# **22-003-TRC**Site Plan Review Staff Report



Applicant | South Buyers LLC
Address | NW 4<sup>th</sup> Street, Okeechobee, FL 33972



Prepared for The City of Okeechobee



#### General Information

Owner: South Buyers LLC Applicant: South Buyers LLC

Primary Contact: Carlos Ayala, Phone #: 863-634-1963 Site Address: NW 4<sup>th</sup> Street, Okeechobee, FL 33972 Parcel Identification: 3-16-37-35-0160-00240-0050

Note: For the legal description of the project or other information relating this application, please refer to the application submittal package which is available by request at City Hall and is posted on the City's website prior to the advertised public meeting at: <a href="https://www.cityofokeechobee.com/agendas.html">https://www.cityofokeechobee.com/agendas.html</a>

#### Future Land Use, Zoning, and Existing Use of Subject Property(s)

	Existing	Proposed
Future Land Use	Multi-Family Residential	N/A
Zoning	RMF	N/A
Use of Property	Vacant	Multi-Family Residential
Acreage	0.76	0.76

#### Future Land Use, Zoning, and Existing Use of Surrounding Properties

	Future Land Use	Zoning	Existing Use
North	Single-Family Residential	RSF-1	Single Family Residences
East	Single-Family Residential	RMF	Single Family Residences
South	Single-Family Residential	RMF	Single Family Residences
West	Single-Family Residential	RMF	Multi-Family Residences

#### **General Description**

The request for consideration by the City of Okeechobee Technical Review Committee is an Application for Site Plan Review of a 7-unit, multi-family residential development. The 0.76-acre project area has frontage along NW 4<sup>th</sup> Street, between NW 10<sup>th</sup> and NW 11<sup>th</sup> Avenues. Staff analysis of the submitted application and plans is provided below. Areas of deficiency or concern are highlighted in yellow.



#### Adequacy of Public Facilities

<u>Potable Water and Sewer:</u> Confirmation of available water and sewer service from OUA is provided.

<u>Solid Waste Disposal</u>: A dumpster enclosure is proposed in the front of the project, including a loading area which should accommodate access by waste management for solid waste removal. However, the Public Works Director should determine the sufficiency of the proposed facilities. As the enclosure is proposed at 6'4" tall and within the setback, screening of the enclosure with landscaping is recommended.

<u>Traffic Generation:</u> A traffic generation report has been submitted indicating that the proposed development is estimated to generate 40 daily vehicle trips, with 18 of those trips occurring during the AM peak hour and 18 of those trips occurring during the PM peak hour. This proposed increase in traffic generation at this location should not significantly impact the surrounding roadway network.

<u>Access and Internal Circulation:</u> The site plan is designed with direct access to NW 4<sup>th</sup> Street via a 24-foot-wide driveway and drive aisle, which is sufficient for vehicle ingress/egress and internal circulation of the residential parking facility.

#### **Service Vehicle Access and Egress:**

#### **A.** Fire Truck

Sufficiency of fire truck access and egress to be addressed by the Fire Department.

#### **B.** Loading Zone

A dedicated loading space is not required for multi-family facilities with less than 20 dwelling units. However, one of the required parking spaces is large enough to be utilized as a loading space. Additionally, the area between the dumpster enclosure and the drive aisle is large enough to be utilized as a loading space.



#### Consistency and Compatibility with Adjacent Uses

The proposed use is consistent with the comprehensive plan and the zoning code and is compatible with surrounding uses. The subject property is designated multi-family on the future land use map and the zoning map. There is already existing multi-family directly abutting the subject property to the west and the development of single story, moderate density multi-family at this location should not be disruptive to the surrounding single family residential.

#### Compliance with Land Development Code

Regulation	Requirement	Provided
Permitted Uses §90-192	Multiple-family dwellings are allowed as a primary use.	In compliance
Minimum Lot Area §90-196(1)(c)	4,356 square feet for each dwelling unit  Actual: 33,105.6 ÷ 4,356 = 7.6	7 dwelling units
Min front yard setback §90-196(2)(b)	25 ft	25 ft
Min side yard setback §90-196(2)(b)	20 ft	20 ft
Min rear yard setback §90-196(2)(b)	20 ft	20 ft
Allowable features in required yard setback areas §90-448	A required yard shall be open from ground to sky unobstructed, except for wall and fence	6'4" tall dumpster enclosure proposed in front yard setback area
Max lot coverage §90-196(3)(a)	40%	33%
Max impervious surface §90-196(3)(a)	60%	55.09%
Max height §90-196(4)	45 feet, unless a special exception is granted.	26.4 ft
Parking spaces location §90-511(a)	Required off-street parking and loading spaces shall be located on the same parcel as the primary use, unless approved by TRC upon	In compliance



	submittal of written agreement to ensure continued availability	
Min parking space dimensions §90-511(b)	9' by 20'	9' by 20'
Min ADA parking space dimensions FL Accessibility Code §502	12' by 20' w/ a 5' wide access aisle	In compliance
Min Loading space dimensions §90-511(c)	10' by 30' w/14' vertical clearance	12' by 44' w/ no overhead structures
Min drive aisle width §90-511(d)(2)	24' for 90° parking spaces	24 ft
Paving §90-511(e)(1)	Each parking and loading space shall be paved	Asphalt proposed for parking facility. In compliance
Parking and loading space layout §90-511(e)(2)	Each parking or loading space shall open directly onto a driveway that is not a public street, and each parking space shall be designed to permit access without moving another vehicle.	In compliance
Pedestrian oriented design §90-511(e)(3)	Buildings, parking and loading areas, landscaping and open spaces shall be designed so that pedestrians moving between parking areas and buildings are not unreasonably exposed to vehicular traffic areas.	In compliance
Pedestrian walks §90-511(e)(4)	Paved pedestrian walks shall be provided along the lines of the most intense use, particularly between building entrances to streets, parking areas, and adjacent buildings.	In compliance



Loading space identification §90-511(e)(5)	Loading facilities shall be identified as to purpose and location when not clearly evident	N/A. No loading space required.
Min parking space setback §90-511(e)(6)	No parking space accessed via a driveway from a public road shall be located closer than 20 feet from the right-of-way line of said public road.	In compliance
Multifamily Parking Requirements Sec. 90-512(1)	2 spaces per 2 BR dwelling unit; 2.25 spaces per 3 BR dwelling unit  2 x 4 du = 8  2.25 x 3 = 6.75  8 + 7 = 15	15 spaces provided
Min number of ADA parking spaces FL Accessibility Code §208.2	2% of total resident spaces  15 x .02 = 0.3	1 ADA parking space
Min number of Loading spaces §90-513(2)	None required for facilities with less than 20 multifamily dwelling units	N/A.
Min Landscaping §90-532	Multifamily 2-4 BR requires 3 trees per unit.  7 x 3 = 21 trees	42 trees
Landscaping for parking and vehicular use areas §90-533(1)	At least 18 square feet of perimeter and interior landscaped area for each required parking space.  15 x 18 = 270	In compliance
Landscaping for parking and vehicular use areas §90-533(2)	At least one tree for each 72 square feet of required landscaped area. $270 \div 72 = 3.75$	42 trees
Landscaping for parking and vehicular use areas	A minimum two feet of landscaping shall be required	In compliance, 5 feet provided.



§90-533(4)	between vehicular use areas and on-site buildings and structures, except at points of ingress and egress.	
Landscaping for parking and vehicular use areas §90-533(5)	The minimum dimension for any required landscaped area within a parking or vehicular use area shall be four feet except for that adjacent to on-site buildings and structures.	In compliance
Landscaping for parking and vehicular use areas §90-533(6)	A landscaped island, minimum five feet by 15 feet and containing at least one tree, shall be required for every ten parking spaces with a maximum of 12 uninterrupted parking spaces in a row.	N/A, parking plan has a maximum of 8 uninterrupted parking spaces.
Landscaping for parking and vehicular use areas §90-533(7)	The remainder of a parking landscape area shall be landscaped with grass, ground cover, or other landscape material.	Plans indicate mulch will be used in area around root balls. Ground cover in other areas should be identified.
Landscape buffer areas §90-534(1)	Minimum width of buffer along street frontage shall be ten feet and on other property lines, two feet.	In compliance
Landscape buffer areas §90-534(2)	At least one tree and three shrubs for each 300 square feet of required landscaped buffer.  177 linear ft of non-driveway frontage on NW 11 <sup>th</sup> Avenue requires 1,770 sf of landscaped area with 6 trees and 18 shrubs	11 trees and 27 shrubs
	157 linear ft of buffer along the eastern boundary	7 trees and 24 shrubs



	requires 314 sf of landscaped area with 1 tree and 3 shrubs	
	176 linear ft of buffer along the western boundary requires 352 sf of landscaped area with 1 tree and 3 shrubs of required landscaped buffer	9 trees and 24 shrubs
	200 linear ft of buffer along the southern boundary requires 400 sf of landscaped area with 1 tree and 4 shrubs	11 trees and 30 shrubs
Landscape buffer areas §90-534(3)	Trees may be planted in clusters, but shall not exceed 50 feet on centers abutting the street.	In compliance
Landscape buffer areas §90-534(4)	The remainder of a landscape buffer shall be landscaped with grass, ground cover, or other landscape material.	Ground cover type should be identified throughout buffer areas.
Landscape design and plan §90-538(a)	Proposed development, vehicular and pedestrian circulation systems, and site drainage shall be integrated into the landscaping plan.	In compliance
Landscape design and plan §90-538(b)	Existing native vegetation shall be preserved where feasible, and may be used in calculations to meet these landscaping requirements.	In compliance
Species diversification §90-538(c)	When more than ten trees are required to be planted, two or more species shall be used.	Species types not indicated on plans
Tree spacing from utility structures §90-538(d)	Trees and shrubs shall not be planted in a location where at	Overhead utility lines present along street frontage between edge of roadway and property line. Species



	their maturity they would interfere with utility services.	type is not indicated for plantings within front buffer area.
Shade §90-538(e)	Trees should maximize the shading of pedestrian walks and parking spaces.	N/A. Landscape islands are not required or provided for the proposed parking facility. Landscaping areas between building and parking area are not appropriate for shade trees.
Landscape area barriers §90-538(g)	Landscaping shall be protected from vehicular encroachment by means of curbs, wheel stops, walks or similar barriers.	Provided site plan does not include wheel stops (only one included, ADA space).
Drought tolerance §90-540(b)	At least 75 percent of the total number of plants required shall be state native very drought tolerant species as listed in the South Florida Water Management District Xeriscape Plant Guide. However, when a landscape irrigation system is installed, at least 75 percent or the total number of plants required shall be state native moderate or very drought tolerant species.	Species types not identified on plans.
Min tree size §90-540(c)	Trees shall be at least ten feet high and two inches in diameter measured four feet above ground level at the time of planting.	Planting heights not identified on plans.
Fencing §90-639(a)	(a)Walls and fences may be located in front, side and rear yard setback areas, and shall not exceed a height of five feet in front of the front building line, nor a height of two feet, six inches in a visibility triangle, nor a height of eight feet elsewhere.	Dumpster enclosure proposed at 6'4" high, located in front of the front building line.



