impervious calcs.

Total Project (1.29 ac) — roof (0.25 ac)
 or 1.04 ac (site area for WQ pervious/imp.)

- Impervious Area for WQ pervious - impervious
 Site Area (1.04 ac) — Pervious (0.61 ac)
 or 0.43 ac impervious Area for WQ Perv./Imp.

- % Imp for WQ

$$\left(\frac{0.43}{1.04}\right) \times 100 = 41.3\% \text{ Imp.}$$

- \therefore WQ = 2.5" x % Imp. (41.3%)
 or 1.03 inches

- Compute WQ volume

$$1.03 \text{ inches} \times (1.29 \text{ ac}) = 0.11 \text{ ac.ft.}$$

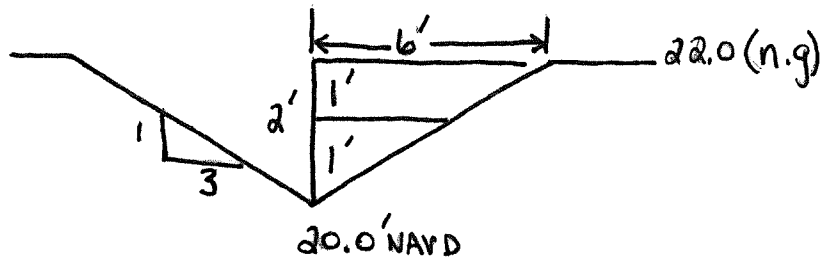
- 1.5" or 0.16 ac.ft. > 2.5" x % Imp or 0.11 ac.ft

- Volume (WQ) reduction due to Dry Detention use
 25% reduction

$$\therefore \text{WQ Vol} = 0.16 \text{ ac.ft.} \times 0.75 \text{ or } 0.12 \text{ ac.ft.}$$

$$\underline{\text{WQ} = 0.12 \text{ ac.ft.}}$$

8-29-21



North Swale 2378 ft^2 | $193' = L$
 South Swale 2630 ft^2 | $215' = L$

Swale (same section)
 $\Sigma \text{Lengths} = 408 \text{ ft}$

Detention Area

$L = 303 \text{ ft}$ T.O.B Area = 3391.5 ft^2
 $L = 264 \text{ ft}$ Bottom Area = 1686.6 ft^2

SWALES \rightarrow
 $\therefore @ 21'$ $2 \left[\frac{1}{2}(3)(1) \right] \times 408 \text{ ft} = \underline{1224 \text{ ft}^3}$
 $@ 22'$ $2 \left[\frac{1}{2}(6)(2) \right] \times 408 \text{ ft} = \underline{4896 \text{ ft}^3}$ full swale

DETENTION AREA Bottom Area = 1686.6 ft^2

$\therefore @ 21'$ $1' (1686.6 \text{ ft}^2) + \frac{1}{2}(3)(1) L$
 $1686.6 \text{ ft}^3 + 1.5 \text{ ft}^2 (263.7 \text{ ft}) = \underline{2082 \text{ ft}^3}$

$@ 22'$ $2' (1686.6 \text{ ft}^2) + \frac{1}{2}(6)(2)(303.1 \text{ ft}) = \text{storage @ } 22'$
 $3372 \text{ ft}^3 + 1818.6 \text{ ft}^3 = \underline{5190.6 \text{ ft}^3}$

Sump (Stores from 18.0' to 20.0' or bottom of Detention Area)

Storage @ 19.0' NAVD = $4' \times 4' \times 1' = 16 \text{ ft}^3$ bottom up
 slope $(\frac{1}{2}(1)(2))16 = 16 \text{ ft}^3$ on slope

$\therefore @ 19.0'$ storage = $16 \text{ ft}^3 + 16 \text{ ft}^3 = \underline{32 \text{ ft}^3}$

Storage @ 20.0' NAVD = $4' \times 4' \times 2' = 32 \text{ ft}^3$ bottom up
 slope $(\frac{1}{2}(2)(4))12 = 48 \text{ ft}^3$ on slope

$\therefore @ 20.0'$ storage = $32 \text{ ft}^3 + 48 \text{ ft}^3 = \underline{80 \text{ ft}^3}$

Summarize

Stage	Sump	Swale Storage	Det Storage	Total Storage
18.0' NAVD	0	0	0	0
19.0'	32 ft^3	0	0	32 ft^3
20.0'	80 ft^3	0	0	80 ft^3
21.0'	full	1234 ft^3	2082 ft^3	3306 ft^3
22.0'	Full	4896 ft^3	5190.6 ft^3	$10,086.6 \text{ ft}^3$