	(b)Walls and fences shall be constructed with the finished side facing the adjacent property. (c)Barbed wire and similar fences shall be prohibited on residential lots.	
Sidewalks § 78-36	Sidewalks shall be provided along each right-of-way.  Pedestrian access shall be provided from the development to the ROW facilities.	Site plans do not indicate any proposed sidewalks, although there are no existing sidewalks to connect to on this segment of NW 4 <sup>th</sup> Street.
Lighting §78-71(a)(5)	All off-street parking areas, service roads, walkways and other common use exterior areas open to the public shall have a minimum of one-half horizontal foot-candle power of artificial lighting. Lighting, when provided, shall be directed away from public streets and residential areas and shall not be a hazard or distraction to motorists traveling a street.	Photometric plan provided with appropriate intensities for parking areas and diminishing intensity approaching the property lines.

#### Recommendation

Based on the foregoing analysis, we recommend approval of the proposed site plan with the following conditions:

- 1) The remainder of the landscape areas which are not occupied by trees and shrubs shall be landscaped with grass, groundcover, or other landscape materials (such as mulch).
- 2) At least two different tree species shall be utilized.
- 3) At least 75 percent of the total number of plants required shall be state native very drought tolerant species as listed in the South Florida Water Management District Xeriscape Plant Guide.
- 4) Trees species planted along frontage buffer shall be a variety that will not produce a mature canopy capable of interfering with overhead utility lines.
- 5) Planting heights shall be in comply with minimum City landscaping standards
- 6) Wheel stops shall be provided for each parking space.



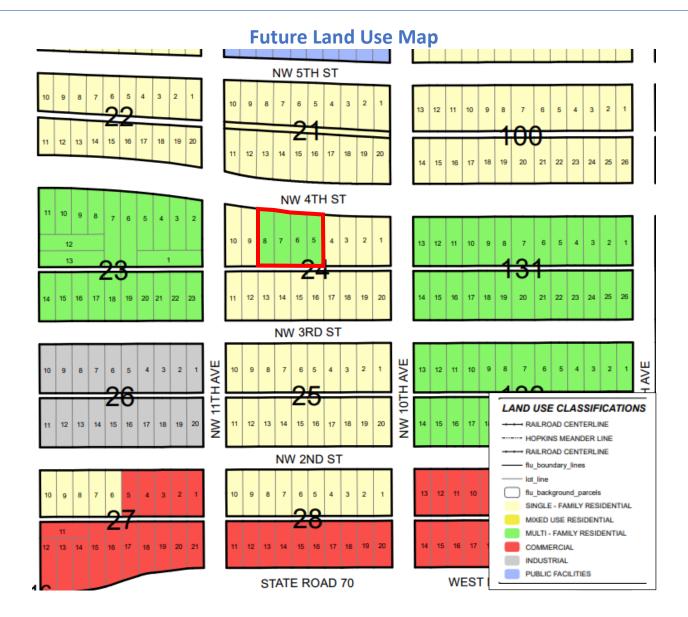
7) Plantings located between the dumpster enclosure and the front property line shall be installed at a minimum 6 foot height and shall effectively obscure the enclosure from view of the roadway.

Submitted by:

Ben Smith, AICP

**Director of Planning** 

October 12, 2022



#### **Zoning Map**



## **Aerial Identifying Existing Land Use**

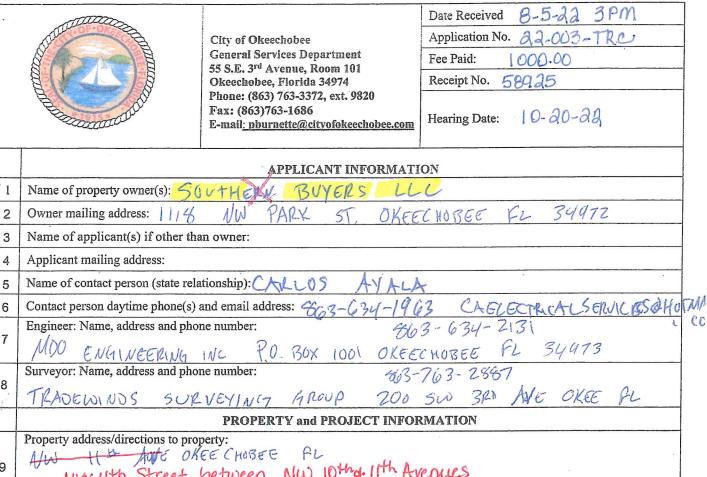




#### CITY OF OKEECHOBEE

### Application for Site Plan Review

Pag 1 of 3



	403 679 1103 CHELOCIALITY CHOICESTA
7	Engineer: Name, address and phone number:
	MOO ENGINEERING INC P.O. BOX 1001 OKEECHOBEE FL 34973
	Surveyor: Name, address and phone number: 463-763-2867
8	TRADEWINDS SURVEYING GROUP 200 SW 3RM AVE OKEE PL
.,1	PROPERTY and PROJECT INFORMATION
	Property address/directions to property:
9	A/W HORE CHOREE PL
Э	NW 4th Street between NW 10th Avenues
10	Parcel Identification Number 3-16-37-35-01608-0024 0-0050 (39512)
11	Current Future Land Use designation: MULTI-FAMILY RESIDENTIAL
12	Current Zoning district: RESIDENTIAL MULTIPLE
	Describe the project including all proposed uses, type of construction and conceptual building layout, how the business or use
	is expected to operate on the site, including but not limited to: number of employees expected; hours of operation; location,
13	extent and type of any outdoor storage or sales, etc., and fire flow layout. Use additional page if necessary.
	1 - UNIT MULTI-FAMILY RESIDENCE (Rental units)
	Describe existing improvements on property (for example, the number and type of buildings, dwelling units, occupied or
	vacant, etc.). Use additional page if necessary.
14	VACANT
15	Total land area in square feet (if less than two acres): or acres: O Toper Survey
16	Is proposed use different from existing or prior use (Yes) (No)
•	

#### CITY OF OKEECHOBEE

	Application for Site Plan Review	ag 2 of 3
	Number and description of phases:	
17	1	
18	Source of potable water: OUA	
19	Method of sewage disposal: OVA	,
00	ATTACHMENTS REQUIRED FOR ALL APPLICATIONS	
20	Applicant's statement of interest in property	
21	One (1) copy of last recorded warranty deed	
22	Notarized letter of consent from property owner (if applicant is different from property owner)	
33	Three (3) CERTIFIED BOUNDARY and TOPOGRAPHIC surveys, (one to be no larger than 11 x 17; scale than one inch to 20 feet; North point) containing:	not less
23	a. Date of survey, surveyor's name, address and phone number	
	b. Legal description of property pertaining to the application	•
	c. Computation of total acreage to nearest tenth of an acre	
	d. Location sketch of subject property, and surrounding area within one-half mile radius	
24	Two (2) sets of aerials of the site.	
25	Eleven (11) copies of sealed site plan drawings (see attached checklist for details of items to be included)	
26	Eleven (11) copies of drawing indicating facades for all buildings, including architectural elevations.	
27	Eleven (11) copies of landscape plan, including a separate table indicating the number of trees and shrubs by typ showing both the official and common name of each type of tree and shrub.	e and
28	Eleven (11) copies of photometric lighting plan (see Code of Ordinances & LDR's Section 78-71 (A) (5)).	
29	Three (3) copies of sealed drainage calculations.	
	Attach a Traffic Impact Study prepared by a professional transportation planner or transportation engineer, if the rezon proposed use will generate 100 or more peak hour vehicle trip ends using the trip generation factors for the most similar	ir iise
30	as contained in the Institute of Transportation Engineers most recent edition of Trip Generation. The TIA must identify	the
	number of net new external trips, pass-bay calculations, internal capture calculations, a.m. and p.m. peak hour trips and of service on all adjacent roadway links with and without the project.	level
31	USB flash drive of application	
	COD Hash drive of application	
	Nonrefundable application fee: \$1,000.00 plus \$30.00 per acre.	
32	NOTE: Resolution No. 98-11 Schedule of Land Development Regulation Fees and Charges - When the cost for advertising, publishing and mailing notices of public hearings exceeds the established fee, or when a professional	a
	consultant is hired to advise the City on the application, the applicant shall pay the actual costs.	1
(TO	E: Submissions will be reviewed by the General Services Coordinator and City Planner for all necessar	ry
ocur	mentation. The Applicant will be notified at least 10 days prior to the TRC meeting whether or not	
dditi	ional information is required to proceed or if the review will be rescheduled to the next TRC meeting.	
<del> </del>	Confirmation of Information Accuracy	
1	I hereby certify that the information in this application is correct. The information included in this application is for use the City of Okeechobee in processing my request. False or misleading information may be punishable by a fine of up to	by
3	\$500.00 and imprisonment of up to 30 days and may result in the summary denial of this application.	
	Carlos Ayels 6-21-22	
5	Signature Printed Name Date	

For questions relating to this application packet, call the General Services Dept. at (863) 763-3372, Ext. 9820 Rev. 04/20



Department of State / Division of Corporations / Search Records / Search by Entity Name /

#### **Detail by Entity Name**

Florida Limited Liability Company

SOUTH BUYERS, LLC

**Filing Information** 

**Document Number** 

L16000117503

**FEI/EIN Number** 

32-0499118

**Date Filed** 

06/17/2016

**Effective Date** 

06/14/2016

State

FL

Status

ACTIVE

**Principal Address** 

1118 NW PARK STREET **OKEECHOBEE, FL 34972** 

Changed: 04/27/2021

**Mailing Address** 

1118 NW PARK STREET OKEECHOBEE, FL 34972

Changed: 04/27/2021

Registered Agent Name & Address

C & V HOLDINGS, LLC

1118 NW PARK STREET OKEECHOBEE, FL 34972

Address Changed: 04/27/2021

**Authorized Person(s) Detail** 

Name & Address

Title MGR

C & V HOLDINGS, LLC 1118 NW PARK STREET **OKEECHOBEE, FL 34972** 

**Annual Reports** 

Report Year

**Filed Date** 

2020	04/07/2020	l
2021	04/27/2021	
2022	03/17/2022	, •
<b>Document Images</b>		
03/17/2022 ANNUAL	REPORT	View image in PDF format
04/27/2021 ANNUAL	REPORT	View image in PDF format
04/07/2020 ANNUAL	REPORT	View image in PDF format
04/16/2019 ANNUAL	REPORT	View image in PDF format
04/30/2018 ANNUAL	REPORT	View image in PDF format
04/21/2017 ANNUAL	REPORT	View image in PDF format
06/17/2016 Florida Lir	mited Liability	View image in PDF format
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#### **Detail by Entity Name**

Florida Limited Liability Company

C & V HOLDINGS, LLC

**Filing Information** 

**Document Number** 

L16000111971

**FEI/EIN Number** 

81-2906093

**Date Filed** 

06/09/2016

**Effective Date** 

06/09/2016

State

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Changed: 04/27/2021

#### Registered Agent Name & Address

**ESPINOZA, CEFERINO** 1118 NW PARK STREET OKEECHOBEE, FL 34972

Address Changed: 04/27/2021

Authorized Person(s) Detail

Name & Address

Title MGR

ESPINOZA, CEFERINO 5985 NE 3RD LANE OKEECHOBEE, FL 34974

Title MGR

**BAUTISTA, VALENTIN** 

794 SW 85TH AVENUE OKEECHOBEE, FL 34974

#### **Annual Reports**

Report Year	Filed Date
2020	04/07/2020
2021	04/27/2021
2022	03/17/2022

#### **Document Images**

03/17/2022 ANNUAL REPORT	View image in PDF format
04/27/2021 ANNUAL REPORT	View image in PDF format
04/07/2020 ANNUAL REPORT	View image in PDF format
04/16/2019 ANNUAL REPORT	View image in PDF format
04/30/2018 ANNUAL REPORT	View image in PDF format
04/21/2017 ANNUAL REPORT	View image in PDF format
06/09/2016 Florida Limited Liability	View image in PDF format

Plorida Department of State. Division of Corporations



PO BOX 1001 Okeechobee, FL 34973 (863) 634-2131 marcos@mdo-engineering.com Okeechobee, FL 34974 CA License No. 29880 PE License No. 63897

www.MDO-Engineering.com

August 5, 2022

City of Okeechobee Attention Patty Burnette Community Services Planning and Services Director

TRANSMITTED VIA EMAIL: Hand Delivered

Subject: Site Plan Submittal for Southern Buyers – 0.76 Acres on NW 11<sup>th</sup> Avenue Parcel ID NO. 3-16-37-35-0160-00240-0050(34512)

Development of Parcel into 7 Multifamily Units

Dear Patty,

Please find the attached application, permit fee, drainage report, construction plans and supplemental supporting information for Site Plan Consideration of the project.