8-29-21

North 2378 ft²
South 2631 ft²

@ 23.0' Area (T.O.B.) x 1' = swale storage

$$2 \text{ areas (WMS)} = 8401 \text{ ft}^2$$

Detention 3392 ft²

$$\therefore @ 23.0' \text{ NAVD } \text{WMS storage} = 8401 \text{ ft}^2 \times 1'$$

$$\text{Storage} = 8401 \text{ ft}^3 + \text{water storage}$$

$$@ 22.0' \text{ NAVD}$$

@ 23.0' Parking (22.0 - 23.0) Linear

$$\frac{1}{2} (16714.55 \text{ ft}^2) (1 \text{ ft}) = \underline{8357 \text{ ft}^3}$$

@ 23.0' Site

Site (less swales + Detention)

assume/estimate linear storage over landscaping + 1/2 open

$$\therefore 6582.85 \text{ ft}^2 + \underline{12,432.66} = 12,800 \text{ ft}^2$$

$$\text{Linear } \frac{1}{2} (12800 \text{ ft}^2) (1 \text{ ft}) = 6400 \text{ ft}^3 \quad \text{Conservative est.}$$

8-29-21

Stage	Sump	Swales	Detention	Parking	Site	Total
18.0'	0	0	0	0	0	0
19.0'	32ft ³ 0.0007 ac.ft	0	0	0	0	32ft ³ 0.0007 ac.ft
20'	80ft ³ 0.001 ac.ft	0	0	0	0	80ft ³ 0.001 ac.ft
21'	Full	1224ft ³ 0.0281 ac.ft	2082ft ³ 0.0478 ac.ft	0	0	3306ft ³ 0.0759 ac.ft
22'	Full	4896ft ³ 0.1124 ac.ft.	5190.6ft ³ 0.1192 ac.ft.	0	0	10,086.6ft ³ 0.2316 ac.ft
23'	Full	4896 + 5009 9905ft ³ 0.2274 ac.ft.	5190.6 + 3392 8582.6ft ³ 0.197 ac.ft	8357ft ³ 0.1919 ac.ft	6400ft ³ .1469 ac.ft.	33,244.6 0.76 ac.ft

Soil Storage

8-29-21

Assume 4' too wswt (consumptive in this case)

under pervious areas, soil storage (Fig E-1) is 8.18 inches

Site soil storage:

$$\text{pervious} = 0.4867 \text{ ac}$$

Pervious

6582.85 ft² Landscaping
8400.49 ft² wms (Det & swales)

$$\frac{\text{pervious} \times 8.18''}{\text{total site}}$$

12,432.66 open / canal bank

assume 50% is canal bank / outside berm

$$\frac{0.4817 \text{ ac} \times 8.18}{1.29 \text{ ac}}$$

$$\frac{12,432.66}{2} = 6216 \text{ ft}^2 \text{ (w/in berm)}$$

or 3" of available
soil storage over
entire site

$$\Sigma \text{pervious} = 21,199 \text{ say } 21,200 \text{ ft}^2$$

$$\text{Design Rainfall} = 9.0 \text{ inches (25yr/3day)}$$

$$P = 9.0''$$

$$\text{Calculate Total Runoff} = \frac{(P - 0.25)^2}{(P + 0.85)} = Q$$

$$Q = \frac{(9 \text{ in} - 0.2(3 \text{ in}))^2}{(9 \text{ in} + 0.8(3 \text{ in}))}$$

$$Q = \frac{(8.4 \text{ in})^2}{11.4 \text{ in}} = \frac{70.56 \text{ in}^2}{11.4 \text{ in}}$$

$$Q = 6.2 \text{ inches Runoff}$$

Total R.O. Vol

Q x Area inside berm

$$1.29 \text{ ac} - \frac{\text{OPEN/CANAL}}{2}$$

$$R.O = \frac{6.2 \text{ in}}{12} \times 1.15 \text{ ac}$$

$$\text{Site Area} = 1.15 \text{ ac}$$

$$= 0.6 \text{ ac} \cdot \text{ft}$$

$$\therefore \text{Zero Discharge Stage} = \frac{23 - 22}{0.76 - 0.2316} = \frac{23 - x}{0.76 - 0.6}$$

Zero Discharge stage

$$\frac{0.16}{0.5284} = 23 - x$$

8-29-21

Note: Due to proximity to Taylor Creek, seepage will lower this estimate (likely no parking inundation will result)

$$0.3028 = 23 - x$$

$$x = 22.7' \text{ NAVD}$$

Q=0

$$25\text{yr-3day stage} = \underline{\underline{22.7' \text{ NAVD}}}$$

Set top of weir (Riser) @ 21.8' *
Modded Design stage

Can assume 10yr-1 day is below elevation
22.0' NAVD (Min. parking elevation) ok

Check FF elev (23.5' NAVD) (P = 10 inches)

$$\text{Total R.O} = \frac{(P - 0.2(s))^2}{(P + 0.8(s))} = \frac{(10 - 0.2(3\text{in}))^2}{(10 + 0.8(3\text{in}))}$$

$$\text{Total R.O} = \frac{(9.4)^2 \text{ in}^2}{12.4 \text{ in}} = \underline{\underline{7.12 \text{ inches}}} = Q$$

$$\therefore \text{Total R.O Volume} = Q \times \text{Project Acreage} \\ \left(\frac{7.12 \text{ in}}{12} \right) \times 1.15 \text{ ac} = V_{\text{R.O.}}$$