Should you have any questions, please contact me at (863) 634-2131.

Sincerely,

MDO Engineering, Inc.

Marcos Y. Montes De Oca, P.E.

President

Professional Engineer Number: 63897

FBPE Authorization No. 29880

Prepared by and return to: FRANK H. FEE, IV

Fee and Fee, PLLC 400 NW 2nd Street Okeechobee, FL 34972 863-763-3131 File No.: 20-1507

Parcel Identification No. 3-16-37-35-0160-00240-0050

[Space Above This Line For Recording Data]

## Warranty Deed (STATUTORY FORM - SECTION 689.02, F.S.)

This Indenture made this 15th day of January, 2021 Between

TIRSO GONZALEZ, a single man whose post office address is 1770 NW 8TH STREET, Okeechobee, FL 34972 of the County of Okeechobee, State of Florida, grantor\*, and

SOUTH BUYERS, LLC, a Florida limited liability company whose post office address is 1104 NW PARK STREET, Okeechobee, FL 34972 of the County of Okeechobee, State of Florida, grantee\*,

Witnesseth that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Okeechobee County Florida, to-wit:

Lots 5, 6, 7 and 8, Block 24, NORTHWEST ADDITION TO OKEECHOBEE, according to the plat thereof recorded in Plat Book 1, Page 25 of the Public Records of Okeechobee County, Florida.

Subject to restrictions, reservations and easements of record, if any.

and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

\* "Grantor" and "Grantee" are used for singular or plural, as context requires.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

WitnessWame Gamez

State of Florida County of Okeechobee

The foregoing instrument was acknowledged before me by means of [X] physical presence or [\_] online notarization, this 15th day of January, 2021 by TIRSO GONZALEZ, who [\_] is personally known or [X] has produced a driver's license as identification.

[Notary Seal]



## CITY OF OKEECHOBEE 55 SE 3<sup>RD</sup> AVENUE

#### OKEECHOBEE, FL 34974

Tele: 863-763-3372 Fax: 863-763-1686

#### LAND USE POWER OF ATTORNEY

Name of Property Owners:				
South Buyers 11c				
Mailing Address:       8 // W	parkst	Okeechober FL34972		
•				
Home Telephone:	Work: 863	3 26/58 35 Cell: 567 FOLS 929		
Property Address:				
Parcel ID Number: 3-16-3	7.35.0160	0.00240.0050		
Parcel ID Number: 3-16-3  Name of Applicant: Carlo5	Ayerla			
Home Telephone:	Work:	Cell: 863-634-196.		
The undersigned, being the record title owner(s) of the real property described above, do hereby grant unto the applicant stated above the full right and power of attorney to make application to the City of Okeechobee to change the land use of said property. This land use change may include rezoning of the property, the granting of special exception or variances, and appeals of decisions of the Planning Department. It is understood that conditions, limitations and restrictions may be place upon the use or operation of the property. Misstatements upon application or in any hearing may result in the termination of any special exception or variance and a proceeding to rezone the property to the original classification. This power of attorney may be terminated only by a written and notarized statement of such termination effective upon receipt by the Planning Department.  IN WITNESS WHEREOF THE UNDERSIGNED HAVE SET THEIR HAND AND SEALS THIS				
DAY OF Augustines OWNER	<u>184</u> 20 <u>22</u>	dans Witness		
OWNER		WITNESS		
STATE OF FLORIDA COUNTY OF Okeechobee				
The foregoing instrument was acknowledged before me by means of physical presence or  online notarization, this 25 day of 25, by Latentin Bowlista-Felix (Name of Person) who is personally known to me or produced as identification.				
BRISEIDA AYA Notary Public - State Commission = H My Comm. Expires No Boncec through Nationa. N	ALA e of Florida *99997 cv *7, 2025	Brisell Cynh NOTARY PUBLIC SIGNATURE		

## BOUNDARY & TOPOGRAPHIC SURVEY PREPARED FOR SOUTH BUYERS, LLC.

#### KINGEON



LOTS 5, 6, 7 AND 8, BLOCK 24, NORTHWEST ADDITION TO OKEECHOBE, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 1, PAGE 25, OF THE PUBLIC RECORDS OF OKEECHOBEE COUNTY, FLORIDA.

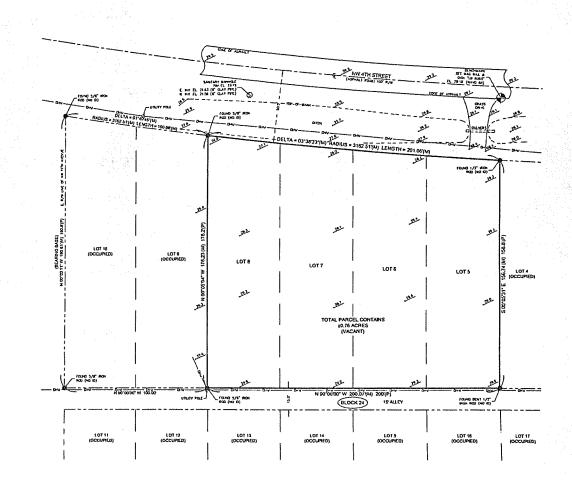
#### PROJECT SPECIFIC NOTES:

- 1) UNLESS SHOWN OTHERWISE, ALL DIMENSIONS ARE PLAT(P) AND MEASURED(M).
- 2) SITE ADDRESS: NOT ASSIGNED AT TIME OF SURVEY.
- 3) PARCEL ID: 3-16-37-35-0160-00240-0050.
- 4) F.I.R.M. ZONE: "X", MAP NO. 12093C0460C, DATED 07/16/15.

  5) THIS SURVEY IS NOT INTENDED TO DEPICT JURISDICTIONAL AREAS OR OTHER AREAS OF LOCAL CONCERN,
- 6) SURVEYOR WAS NOT PROVIDED WITH ANY TITLE INFORMATION FOR THIS PARCEL. SURVEYOR ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THE ACCURACY OF EASEMENT DIMENSIONS SHOWN HEREON, THERE MAY BE OTHER EASEMENTS OR RESTRICTIONS THAT EFFECT THIS PARCEL
- 7) THE SURVEY DEPICTED HERE IS NOT COVERED BY PROFESSIONAL LIABILITY INSURANCE.
- 8) ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES
- IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- 9) THE DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT OR THE CLIENT'S REPRESENTATIVE. 10) BEARING REFERENCE: THE EAST RIGHT-OF-WAY LINE OF NW 11TH AVENUE IS TAKEN TO BEAR NORTH
- 11) DATE OF LAST FIELD SURVEY: 07/07/22.

#### SITE PLAN NOTES:

- 1) SUBJECT TO CLIENT AND PERMITTING AGENCY APPROVAL
- 2) CONTRACTOR IS TO VERIFY SETBACKS AND LOCATION OF EXISTING UTILITIES.
- 3) HOUSE DIMENSIONS SHOWN MAY BE APPROXIMATE, REFER TO APPROVED BUILDING PLANS FOR CONSTRUCTION DIMENSIONS.
- 4) THE ELEVATIONS SHOWN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
- 5) PUBLIC WATER SUPPLY AND SEWER COLLECTION SERVICE ARE AVAILABLE.
  8) PER CITY OF OKEECHOBEE ORDINANCE NO. 90-168 PARAGRAPH 1, ALL PROPOSED RESIDENTIAL
- BUILDING PADS SHALL BE A MINIMUM OF 12" ABOVE THE CROWN OF ADJACENT ROAD.



PREPARED FOR THE EXCLUSIVE USE OF: SOUTH BUYERS, LLC.

286/59 380/54 ADD MANHOLE 07/08/22 BOUNDARY SURVEY 03/11/22 WC. DWG. DATE FB/PG BY CK 1" = 30

Sect Iron Rad and Cap "LU 8360" M-Found CM Found Iron Rad (and Cap) M-Found Pipe (and Cap) REVARIANS

- STANDARD NOTES:

  1. No scoreh of the public records for determination of ownership or restrictions affecting the lands shown was performed by the surveyor.

  2. The survey decided here is prepared exclusively for those parties noted.

  3. No responsibility or liability is assumed by the surveyor for use by others not specifically named.

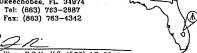
  3. No responsibility or liability is assumed by the surveyor for use by others not specifically named.

  5. There are no visible above the american except of the surveyor of mapper #5506.

  6. No attempt was made to locals undergound improvements and/or encroachments (if any) as part of bits survey.

#### TRADEWINDS SURVEYING GROUP, LLC.

200 SW 3rd Avenue Okeechobee, FL 34974 Tel: (863) 763-2887



John J. Rice, P.S.N. (LS 4508) LB 8360

# CONSTRUCTION PLANS AND SPECIFICATIONS

## SOUTH BUYERS LLC

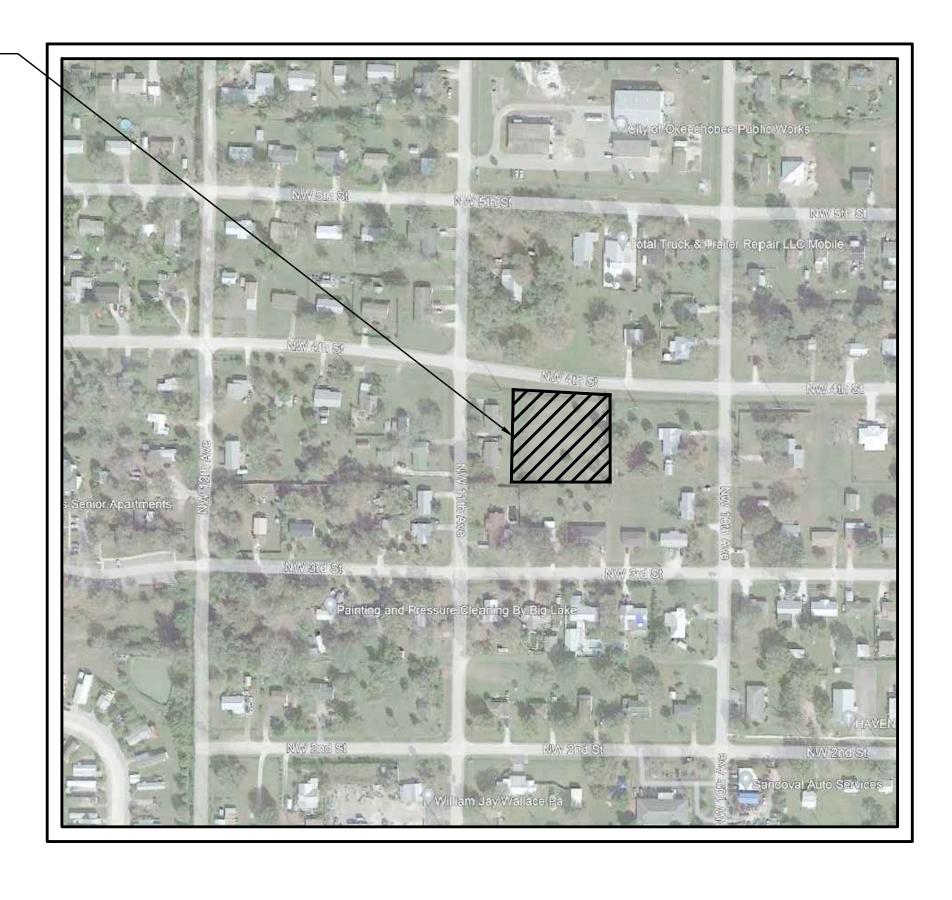
NW 11TH AVE. OKEECHOBEE, FL SECTION 03, TOWNSHIP 37S, RANGE 35E 3-16-37-35-0160-00240-0050 (34512)

PROJECT LOCATION —

## CITY OKEECHOBEE CITY COUNCIL

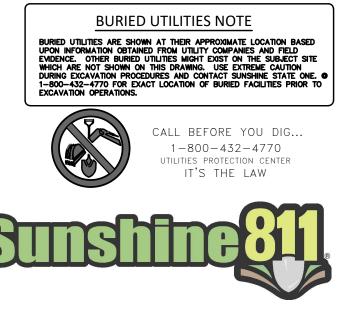
OWLING R. WATFORD JR. — MAYOR

NOEL CHANLER — COUNCIL MEMBER
MONICA CLARK — COUNCIL MEMBER
BOB JARRIEL — COUNCIL MEMBER
BOBBY KEEFE — COUNCIL MEMBER



## SHEET INDEX

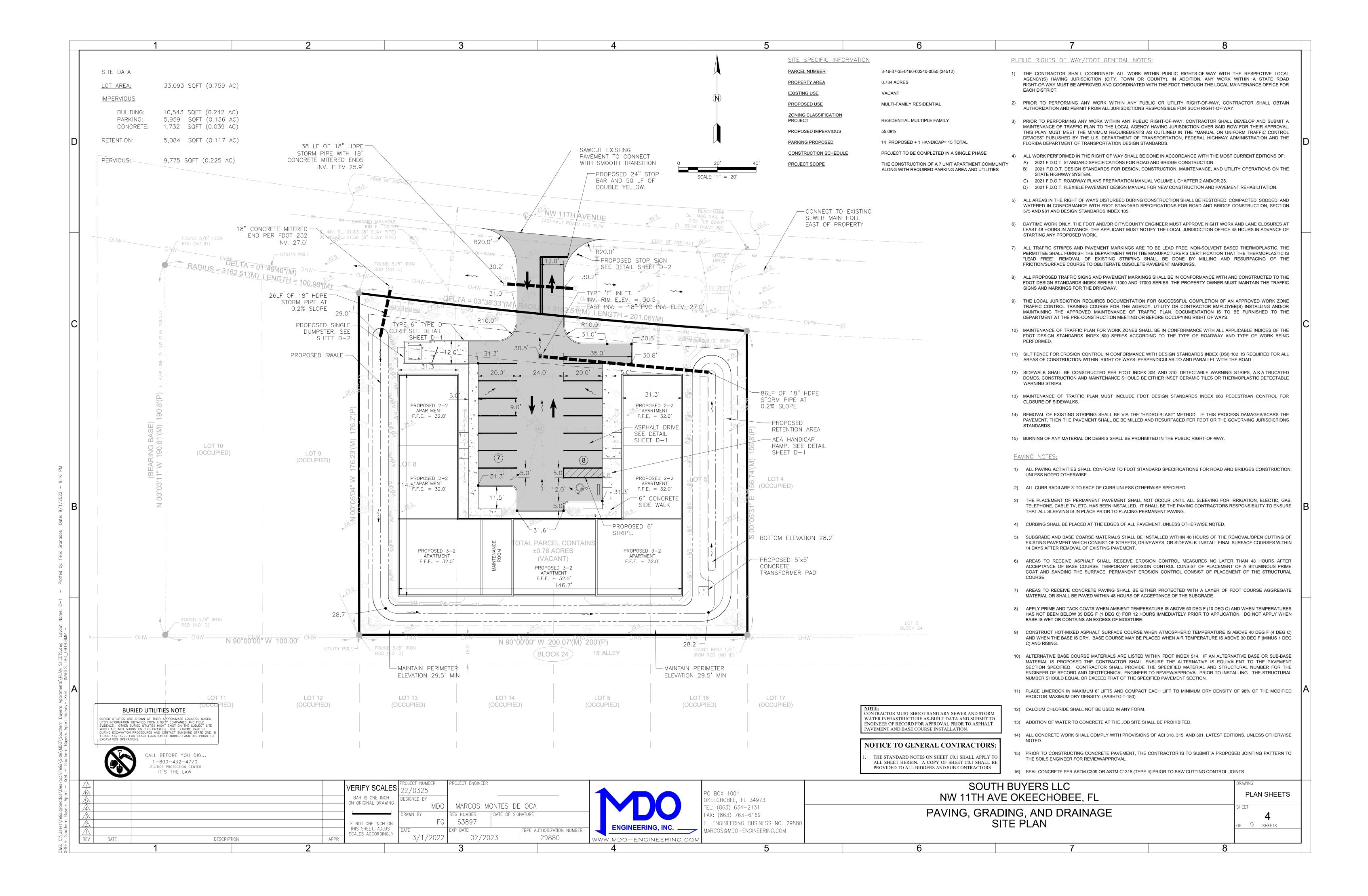
- 1 COVER
- 2 NOTES AND SPECIFICATIONS
- 3 NOTES AND SPECIFICATIONS
- 4 PAVING, GRADING, DRAINAGE PLAN
- 5 UTILITY & LANDSCAPE PLAN
- 6 LIGHTING PLAN
- 7 CIVIL DETAILS
- 8 UTILITY DETAIL
- 9 UTILITY DETAILS