100yr-3day stage

$$\frac{23.0 - 22.0}{0.76 - 0.2316} = \frac{23.0 - x}{0.76 - 0.68}$$

$$0.68 \text{ ac.ft} = \text{Volume R.O.}$$

$$\frac{0.08}{0.528} = 23.0 - x$$

$$\underline{\underline{22.85' \text{ NAVD}}} = 100/3 \text{ (zero Q) stage}$$

$$\underline{\underline{\text{Finished Floor} = 23.5' \text{ NAVD}}}$$

OK!

Project Name: BRIDGEWATER

Reviewer: ASMUSSEN ENGINEERING, LLC.

Project Number: CITY OF OKEECHOBEE

Period Begin: Jan 01, 2000;0000 hr End: Jan 06, 2000;0000 hr Duration: 120 hr

Time Step: 2 hr, Iterations: 10

Basin 1: DEVELOPED SITE

Method: Santa Barbara Unit Hydrograph

Rainfall Distribution: SFWMD - 3day

Design Frequency: 10 year

1 Day Rainfall: 5.5 inches

Area: 1.15 acres ~~Developed site acreage~~

Ground Storage: 3 inches

Time of Concentration: 0.17 hours

Initial Stage: 19 ft NGVD

NAVD
11

Stage (ft NGVD)	Storage (acre-ft)
18.00	0.00
19.00	0.00
20.00	0.00
21.00	0.08
22.00	0.23
23.00	0.76

Offsite Receiving Body: TAYLOR CREEK

Time (hr)	Stage (ft NGVD) NAVD
0.00	10.80
60.00	12.28
1000.00	11.00

Structure: 1

From Basin: DEVELOPED SITE

To Basin: TAYLOR CREEK

Structure Type: Gravity

Weir: Sharp Crested, Crest Elev = 22.5 ft NGVD, Length = 5.15 ft

Bleeder: Circular, Invert Elev = 19 ft NGVD, Diameter = 0.25 ft

Default Coefs: Weir Coef = 0.6, Orifice Coef = 0.6

Pipe: Diameter = 1.5 ft, Manning's n = 0.024, Length = 35 ft

US Invert Elev = 18 ft NGVD, DS Invert Elev = 17 ft NGVD, no flap gate

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
0.00	0.00	0.00	0.00	0.00	19.00	10.80
2.00	0.07	0.00	0.00	0.00	19.00	10.85
4.00	0.13	0.00	0.00	0.00	19.00	10.90
6.00	0.20	0.00	0.00	0.00	19.00	10.95
8.00	0.27	0.00	0.00	0.00	19.00	11.00
10.00	0.33	0.00	0.00	0.00	19.00	11.05
12.00	0.40	0.00	0.00	0.00	19.00	11.10
14.00	0.47	0.00	0.00	0.00	19.00	11.15
16.00	0.54	0.00	0.00	0.00	19.00	11.19
18.00	0.60	0.00	0.00	0.00	19.00	11.24
20.00	0.67	0.00	0.00	0.00	19.25	11.29
22.00	0.74	0.00	0.00	0.00	20.00	11.34
24.00	0.80	0.00	0.00	0.00	20.01	11.39
26.00	0.90	0.01	0.00	0.00	20.02	11.44
28.00	1.00	0.01	0.00	0.00	20.04	11.49
30.00	1.10	0.01	0.00	0.00	20.07	11.54
32.00	1.19	0.02	0.00	0.00	20.10	11.59

NAVD

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
34.00	1.29	0.02	0.00	0.00	20.14	11.64
36.00	1.39	0.02	0.00	0.00	20.18	11.69
38.00	1.49	0.02	0.00	0.00	20.23	11.74
40.00	1.58	0.02	0.23	0.04	20.03	11.79
42.00	1.68	0.03	0.00	0.04	18.00	11.84
44.00	1.78	0.03	0.00	0.04	18.00	11.89
46.00	1.88	0.03	0.00	0.04	18.00	11.93
48.00	1.97	0.03	0.00	0.04	20.02	11.98
50.00	2.08	0.03	0.00	0.04	20.09	12.03
52.00	2.22	0.05	0.00	0.04	20.18	12.08
54.00	2.43	0.07	0.23	0.07	20.06	12.13
56.00	2.73	0.11	0.00	0.07	20.00	12.18
58.00	3.15	0.17	0.23	0.11	20.06	12.23
60.00	5.58	1.13	0.31	0.16	20.88	12.28
62.00	6.47	0.45	0.36	0.22	21.42	12.28
64.00	6.81	0.18	0.35	0.28	21.38	12.27
66.00	7.01	0.10	0.34	0.34	21.16	12.27
68.00	7.21	0.10	0.31	0.39	20.84	12.27
70.00	7.34	0.07	0.27	0.43	20.40	12.27
72.00	7.47	0.07	0.00	0.43	20.26	12.26
74.00	7.47	0.00	0.23	0.47	20.08	12.26
76.00	7.47	0.00	0.00	0.47	18.00	12.26
78.00	7.47	0.00	0.00	0.47	18.00	12.26
80.00	7.47	0.00	0.00	0.47	18.00	12.25
82.00	7.47	0.00	0.00	0.47	18.00	12.25
84.00	7.47	0.00	0.00	0.47	18.00	12.25
86.00	7.47	0.00	0.00	0.47	18.00	12.24
88.00	7.47	0.00	0.00	0.47	18.00	12.24
90.00	7.47	0.00	0.00	0.47	18.00	12.24
92.00	7.47	0.00	0.00	0.47	18.00	12.24
94.00	7.47	0.00	0.00	0.47	18.00	12.23
96.00	7.47	0.00	0.00	0.47	18.00	12.23
98.00	7.47	0.00	0.00	0.47	18.00	12.23
100.00	7.47	0.00	0.00	0.47	18.00	12.23
102.00	7.47	0.00	0.00	0.47	18.00	12.22
104.00	7.47	0.00	0.00	0.47	18.00	12.22
106.00	7.47	0.00	0.00	0.47	18.00	12.22
108.00	7.47	0.00	0.00	0.47	18.00	12.21
110.00	7.47	0.00	0.00	0.47	18.00	12.21
112.00	7.47	0.00	0.00	0.47	18.00	12.21
114.00	7.47	0.00	0.00	0.47	18.00	12.21
116.00	7.47	0.00	0.00	0.47	18.00	12.20
118.00	7.47	0.00	0.00	0.47	18.00	12.20
120.00	7.47	0.00	0.00	0.47	18.00	12.20

STRUCTURE MAXIMUM AND MINIMUM DISCHARGES

Struc	Max (cfs)	Time (hr)	Min (cfs)	Time (hr)
1	0.36	62.00	0.00	0.00

BASIN MAXIMUM AND MINIMUM STAGES

Basin	Max (ft)	Time (hr)	Min (ft)	Time (hr)
DEVELOPED SITE	21.42	62.00	18.00	42.00

BASIN WATER BUDGETS (all units in acre-ft)

Basin	Total Runoff	Structure Inflow	Structure Outflow	Initial Storage	Final Storage	Residual
DEVELOPED SITE	0.46	0.00	0.47	0.00	-0.01	0.00

Project Name: BRIDGEWATER

Reviewer: ASMUSSEN ENGINEERING, LLC.

Project Number: CITY OF OKEECHOBEE

Period Begin: Jan 01, 2000;0000 hr End: Jan 06, 2000;0000 hr Duration: 120 hr

Time Step: 2 hr, Iterations: 10

Basin 1: DEVELOPED SITE

Method: Santa Barbara Unit Hydrograph

Rainfall Distribution: SFWMD - 3day

Design Frequency: 25 year

3 Day Rainfall: 9 inches

Area: 1.15 acres

Ground Storage: 3 inches

Time of Concentration: 0.17 hours

Initial Stage: 19 ft NGVD

Stage (ft NGVD)	Storage (acre-ft)
18.00	0.00
19.00	0.00
20.00	0.00
21.00	0.08
22.00	0.23
23.00	0.76