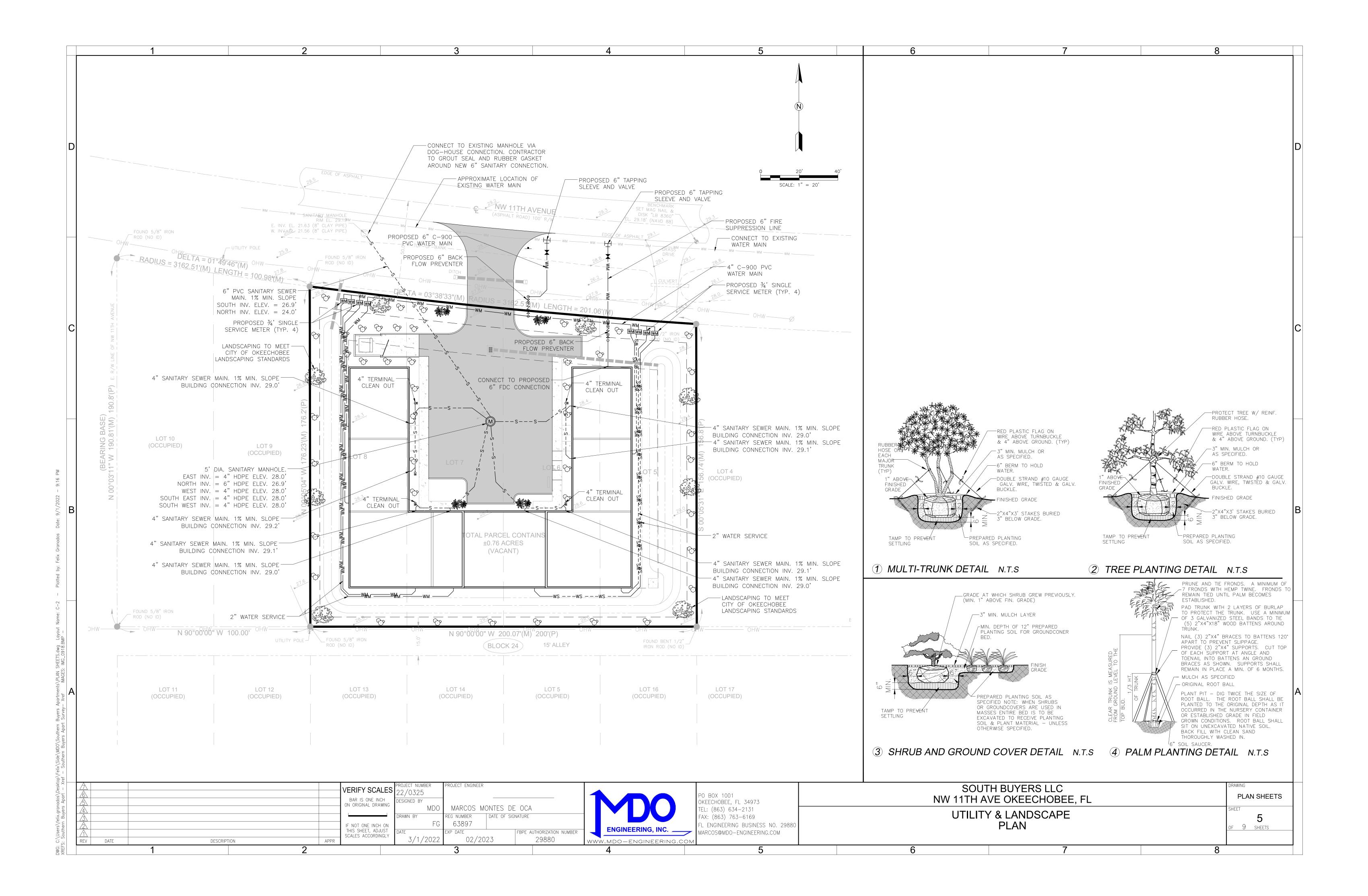


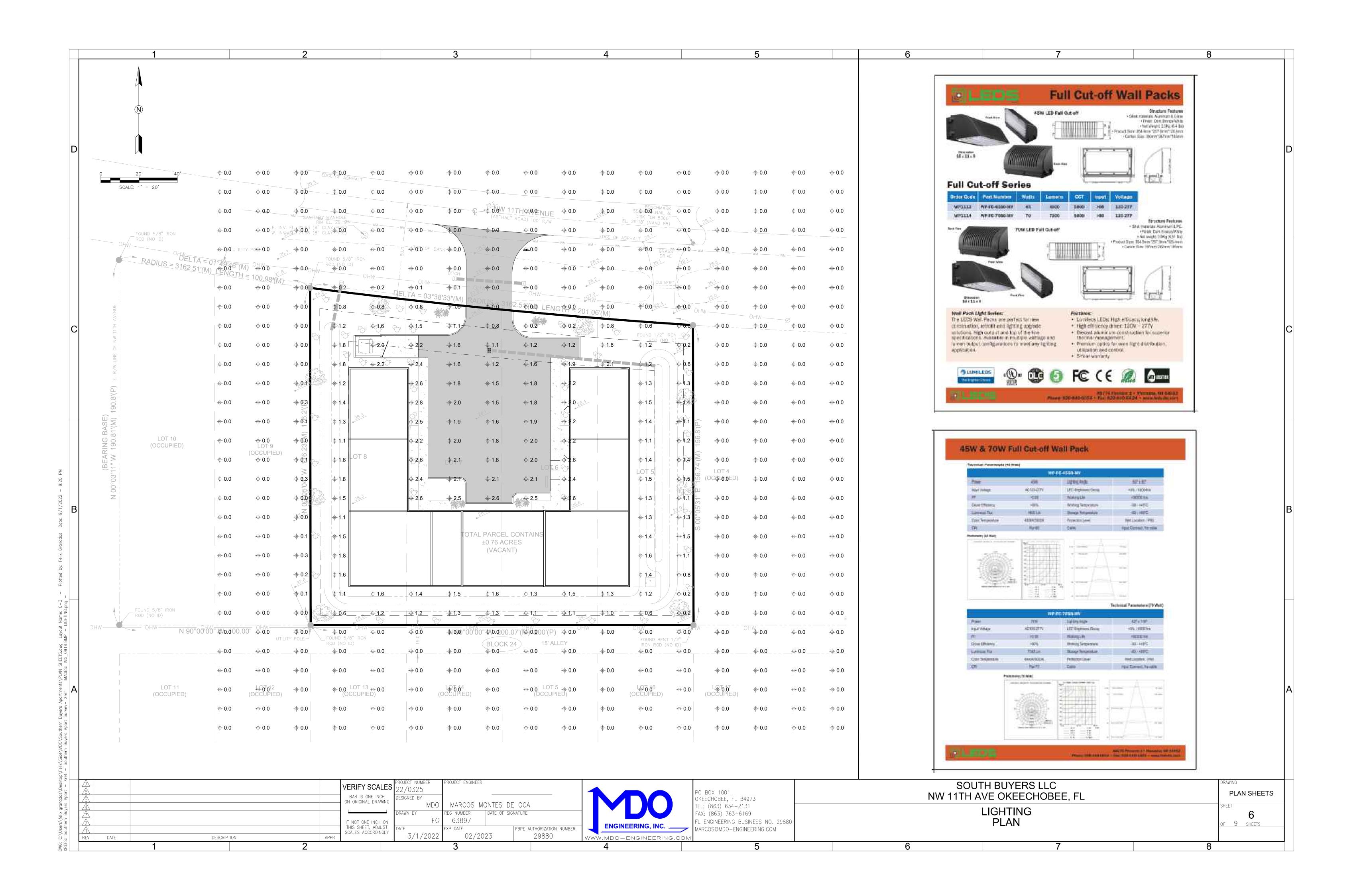
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C:\Users\ıelix.yı uı :	MDU MARCOS MONTES DE OCA  TEL: (863) 634-27  AND DRAWN BY REG NUMBER DATE OF SIGNATURE  TEL: (863) 634-27  FAX: (863) 763-6	-6169 BUSINESS NO. 29880 COVER OF 9 SHEETS
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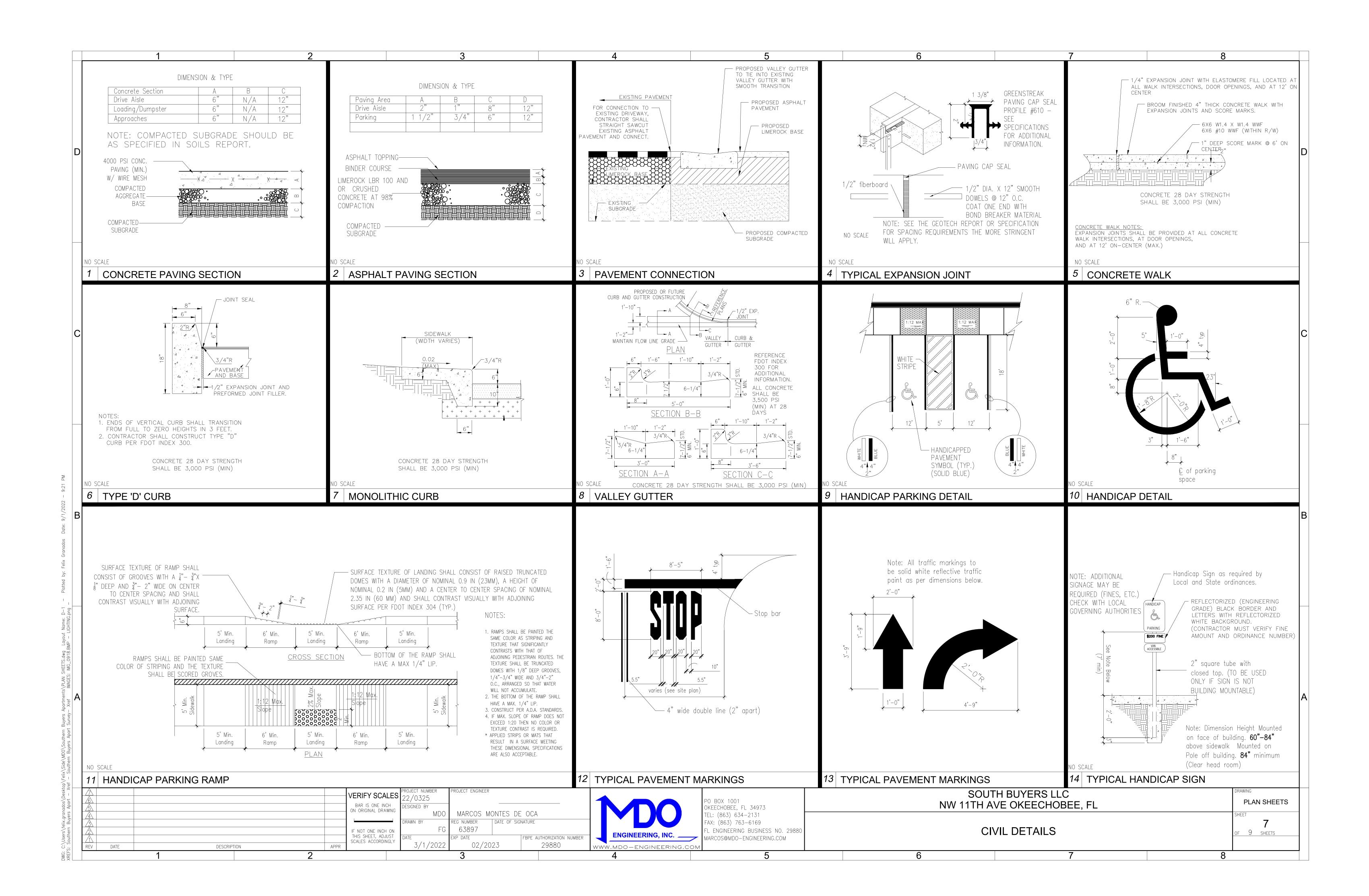
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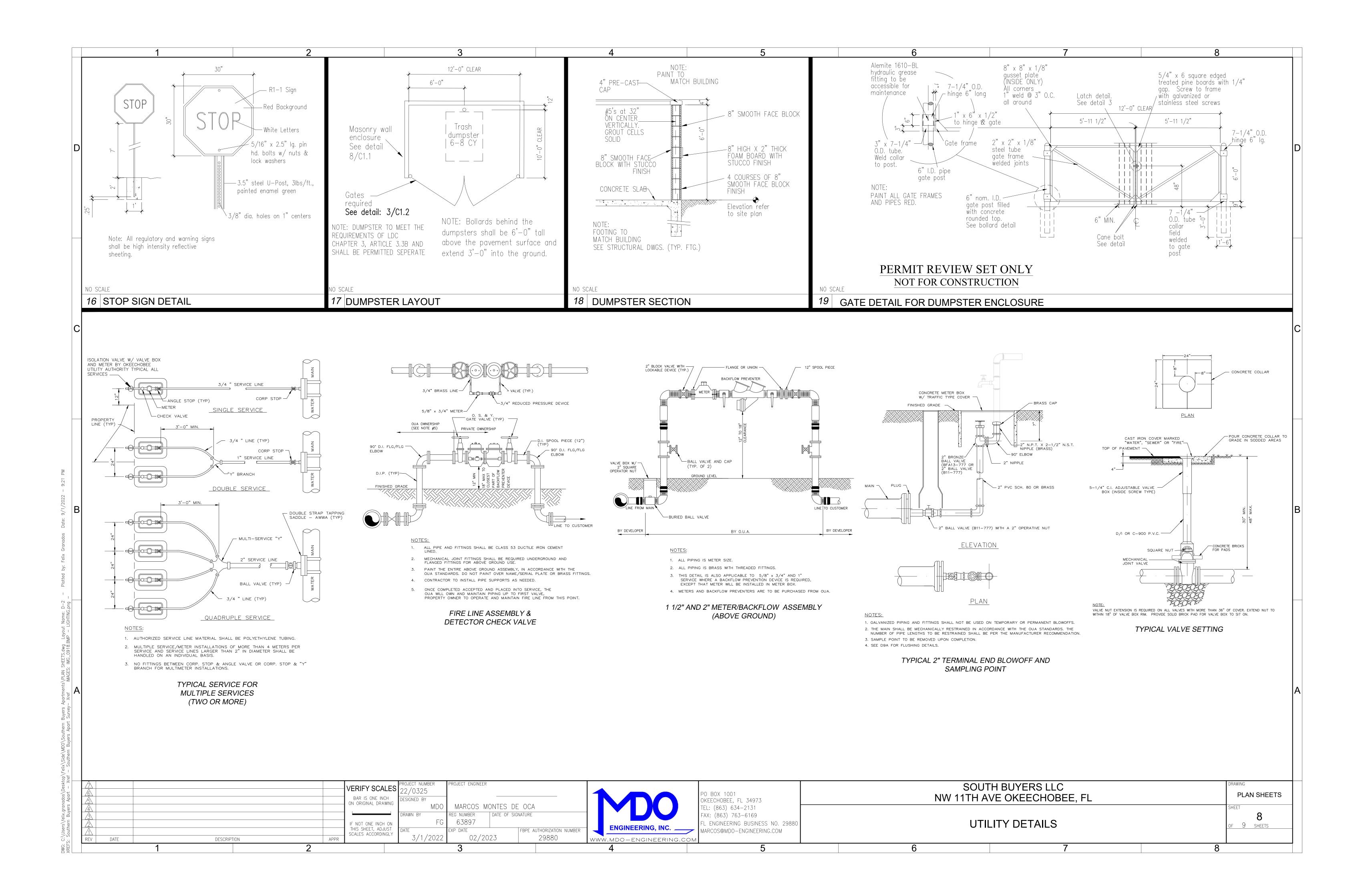
TRAFFIC CONTROL: Sanitary System Notes: AS-BUILTS, RECORD DRAWINGS & General ada Guidelines for site construction: THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A MAINTENANCE OF TRAFFIC (M.O.T.) PLAN PRIOR TO VERNING JURISDICTIONAL PUBLIC WORKS AND/OR UTILITY STANDARDS ARE MINIMUM STANDARDS FOR PUBLIC CONTRACTORS MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA (HANDICAP) ACCESSIBL CERTIFICATIONS: CONSTRUCTION. THE M.O.T. PLAN SHALL SHOW ALL PROPOSED TRAFFIC CONTROL SIGNS, PAVEMENT MARKINGS TABLE WATER, RECLAIMED WATER AND/OR SANITARY SEWER CONSTRUCTION. THE NOTES BELOW APPLY ONLY WHEN COMPONENTS AND ACCESS ROUTES FOR THE SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH TH MATERIALS, CONSTRUCTION METHODS, TESTING AND TOLERANCES FOR ALL WORK SHALL BE IN ACCORDANCE WITH AND BARRICADES, AND SHALL DETAIL ALL PROPOSED CONSTRUCTION SEQUENCING. THE M.O.T. PLAN AND EY EXCEED THE GOVERNING JURISDICTION PUBLIC WORK STANDARDS PRIOR TO CONSTRUCTION, THE CONTRACTOR WILL OBTAIN A COPY OF THE MINIMUM REQUIREMENTS FOR AS-BU URRENT STATE & LOCAL BUILDING CODE, THE DEPARTMENT OF JUSTICE ADA STANDARDS, REGULATIONS' BARRIER THE FOLLOWING SPECIFICATIONS, AND WITH THE SPECIFICATIONS REFERENCED UNDER THE "SUPPLEMENTARY INSTALLED TRAFFIC CONTROL MEASURES SHALL BE APPROVED BY THE ENGINEER, OWNER, AND ROADWAY RECORD DRAWING ACCEPTANCE FOR THE AGENCY HAVING JURISDICTION (SUCH AS THE CITY OR COUNTY) AND FREE ACCESS AND ANY MODIFICATIONS, REVISIONS OR UPDATES TO SAME. FINISHED SURFACES ALONG THE ACCESSIBLI SANITARY SEWERS, FORCE MAINS, AND STORM SEWERS SHOULD ALWAYS CROSS UNDERNEATH WATER MAINS CONDITIONS." IN THE EVENT OF CONFLICT, THE MORE STRINGENT PROVISION SHALL APPLY. JURISDICTIONAL AGENCY PRIOR TO CONSTRUCTION. IN GENERAL, ROADWAY AND DRIVEWAY LANE CLOSURES AR ROUTE OF TRAVEL FROM PARKING SPACE, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO UTILITY SERVICE PROVIDER, FAMILIARIZE THEMSELVES WITH THESE REQUIREMENTS, AND PRODUCE AS-BUII INSTALLATIONS OF SANITARY SEWERS, FORCE MAINS AND STORM SEWERS, AT CROSSINGS OF WATER MAINS, SHALL PROHIBITED DURING CONSTRUCTION UNLESS SPECIFICALLY DETAILED ON THESE PLANS. IN THE EVENT IT I BE PERFORMED SO AS TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE INVERT OF THE POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT. MUST COMPLY WITH THESE ADA CODE REOUIREMENTS. THESI RECORD DRAWINGS THAT SUBSTANTIALLY COMPLY WITH OR EXCEED THESE REQUIREMENTS, INCLUDING ANY DETERMINED THAT ROADWAY AND DRIVEWAY LANE CLOSURES WILL BE ALLOWED, THE CLOSURES SHALL BE MOBILIZATION/DEMOBILIZATION: THE WORK SPECIFIED IN THIS SECTION CONSISTS OF THE PREPARATORY WORK REQUIRED ELECTRONIC DATA SUBMITTALS. UPPER PIPE AND THE CROWN OF THE LOWER PIPE, WHENEVER POSSIBLE. THE CROSSING SHALL BE ARRANGED S INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING: RESTRICTED TO THE HOURS BETWEEN 9:00 A.M. AND 4:00 P.M. UNLESS OTHERWISE AUTHORIZED IN THE APPROVED AND OPERATIONS IN MOBILIZING FOR BEGINNING WORK ON THE PROJECT, INCLUDING, BUT NOT LIMITED TO, THAT THE SEWER JOINTS AND WATER JOINTS SHALL BE EQUIDISTANT FROM THE POINT OF CROSSING WITH NO LESS AT LEAST 30 DAYS PRIOR TO ANTICIPATED COMPLETION OF SITE CONSTRUCTION, THE FINAL CERTIFICATIO PARKING SPACES AND PARKING AISLES - SLOPE SHALL NOT EXCEED 1:50 (1/4" PER FDOT OR 2.0%) IN ANY DIRECTION THOSE OPERATIONS NECESSARY FOR THE MOVEMENT OF PERSONNEL, FOUIPMENT, SUPPLIES AND INCIDENTAL THAN 10 FEET BETWEEN ANY TWO JOINTS. WHERE SANITARY SEWERS, FORCE MAINS, AND STORM SEWERS MUST PROCESS SHALL BEGIN. THE CONTRACTOR SHALL PROVIDE DOCUMENTS AND INFORMATION IN A TIMELY MANNER THIS INCLUDES RUNNING SLOPE AND CROSS SLOPE TO THE PROJECT SITE. AND FOR THE ESTABLISHMENT OF TEMPORARY OFFICES. BUILDINGS, SAFETY EOUIPMEN THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY ALL APPROPRIATE AGENCIES (PARTIAL LISTED BELOW) PRIOR TO CROSS A WATER MAIN WITH LESS THAN 18 INCHES VERTICAL DISTANCE. BOTH THE SEWER AND THE WATER MAIN TO ENGINEER, INCLUDING AND WITHOUT LIMITATIONS. AND FIRST AID SUPPLIES, SANITARY AND OTHER FACILITIES, AS REQUIRED BY THESE SPECIFICATIONS, THE SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE (DIP), AT THE CROSSING. (DIP IS NOT REQUIRED FOR STORM SEWER: ANY LANE CLOSURES ON AN ARTERIAL OR COLLECTOR ROADWAY: . RAMPS - SLOPES EXCEEDING 1:20 (5%) BUT NO MORE THAN 1:12 (8.3%) CONSTITUTE A RAMP AND MUST CONFORM T SPECIAL PROVISIONS, AND STATE AND LOCAL LAWS AND REGULATIONS. ALL COSTS FOR BONDS, PERMITS AND IF IT IS NOT AVAILABLE IN THE SIZE PROPOSED.). SUFFICIENT LENGTHS OF DIP MUST BE USED TO PROVIDE THE REQUIREMENTS FOR RAMP DESIGN (HANDRAILS, CURBS, AND LANDINGS). NO RAMP SHALL EXCEED A 1:12 (8.3% A. SURVEYED "AS-BUILTS", MINIMUM AS-BUILT SURVEY SCOPE IS LISTED BELOW A. GOVERNING PUBLIC WORKS ANY REQUIRED INSURANCE, AND ANY OTHER PRECONSTRUCTION EXPENSE NECESSARY FOR THE START OF THE MINIMUM SEPARATION OF 10 FEET BETWEEN ANY TWO (2) JOINTS. IN LIEU OF DIP, THE SANITARY SEWER MAY BE B. COMPACTION AND DENSITY TEST RESULTS CERTIFIED BY OWNERS TESTING COMPANY RUNNING SLOPE OR 1:50 (2%) CROSS