Offsite Receiving Body: TAYLOR CREEK

Time (hr)	Stage (ft NGVD)
0.00	10.80
60.00	12.28
1000.00	11.00

Structure: 1

From Basin: DEVELOPED SITE

To Basin: TAYLOR CREEK

Structure Type: Gravity

Weir: Sharp Crested, Crest Elev = 22.5 ft NGVD, Length = 5.15 ft

Bleeder: Circular, Invert Elev = 19 ft NGVD, Diameter = 0.25 ft

Default Coefs: Weir Coef = 0.6, Orifice Coef = 0.6

Pipe: Diameter = 1.5 ft, Manning's n = 0.024, Length = 35 ft

US Invert Elev = 18 ft NGVD, DS Invert Elev = 17 ft NGVD, no flap gate

Set crest @ design stage = 21.8' NAVD

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
0.00	0.00	0.00	0.00	0.00	19.00	10.80
2.00	0.08	0.00	0.00	0.00	19.00	10.85
4.00	0.16	0.00	0.00	0.00	19.00	10.90
6.00	0.24	0.00	0.00	0.00	19.00	10.95
8.00	0.32	0.00	0.00	0.00	19.00	11.00
10.00	0.40	0.00	0.00	0.00	19.00	11.05
12.00	0.48	0.00	0.00	0.00	19.00	11.10
14.00	0.56	0.00	0.00	0.00	19.00	11.15
16.00	0.64	0.00	0.00	0.00	19.10	11.19
18.00	0.73	0.00	0.00	0.00	19.90	11.24
20.00	0.81	0.00	0.00	0.00	20.01	11.29
22.00	0.89	0.01	0.00	0.00	20.02	11.34
24.00	0.97	0.01	0.00	0.00	20.04	11.39
26.00	1.08	0.02	0.00	0.00	20.06	11.44
28.00	1.20	0.02	0.00	0.00	20.10	11.49
30.00	1.32	0.02	0.00	0.00	20.15	11.54
32.00	1.44	0.03	0.00	0.00	20.20	11.59

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
34.00	1.55	0.03	0.00	0.00	20.26	11.64
36.00	1.67	0.03	0.23	0.04	20.07	11.69
38.00	1.79	0.03	0.00	0.04	18.00	11.74
40.00	1.91	0.03	0.00	0.04	18.00	11.79
42.00	2.02	0.04	0.00	0.04	20.04	11.84
44.00	2.14	0.04	0.00	0.04	20.12	11.89
46.00	2.26	0.04	0.00	0.04	20.20	11.93
48.00	2.38	0.04	0.23	0.08	20.04	11.98
50.00	2.51	0.05	0.00	0.08	18.00	12.03
52.00	2.68	0.06	0.00	0.08	20.01	12.08
54.00	2.93	0.10	0.00	0.08	20.18	12.13
56.00	3.28	0.15	0.24	0.12	20.18	12.18
58.00	3.79	0.22	0.23	0.15	20.06	12.23
60.00	6.72	1.43	0.33	0.21	21.12	12.28
62.00	7.79	0.56	0.39	0.27	21.80	12.28
64.00	8.21	0.22	0.39	0.34	21.80	12.27
66.00	8.44	0.13	0.37	0.40	21.58	12.27
68.00	8.68	0.13	0.35	0.46	21.34	12.27
70.00	8.84	0.09	0.33	0.51	21.09	12.27
72.00	9.00	0.09	0.29	0.56	20.68	12.26
74.00	9.00	0.00	0.24	0.60	20.18	12.26
76.00	9.00	0.00	0.00	0.60	18.00	12.26
78.00	9.00	0.00	0.00	0.60	18.00	12.26
80.00	9.00	0.00	0.00	0.60	18.00	12.25
82.00	9.00	0.00	0.00	0.60	18.00	12.25
84.00	9.00	0.00	0.00	0.60	18.00	12.25
86.00	9.00	0.00	0.00	0.60	18.00	12.24
88.00	9.00	0.00	0.00	0.60	18.00	12.24
90.00	9.00	0.00	0.00	0.60	18.00	12.24
92.00	9.00	0.00	0.00	0.60	18.00	12.24
94.00	9.00	0.00	0.00	0.60	18.00	12.23
96.00	9.00	0.00	0.00	0.60	18.00	12.23
98.00	9.00	0.00	0.00	0.60	18.00	12.23
100.00	9.00	0.00	0.00	0.60	18.00	12.23
102.00	9.00	0.00	0.00	0.60	18.00	12.22
104.00	9.00	0.00	0.00	0.60	18.00	12.22
106.00	9.00	0.00	0.00	0.60	18.00	12.22
108.00	9.00	0.00	0.00	0.60	18.00	12.21
110.00	9.00	0.00	0.00	0.60	18.00	12.21
112.00	9.00	0.00	0.00	0.60	18.00	12.21
114.00	9.00	0.00	0.00	0.60	18.00	12.21
116.00	9.00	0.00	0.00	0.60	18.00	12.20
118.00	9.00	0.00	0.00	0.60	18.00	12.20
120.00	9.00	0.00	0.00	0.60	18.00	12.20

STRUCTURE MAXIMUM AND MINIMUM DISCHARGES

Struc	Max (cfs)	Time (hr)	Min (cfs)	Time (hr)
1	0.39	64.00	0.00	0.00

BASIN MAXIMUM AND MINIMUM STAGES

Basin	Max (ft)	Time (hr)	Min (ft)	Time (hr)
DEVELOPED SITE	21.80	64.00	18.00	38.00

BASIN WATER BUDGETS (all units in acre-ft)

Basin	Total Runoff	Structure Inflow	Structure Outflow	Initial Storage	Final Storage	Residual
DEVELOPED SITE	0.59	0.00	0.60	0.00	-0.01	0.00

Project Name: BRIDGEWATER

Reviewer: ASMUSSEN ENGINEERING, LLC.