SLOPE. RAMPS EXCEEDING SIX FEET IN LENGTH REQUIRE A HANDRAIL THA B. SHERIFF'S OFFICE WORK, AS WELL THE COST OF THE REMOVAL OF THE ABOVE ITEMS, SHALL ALSO BE INCLUDED IN THIS SECTION PLACED IN A SLEEVE FOR 20 FEET CENTERED ON THE POINT OF CROSSING. ALL JOINTS ON THE WATER MAIN WITHI CONFORMS TO ADA STANDARDS. A RAMP MAY NOT RISE MORE THAN 2.5 FEET WITHOUT A LANDING C. PRESSURE TESTING AND BACTERIOLOGICAL TESTING RESULTS AS REQUIRED FOR WATER DISTRIBUTION C. TRANSIT AUTHORITY 20 FEET OF THE CROSSING MUST BE LEAK FREE, AND MECHANICALLY RESTRAINED. A MINIMUM VERTICA AND/OR WASTEWATER COLLECTION/TRANSMISSION SYSTEMS. ONSTRUCTION SURVEYING: THE CONTRACTOR SHALL CONSTRUCT THE REQUIRED IMPROVEMENTS AT THE D. SCHOOL TRANSPORTATION . LANDINGS - MUST BE PROVIDED AT EACH END OF RAMPS, MUST PROVIDE POSITIVE DRAINAGE, AND MUST NOT CLEARANCE OF 6 INCHES MUST BE MAINTAINED AT THE CROSSING. WHERE THERE IS NO ALTERNATIVE TO SEWER LOCATIONS SHOWN ON THE PLANS. AS OUTLINED IN THE "SUPPLEMENTAL CONDITIONS," THE OWNER SHALI PIPES CROSSING OVER WATER MAINS. THE CRITERIA FOR MINIMUM SEPARATION OF 18 INCHES BETWEEN LINES, ANI EXCEED 1:50 (1/4" PRT FDOT OR 2.0%) IN ANY DIRECTION. THE LANDING SHOULD BE AS WIDE AS THE PROPOSED RAMP, EMS & FIRE ADMINISTRATION AS-BUILT DRAWINGS SHALL BE ACCURATELY RECORDED AND CERTIFIED BY A LICENSED LAND SURVEYO PROVIDE BASIC REFERENCE POINTS FOR HORIZONTAL CONTROL AND BENCHMARKS IN THE VICINITY OF THE 10 FEET BETWEEN JOINTS, CENTERED AT THE POINT OF CROSSING SHALL BE REQUIRED. THE WATER MAIN SHALL B MIN 36" WIDE, AND BE 60" LONG. IN MOST SITE CASES LANDINGS SHOULD BE 5 FEET BY 5 FEET. WORK. ALL OTHER CONSTRUCTION STAKING FOR BOTH HORIZONTAL AND VERTICAL CONTROL NEEDED BY THE REGISTERED IN THE STATE OF FLORIDA AND SHALL MEET THE MINIMAL TECHNICAL STANDARDS SET FORTH BY THE PLACED IN A SLEEVE FOR 20 FEET CENTERED ON THE POINT OF CROSSING. ADEQUATE STRUCTURAL SUPPORT SHAL ALL TRAFFIC CONTROL MEASURES SHALL BE IN ACCORDANCE WITH FDOT INDEX NO. 600 AND THE MANUAL O . PATH OF TRAVEL ALONG ACCESSIBLE ROUTE - MUST PROVIDE A 36-INCH OR GREATER UNOBSTRUCTED WIDTH ( FLORIDA BOARD OF SURVEYOR'S AND MAPPERS IN CHARTER 61G17-6, FLORIDA ADMINISTRATIVE CODE, PURSUAN CONTRACTOR FOR CONTROL OF HIS WORK SHALL BE PERFORMED BY THE CONTRACTOR. BE PROVIDED FOR THE SEWER TO PREVENT DAMAGE TO THE WATER MAIN. ALL CROSSINGS SHALL BE ARRANGED S UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL TRAFFIC CONTROL MEASURES SHALL BE INSTALLED PRIOR TO TRAVEL (CAR OVERHANGS AND/OR HANDRAILS CANNOT REDUCE THIS MINIMUM WIDTH). IF THE PATH OF TRAVEL FHAT THE SEWER PIPE JOINTS AND THE WATER MAIN PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSIN TO SECTION 472.027 FLORIDA STATUTES. CONSTRUCTION AND MAINTAINED DURING CONSTRUCTION RTHWORK AND GRADING: SHALL BE PERFORMED AS REQUIRED TO ATTAIN THE FINAL GRADES, TYPICAL SECTION GOES TO A PUBLIC RIGHT-OF WAY, IT IS PREFERRED THAT THE ROUTE BE A MINIMUM OF 60 INCHES. THE SLOP (I.E., PIPES CENTERED ON THE CROSSING). WHERE A PROPOSED PIPE CONFLICTS WITH AN EXISTING PIPE, THE ALL RECORD DRAWINGS SHALL BE PREPARED BY THE CONTRACTOR IN AUTOCAD FORMAT USING CONSTRUCTION AND ELEVATIONS AND TO ACCOMPLISH THE OBJECTIVES SHOWN ON THE PLANS FOR THE AREAS TO BE PAVED, INSPECT TRAFFIC CONTROL DEVICES ON A DAILY BASIS TO ENSURE PLACEMENT OF BARRICADES AND FUNCTION O SHOULD BE NO GREATER THAN 1:20 (5.0%) IN THE DIRECTION OF TRAVEL. AND MUST NOT EXCEED 1:50 (44" PER FDOT PROPOSED PIPE SHALL BE CONSTRUCTED OF DIP, AND THE CROSSING SHALL BE ARRANGED SO AS TO SATISFY THI PLAN SHEETS PROVIDED BY THE ENGINEER, AS-BUILT INFORMATION SHALL BE FIELD VERIFIED, MEASURED, ADDE SODDED, OR LANDSCAPED. MATERIALS AND CONSTRUCTION METHODS SHALL MEET THE REQUIREMENTS OF LIGHTS IS MAINTAINED THROUGHOUT CONSTRUCTION. OR 2.0%) IN CROSS SLOPE. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), THE ADA RAMP CRITERI. REQUIREMENTS IDENTIFIED ABOVE. TO THE AUTOCAD FILES OF THE CONSTRUCTION PLAN SHEETS PROVIDED BY THE ENGINEER, AND CERTIFIE SECTION 120, FDOT SPECIFICATIONS. CONTACT PROPERTY OWNERS AFFECTED BY CONSTRUCTION. COORDINATE TEMPORARY DRIVEWAY CLOSURES AND MUST BE ADHERED TO. A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM RISE OF 2.5 FEET, MUST BE PROVIDED. THI WHEN THE RECLAIMED WATER LINE IS TRANSPORTING WATER FOR PUBLIC ACCESS IRRIGATION MAXIMUM OBTAINABLE SEPARATION OF RECLAIMED WATER LINES AND DOMESTIC WATER LINES SHALL BE PRACTICED. A SIGNED AND SEALED BY THE CONTRACTOR'S LICENSED SURVEYOR WHO WILL BE RESPONSIBLE FOR THE ACCURAC SEQUENCING. MAINTAIN ACCESS FOR ALL PROPERTY OWNERS DURING CONSTRUCTION RAMP MUST HAVE ADA HAND RAILS AND 'LEVEL' LANDINGS ON EACH END THAT ARE CROSS SLOPED NO MORE THAN ANY PLASTIC OR ORGANIC MATERIAL WITHIN 36" OF THE FINISHED GRADE OF THE AREA TO BE PAVED SHALL BE OF ALL DIMENSIONS AND ELEVATIONS. 1:50 (1/4" PER FDOT OR 2.0%) FOR POSITIVE DRAINAGE. MINIMAL HORIZONTAL SEPARATION OF FIVE FEET (CENTER TO CENTER) OR THREE FEET (OUTSIDE TO OUTSIDE ADJUST TRAFFIC CONTROL DEVICES AS REQUIRED UNDER EMERGENCY CONDITIONS. THE X, Y AND (Z) LOCATION BASED ON THE COORDINATE SYSTEM FLORIDA EAST ZONE STATE PLANE COORDINA SHALL BE MAINTAINED BETWEEN RECLAIMED WATER LINES AND EITHER POTABLE WATER MAINS OR SEWAGE CROSS-WALKS - THE PATH OF TRAVEL STANDARD APPLIES TO CROSS WALKS IN THE DRIVEWAY AS WELL AND WIL THE CONTRACTOR IS EXPECTED TO COORDINATE ITS ACTIVITIES WITH OTHER CONTRACTORS WHO MAY B FEET NAD 83, OF ALL VALVES (CENTER OF PIPE), MANHOLES, INLETS, VALVE BOXES (GRADE), HYDRANTS (GRADI ALL CLEAN EXCESS MATERIAL SUITABLE FOR FILL RESULTING FROM THE EXCAVATION SHALL BE INCORPORATED OLLECTION LINES. AN 18 INCH VERTICAL SEPARATION SHALL BE MAINTAINED AT CROSSINGS REQUIRE SPECIAL ATTENTION DURING STAKING TO MAKE SURE THE 1:50 (2%) CROSS SLOPE IS MET IN THE CROSS WORKING IN THE IMMEDIATE VICINITY. BLOW OFFS (GRADE), SAMPLE POINTS (GRADE) AND METER BOXES (GRADE) ETC. SHALL BE CLEARLY SHOW INTO THE ON SITE FILLING OR DISPOSED OF AS DIRECTED BY THE OWNER. WHEN THE RECLAIMED WATER LINE IS TRANSPORTING WATER FOR NON-PUBLIC ACCESS IRRIGATION: THE RECLAIMED WATER MAIN SHALL BE TREATED LIKE A SANITARY SEWER, AND A 10 FOOT. HORIZONTAL AND 1 WHEN WORK OCCURS WITHIN 15-FT OF ACTIVE ROAD TRAVEL LANES BUT NO CLOSER THAN 2-FT FROM THE EDGE OF ACCEPTABLE POSITION ACCURACY SHALL BE SUB-METER OR BETTER FOR COMPATIBILITY WITH GLOBA . DOORWAYS - MUST HAVE A 'LEVEL' LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED AWAY POSITIONING SYSTEM (GPS) EQUIPMENT. THE VERTICAL DATUM USED SHALL BE NAVD 88 UNLESS OTHERWIS PAVEMENT, SIGNAGE AND WARNING DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH FDOT INDEX NO. 60 ALL UNSUITABLE MATERIAL AND DEBRIS SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR. INCH VERTICAL SEPARATION SHALL BE MAINTAINED BETWEEN THE RECLAIMED WATER MAIN AND ALL EXISTIN FROM THE DOOR NO MORE THAN 1:50 (1/4" PER FDOT OR 2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE SHOWN ON THE CONSTRUCTION PLANS. OR PROPOSED POTABLE WATER MAINS. NO MINIMUM SEPARATION IS REOUIRED BETWEEN THE RECLAIME NO LESS THAN 60 INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE PERMITTED BY ADA STANDARDS FOR THE WORK SHALL INCLUDE, BUT NOT LIMITED TO THE FOLLOWING:
THE SHAPING OF THE PROPOSED SWALES, DRY DETENTION AREAS, DITCHES, BUILDING PAD AREAS, PARKING WATER MAIN AND SANITARY SEWERS, OTHER THAN NECESSARY TO ENSURE STRUCTURAL INTEGRITY ANI TYPE I OR TYPE II BARRICADES AT 20-FT CENTERS SHALL BE PLACED AND MAINTAINED ALONG THE EDGE OF THE THE AS-BUILT INFORMATION IS TO INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING: ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2003 AND OTHER REFERENCED INCORPORATED ROAD WHEREVER DROP-OFFS OR OTHER HAZARDS EXIST AND TO BLOCK ENTRANCE INTO COMPLETED OF PROTECTION OF THE LINES THEMSELVES. AND LANDSCAPE AREAS, AND PERIMETER BERMS SITE IMPROVEMENTS PARTIALLY COMPLETED PAVEMENTS UNTIL SUCH PAVEMENTS ARE OPEN TO PUBLIC USE. A MINIMUM 10 FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER (INCLUDI) THE CONTRACTOR SHALL PROVIDE FLAGMAN AND OTHER TRAFFIC MEASURES NECESSARY TO PROTECT AND ALL BUILDINGS AND OTHER IMPROVEMENTS WITH DESCRIPTIONS, DIMENSIONS, AND LOCATION. FORCE MAINS) AND EXISTING OR PROPOSED WATER MAINS, IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE. THI . WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OF DRAINAGE IMPROVEMENTS: THE CONTRACTOR SHALL PROVIDE ALL THE MATERIALS AND LABOR NECESSARY TO DISTANCE FOR SEPARATION SHALL BE MEASURED EDGE TO EDGE. IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAI TO ADA COMPONENTS FROM EXISTING DOORWAYS OR SURFACES. CONTRACTOR MUST VERIFY EXISTING ELEVATIONS FACILITATE TRAFFIC MOVEMENT DURING CONSTRUCTION. PAVEMENT WIDTH AND ELEVATIONS AT THE CENTERLINE AND EDGE OF PAVEMENT EVERY 200 FEET PLUS A COMPLETE THE PROJECT WORK FOR THE DRAINAGE IMPROVEMENTS AT THE LOCATION, SIZE AND TYPE SHOWS A 10 FOOT HORIZONTAL SEPARATION. THE WATER MAIN MUST BE INSTALLED IN A SEPARATE TRENCH, OR IN A SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR ACCESSIBLI ALL CHANGES IN LONGITUDINAL SLOPE, CROSS SLOPE, INLET LOCATIONS, AND AT ALL DRIVEWAY AND STREE COMPLY WITH ALL LOAD RESTRICTIONS IN THE HAULING OF MATERIALS ON PUBLIC ROADS BEYOND THE LIMITS OF ON THE PLANS FOR THE FOLLOWING ITEMS IN ACCORDANCE WITH OKEECHOBEE COUNTY & FDOT UNDISTURBED EARTH SHELF, LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN, AT SUCH AN ELEVATION THA DESIGN ALLOWS FOR STEEPER RAMP SLOPES. IN RARE CIRCUMSTANCES, THE CONTRACTOR MUST IMMEDIATELY SPECIFICATIONS. INCLUDED IN THE UNIT COSTS FOR EACH ITEM SHALL BE THE COSTS ASSOCIATED WITH THE THE WORK. A SPECIAL PERMIT WILL NOT RELIEVE THE CONTRACTOR OF LIABILITY FOR THE DAMAGE WHICH MA' HE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER LINE, AND WATER AN • FOR PARKING LOTS, RECORD CENTERLINE AND EDGE OF PAVEMENT ELEVATIONS ALONG ALL DRIVE AISLE NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR ANY RESULT FROM THE MOVING OF MATERIAL AND EQUIPMENT. THE CONTRACTOR SHALL CONTROL HIS OPERATIONS DESIGN AND CONSTRUCTION, BY THE CONTRACTOR, TO COMPLY WITH THE TRENCH SAFETY ACT, LAWS OF SEWER JOINTS SHALL BE STAGGERED. WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 18 INCHE AND ISLANDS. RESPECT FROM WHAT IS SHOWN ON THE PLANS, IN WRITING, BEFORE COMMENCEMENT OF WORK. CONSTRUCTED AND THOSE OF HIS SUBCONTRACTORS, AND ALL SUPPLIERS TO ASSURE THE LEAST INCONVENIENCE TO TH IN PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SEWER OR FORCE MAIN ALL PARKING AREAS AND SIDEWALK RAMPS DESIGNATED FOR HANDICAP ACCESS SHALL CONTA TRAVELING PUBLIC. THE CONTRACTOR SHALL MAINTAIN FREE AND UNOBSTRUCTED MOVEMENT OF VEHICULAR IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE SHALL BE CONSTRUCTED OF DIP (IF AVAILABLE IN THE SIZE PROPOSED). WITH A MINIMUM VERTICAL DISTANCE OF HORIZONTAL AND VERTICAL MEASUREMENTS IN ORDER TO VERIFY REQUIRED WIDTHS AND SLOPES HAVE BEEN BACKFILL AND COMPACTION OF TRENCHING FOR CULVERT INSTALLATION UNDER THIS SECTION SHALL BE IN TRAFFIC AND LIMIT HIS OPERATIONS FOR THE SAFETY AND CONVENIENCE OF THE TRAVELING PUBLIC. UNDER ALL REGULATIONS AND THE ADA REOUIREMENTS. INCHES, THE WATER MAIN