Project Number: CITY OF OKEECHOBEE

Period Begin: Jan 01, 2000;0000 hr End: Jan 06, 2000;0000 hr Duration: 120 hr

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Ground Storage: 3 inches

Time of Concentration: 0.17 hours

Initial Stage: 19 ft NGVD

Stage (ft NGVD)	Storage (acre-ft)
18.00	0.00
19.00	0.00
20.00	0.00
21.00	0.08
22.00	0.23
23.00	0.76

Offsite Receiving Body: TAYLOR CREEK

Time (hr)	Stage (ft NGVD)
0.00	10.80
60.00	12.28
1000.00	11.00

Structure: 1

From Basin: DEVELOPED SITE

To Basin: TAYLOR CREEK

Structure Type: Gravity

Weir: Sharp Crested, Crest Elev = 22.5 ft NGVD, Length = 5.15 ft

Bleeder: Circular, Invert Elev = 19 ft NGVD, Diameter = 0.25 ft

Default Coefs: Weir Coef = 0.6, Orifice Coef = 0.6

Pipe: Diameter = 1.5 ft, Manning's n = 0.024, Length = 35 ft

US Invert Elev = 18 ft NGVD, DS Invert Elev = 17 ft NGVD, no flap gate

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
0.00	0.00	0.00	0.00	0.00	19.00	10.80
2.00	0.09	0.00	0.00	0.00	19.00	10.85
4.00	0.18	0.00	0.00	0.00	19.00	10.90
6.00	0.27	0.00	0.00	0.00	19.00	10.95
8.00	0.36	0.00	0.00	0.00	19.00	11.00
10.00	0.45	0.00	0.00	0.00	19.00	11.05
12.00	0.54	0.00	0.00	0.00	19.00	11.10
14.00	0.63	0.00	0.00	0.00	19.04	11.15
16.00	0.72	0.00	0.00	0.00	19.73	11.19
18.00	0.81	0.01	0.00	0.00	20.01	11.24
20.00	0.90	0.01	0.00	0.00	20.02	11.29
22.00	0.98	0.01	0.00	0.00	20.04	11.34
24.00	1.07	0.01	0.00	0.00	20.07	11.39
26.00	1.20	0.02	0.00	0.00	20.10	11.44
28.00	1.34	0.03	0.00	0.00	20.15	11.49
30.00	1.47	0.03	0.00	0.00	20.21	11.54
32.00	1.60	0.03	0.22	0.04	20.03	11.59

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
34.00	1.73	0.03	0.00	0.04	18.00	11.64
36.00	1.86	0.04	0.00	0.04	18.00	11.69
38.00	1.99	0.04	0.00	0.04	20.02	11.74
40.00	2.12	0.04	0.00	0.04	20.11	11.79
42.00	2.25	0.04	0.00	0.04	20.20	11.84
44.00	2.38	0.05	0.23	0.07	20.05	11.89
46.00	2.51	0.05	0.00	0.07	18.00	11.93
48.00	2.64	0.05	0.00	0.07	20.00	11.98
50.00	2.79	0.06	0.00	0.07	20.12	12.03
52.00	2.97	0.07	0.00	0.07	20.26	12.08
54.00	3.25	0.11	0.24	0.12	20.19	12.13
56.00	3.65	0.17	0.00	0.12	20.24	12.18
58.00	4.21	0.25	0.27	0.16	20.41	12.23
60.00	7.47	1.63	0.36	0.22	21.38	12.28
62.00	8.66	0.63	0.40	0.28	22.05	12.28
64.00	9.12	0.25	0.41	0.35	22.06	12.27
66.00	9.38	0.14	0.40	0.42	22.00	12.27
68.00	9.65	0.14	0.38	0.48	21.73	12.27
70.00	9.82	0.10	0.36	0.54	21.47	12.27
72.00	10.00	0.10	0.34	0.60	21.20	12.26
74.00	10.00	0.00	0.31	0.65	20.80	12.26
76.00	10.00	0.00	0.24	0.69	20.19	12.26
78.00	10.00	0.00	0.00	0.69	18.00	12.26
80.00	10.00	0.00	0.00	0.69	18.00	12.25
82.00	10.00	0.00	0.00	0.69	18.00	12.25
84.00	10.00	0.00	0.00	0.69	18.00	12.25
86.00	10.00	0.00	0.00	0.69	18.00	12.24
88.00	10.00	0.00	0.00	0.69	18.00	12.24
90.00	10.00	0.00	0.00	0.69	18.00	12.24
92.00	10.00	0.00	0.00	0.69	18.00	12.24
94.00	10.00	0.00	0.00	0.69	18.00	12.23
96.00	10.00	0.00	0.00	0.69	18.00	12.23
98.00	10.00	0.00	0.00	0.69	18.00	12.23
100.00	10.00	0.00	0.00	0.69	18.00	12.23
102.00	10.00	0.00	0.00	0.69	18.00	12.22
104.00	10.00	0.00	0.00	0.69	18.00	12.22
106.00	10.00	0.00	0.00	0.69	18.00	12.22
108.00	10.00	0.00	0.00	0.69	18.00	12.21
110.00	10.00	0.00	0.00	0.69	18.00	12.21
112.00	10.00	0.00	0.00	0.69	18.00	12.21
114.00	10.00	0.00	0.00	0.69	18.00	12.21
116.00	10.00	0.00	0.00	0.69	18.00	12.20
118.00	10.00	0.00	0.00	0.69	18.00	12.20
120.00	10.00	0.00	0.00	0.69	18.00	12.20

STRUCTURE MAXIMUM AND MINIMUM DISCHARGES

Struc	Max (cfs)	Time (hr)	Min (cfs)	Time (hr)
1	0.41	64.00	0.00	0.00

BASIN MAXIMUM AND MINIMUM STAGES

Basin	Max (ft)	Time (hr)	Min (ft)	Time (hr)
DEVELOPED SITE	22.06	64.00	18.00	34.00

BASIN WATER BUDGETS (all units in acre-ft)

Basin	Total Runoff	Structure Inflow	Structure Outflow	Initial Storage	Final Storage	Residual
DEVELOPED SITE	0.68	0.00	0.69	0.00	0.00	0.00

water Quality

$$25\text{year} - 3\text{day stage} = 21.8' \text{ NAVD}$$

$$\frac{22 - 21}{0.2316 - 0.0759} = \frac{22 - 21.8}{0.2316 - X}$$

$$0.2316 - X = 0.2(0.1557)$$

$$\underline{X = 0.2 \text{ ac.ft}} = \text{wq provided}$$

$$\text{wq Req'd} = 0.12 \text{ ac.ft}$$

$$\text{wq w/out 25\% reduction for dry detention} = 0.16 \text{ ac.ft}$$

Storm Summary

<u>Storm</u>	<u>Stage</u>	<u>Discharge</u>	
10yr-24hr	21.42' NAVD	0.36 cfs	Parking @ 22.0' NAVD
25yr-72hr	21.80' NAVD	0.39 cfs	
25yr-72hr (Q=0)	22.7' NAVD	0	
100yr-72hr	22.06' NAVD	0.41 cfs	
100yr-72hr (Q=0)	22.85' NAVD	0	FF = 23.5' NAVD

Modeling Note: Modeling references elevations @ NGVD, when all values used are really NAVD.

TRAFFIC

Low flow configurations / assumptions
(731)Borrowed Traffic Manual
from Silver Bridge County
(June 2004)
7th Ed.

weekday: PM: Peak Hr.

$$\ln(T) = 0.89 \ln(N) - 0.67$$

$$\ln(T) = 0.89 \ln(12) - 0.67$$

$$\ln(T) = 2.14$$

$$\therefore T = 8.5$$

 $R^2 = 0.91$
small sample
size

weekday: AM: Peak Hr.

$$\ln(T) = 0.9 \ln(11) - 0.09$$

$$\ln(T) = 0.9 \ln(12) - 0.09$$

$$\ln(T) = 4.15$$

$$T = 8.6$$

assuming 8-12 = AM \longrightarrow 8.6 (4hr) = 34 Tripsassuming 12-6 = PM \longrightarrow 8.5 (6hr) = 51 Trips85 Trips/DayWe estimated

$$\frac{2 \text{ vehicles}}{\text{hr}} \times \frac{4 \text{ Trips}}{\text{avg. vehicle}} (12 \text{ units})$$

$$\therefore \frac{9 \text{ vehicle Trips}}{\text{day}}$$

Note:
small sample
size makes
confidence in
Traffic Manual
suspect.

Paul Shumaker
9-1-2021

Okeechobee County Property Appraiser

Mickey L. Bandi, CFA

RMF/mf

2021 Preliminary Certified

updated: 9/9/2021

Parcel: << **3-22-37-35-0260-00000-0060 (35429)** >>

Aerial Viewer Pictometry Google Maps

Owner & Property Info

Result: 1 of 1

Owner	B & T FAIR INVESTMENTS INC 1403 SE 8TH AVE OKEECHOBEE, FL 34974-5313		
Site	116 SE 8TH AVE, OKEECHOBEE		
Description*	TAYLOR CREEK MANOR (PLAT BOOK 3 PAGE 4) LOTS 6 & 7		
Area	0.569 AC	S/T/R	22-37-35
Use Code**	VACANT (0000)	Tax District	50

*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

**The Use Code is a Dept. of Revenue code. Please contact Okeechobee County Planning & Development at 863-763-5548 for zoning info.

Property & Assessment Values

2020 Certified Values		2021 Preliminary Certified	
Mkt Land	\$57,841	Mkt Land	\$64,782
Ag Land	\$0	Ag Land	\$0
Building	\$0	Building	\$0
XFOB	\$0	XFOB	\$0
Just	\$57,841	Just	\$64,782
Class	\$0	Class	\$0
Appraised	\$57,841	Appraised	\$64,782
SOH/10% Cap [?]	\$12,032	SOH/10% Cap [?]	\$14,392
Assessed	\$57,841	Assessed	\$64,782
Exempt	\$0	Exempt	\$0
Total Taxable	county:\$45,809 city:\$45,809 other:\$45,809 school:\$57,841	Total Taxable	county:\$50,390 city:\$50,390 other:\$50,390 school:\$64,782

Note: Property ownership changes can cause the Assessed value of the property to reset to full Market value, which could result in higher property taxes.

**▼ Sales History**

Sale Date	Sale Price	Book/Page	Deed	V/I	Qualification (Codes)	RCode
10/12/2016	\$92,000	0781/0240	WD	V	Q	05 (Multi-Parcel Sale) - show
12/9/2015	\$143,000	0768/0714	SW	V	Q	05 (Multi-Parcel Sale) - show
5/19/2005	\$375,000	0564/0952	WD	I	U	02 (Multi-Parcel Sale) - show
4/20/2004	\$0	0529/1415	WD	I	U	03
4/20/2004	\$251,000	0529/1414	WD	I	U	02 (Multi-Parcel Sale) - show
2/22/2002	\$0	0471/1810	QC	I	U	03
2/22/2002	\$0	0471/0096	QC	I	U	03
2/22/2001	\$0	0451/0532	PB	I	U	01
9/19/1996	\$0	0382/1317	QC	I	U	03

▼ Building Characteristics

Bldg Sketch	Description*	Year Blt	Base SF	Actual SF	Bldg Value
NONE					

▼ Extra Features & Out Buildings (Codes)

Okeechobee County Property Appraiser

Mickey L. Bandi, CFA

RMF/mf

2021 Preliminary Certified

updated: 9/9/2021

Parcel: << **3-22-37-35-0260-00000-0080 (35430)** >>

Aerial Viewer Pictometry Google Maps

Owner & Property Info

Owner	B & T FAIR INVESTMENTS INC 1403 SE 8TH AVE OKEECHOBEE, FL 34974-5313		
Site	SE 8TH AVE, OKEECHOBEE		
Description*	TAYLOR CREEK MANOR (PLAT BOOK 3 PAGE 4) LOTS 8, 9 & 10		
Area	0.797 AC	S/T/R	22-37-35
Use Code**	VACANT (0000)	Tax District	50

*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

**The Use Code is a Dept. of Revenue code. Please contact Okeechobee County Planning & Development at 863-763-5548 for zoning info.

Property & Assessment Values

2020 Certified Values		2021 Preliminary Certified	
Mkt Land	\$87,323	Mkt Land	\$97,801
Ag Land	\$0	Ag Land	\$0
Building	\$0	Building	\$0
XFOB	\$0	XFOB	\$0
Just	\$87,323	Just	\$97,801
Class	\$0	Class	\$0
Appraised	\$87,323	Appraised	\$97,801
SOH/10% Cap [?]	\$18,164	SOH/10% Cap [?]	\$21,726
Assessed	\$87,323	Assessed	\$97,801
Exempt	\$0	Exempt	\$0
Total Taxable	county:\$69,159 city:\$69,159 other:\$69,159 school:\$87,323	Total Taxable	county:\$76,075 city:\$76,075 other:\$76,075 school:\$97,801

Note: Property ownership changes can cause the Assessed value of the property to reset to full Market value, which could result in higher property taxes.

**▼ Sales History**

Sale Date	Sale Price	Book/Page	Deed	V/I	Qualification (Codes)	RCode
10/12/2016	\$92,000	0781/0240	WD	V	Q	05 (Multi-Parcel Sale) - show
12/9/2015	\$143,000	0768/0714	SW	V	Q	05 (Multi-Parcel Sale) - show
5/19/2005	\$0	0564/0952	WD	I	U	02 (Multi-Parcel Sale) - show
4/20/2004	\$0	0529/1415	WD	I	U	03
4/20/2004	\$0	0529/1414	WD	I	U	02 (Multi-Parcel Sale) - show
2/22/2002	\$0	0471/1810	QC	I	U	03
2/22/2002	\$0	0471/0096	QC	I	U	03
1/14/2002	\$0	0474/0153	PR	V	U	01
9/19/1996	\$0	0382/1318	QC	V	U	03

▼ Building Characteristics

Bldg Sketch	Description*	Year Blt	Base SF	Actual SF	Bldg Value
NONE					

▼ Extra Features & Out Buildings (Codes)