SHOULD ALWAYS BE LOCATED ABOVE THE SEWER, JOINTS ON THE WATER MAIN SHALL B ACCORDANCE WITH SECTION 125-8.3, FDOT SPECIFICATIONS. DENSITY TESTS SHALL BE PROVIDED AT THE CIRCUMSTANCES, SAFETY SHALL BE THE MOST IMPORTANT CONSIDERATION. LOCATED AS FAR APART AS POSSIBLE FROM JOINTS ON THE SEWER OR FORCE MAIN (I.E., STAGGERED JOINTS). IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE HANDICAP PARKING SPACE DEWATERING NOTES: • HORIZONTAL AND VERTICAL DATA FOR ANY CONSTRUCTION THAT DEVIATES FROM THE APPROVE ACCESSIBLE ROUTES, AND SIDEWALKS/CROSSWALKS ARE CONSTRUCTED TO MEET ADA REQUIREMENTS. TH ALL DIP PIPE SHALL BE CLASS 50 OR HIGHER. REFER TO NOTE #S: 6, 9 & 10 BELOW FOR ADDITIONAL DI ENGINEERING DRAWINGS. CONTRACTOR MUST VERIFY THE SLOPES OF CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY TWO TESTS\* AT SPRINGLINE (ONE EACH SIDE OF THE PIPE); DURING THE EXCAVATION PROCESS IF GROUNDWATER IS ENCOUNTERED, THE CONTRACTOR SHALL CONSTRUCT SPECIFICATIONS. ADEQUATE MEASURES AGAINST CORROSION SHALL BE UTILIZED. • WHERE THE PLANS CONTAIN SPECIFIC HORIZONTAL LOCATION DATA, SUCH AS STATION AND OFFSET, THE NON-CONFORMANCE IS OBSERVED OR EXISTS, CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO AS-BUILT DRAWINGS ARE TO REFLECT THE ACTUAL HORIZONTAL LOCATION. ONE TEST\* AT ONE-FOOT ABOVE PIPE: AND SEDIMENT BASIN TO PROVIDE A DISCHARGE POINT FOR DEWATERING. THE SEDIMENT BASIN CAN BE A CELL IN TH ALL PVC PIPE SHALL BE SOLID WALL POLYVINYL CHLORIDE PIPE AND COMPLY WITH ASTM D 3034 AND AI ONE TEST\* AT ONE-FOOT BELOW SUBGRADE OR FINISH GRADE. POURING CONCRETE. THE CONTRACTOR IS RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND REPLACE PROPOSED EXCAVATION AREA OF A POND OR IT CAN BE A BERMED AREA ABOVE GROUND OR AN ABOVE GOUND • WHERE THE PLANS CONTAIN SPECIFIC VERTICAL ELEVATION DATA, THE AS-BUILT DRAWINGS ARE TO REFLEC APPLICABLE ASTM DOCUMENTS AS COVERED IN SECTION No. 2 OF ASTM D 3034. MAIN LINES SHALL BE A MINIMUM OF NON-CONFORMING CONCRETE EDENSITY OF AT LEAST 100% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99, METHOD C. CHAMBER. ALL DEWATERING MUST BE RETAINED IN THE SEDIMENT AREA UNTIL THE WATER IS CLEAN SUCH THA THE ACTUAL MEASURED VERTICAL ELEVATION 8" DIAMETER, AND LATERALS SHALL BE A MINIMUM 6" DIAMETER. THERE WOULD BE NO TURBID DISCHARGE. AFTER THE WATER IN THE SEDIMENT BASIN IS CLEAN, THE WATER MA I IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCA ALL SANITARY SEWER MAINS, LATERALS AND FORCE MAINS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER, THE MINIMUM NUMBER OF HORIZONTAL TEST LOCATIONS IS TWO PER CULVERT INSTALLATION, ONE PER 100 BE RELEASED INTO THE ON-SITE POND PROVIDED THERE IS NO ADVERSE IMPACT TO THE EXISTING WATER QUALITY BUILDING CODE PRIOR TO COMMENCEMENT OF CONSTRUCTION, ANY REOUIREMENTS LISTED ABOVE OR OTHER UNLESS OTHERWISE NOTED ON PLANS. LINEAL FEET OF PIPE AND/OR ONE PER 20 FEET OF PAVEMENT CROSSING WHICHEVER IS GREATER. ADDITIONAL TOP ELEVATION OF EACH MANHOLE FRAME AND COVER AND INVERTS OF EACH LINE ENTERING AND LEAVIN IF LIMITED AVAILABLE SPACE BECOMES A CONSTRAINT DURING CONSTRUCTION ACTIVITIES, AND A SETTLING PON ION-STATED ADA REOUIREMENT THAT CAN NOT BE MET SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION TESTS MAY BE REQUIRED AT MORE FREQUENT INTERVALS IF DEEMED NECESSARY BY THE ENGINEER. ALL GRAVITY SEWERS MUST BE SDR 21 PVC OR SCHEDULE 40 PIPE. ELASTOMERIC GASKET JOINTS SHALL BE UTILIZE CAN NOT BE CONSTRUCTED THEN WE RECOMMEND UTILIZING A BAKER TANK AND NON-CATIONIC FLOCCULENT T MMEDIATELY. ANYTHING NOT BUILT TO THE ABOVE STANDARDS WILL REQUIRE REMOVAL AND REPLACEMENT OF THI EACH MANHOLE/STRUCTURE. FOR PVC PIPE, AND SHALL COMPLY WITH ASTM F477, ASTM D3231 & ASTM F1336. JOINTS SHALL COMPLY WITH ASTM REMAIN IN COMPLIANCE WITH THE GENERIC PERMIT. THE MANUFACTURER INFORMATION SHEET FOR T. LENGTH OF EACH RUN OF MAIN BETWEEN MANHOLES (CENTER TO CENTER). IONCOMPLIANT AREAS AT THE GENERAL CONTRACTOR'S COST. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE INDEPENDENT TESTING FLOCCULENT SHOULD BE KEPT ONSITE ALONG WITH THE PERMIT, IF UTILIZED TO REDUCE TURBIDITY ACTUAL GRADE/SLOPE OF PIPE BETWEEN MANHOLES. LABORATORY DESIGNATED BY THE OWNER. THE TESTING AND RETESTING NECESSARY TO ASSURE THAT THE <u>Paving and Grading Notes:</u> ALL PVC FORCE MAINS (IF REQUIRED) SHALL BE CLASS 200, DR 14 FOR 4" DIAMETER, AND CLASS 150, DR 18 FOR 6" T • LOCATE ALL SERVICE WYES FROM DOWNSTREAM MANHOLE WITH DEPTH AT LOT LINE AND DISTANCE FROM IF THE GROUDNWATER CAN NOT BE CONTAINED ON-SITE AND MUST BE DISCHARGED OFF-SITE. THE CONTRACTORS IS WORK HAS BEEN PERFORMED IN STRICT COMPLIANCE WITH THESE ACTIONS. COST FOR THE INITIAL TESTING 12" DIAMETER PIPE, IN ACCORDANCE WITH AWWA C900 STANDARDS. PVC FORCE MAIN PIPE SMALLER THAN 4 SHALL BE BORNE BY THE OWNER. ANY RETEST REQUIRED DUE TO FAILURE TO MEET THE MINIMUM RESPONSIBLE FOR FILING FOR AN FDEP DEWATERING NOL ALL WATER TESTING REQUIREMENTS SET FORTH BY TH ALL DELETERIOUS SUBSURFACE MATERIAL (I.E. MUCK, PEAT, BURIED DEBRIS OR AS DEFINED BY FDOT INDEX #50 LOCAL JURISDICTION AND FDEP. IF THE PROJECT IS WITHIN PROXIMITY OF CONTAMINATION OR SUSPECTED DIAMETER SHALL BE CLASS 200, SDR 21, IN ACCORDANCE WITH ASTM D 2241. FORCE MAINS SHALL BE SPIRAL • LOCATE WITH MEASUREMENTS FROM PERMANENT VISIBLE OBJECTS ALL FITTINGS/ACCESSORIES NOT VISIBI REQUIREMENTS ABOVE SHALL BE PERFORMED AT THE EXPENSE OF THE CONTRACTOR. WRAPPED WITH 2 INCH WIDE DARK GREEN STICK-ON VINYL TAPE. FORCE MAINS WITHIN THE RIGHT-OF-WAY SHALL IS TO BE EXCAVATED IN ACCORDANCE WITH THESE PLANS OR AS DIRECTED BY THE OWNER, THE OWNER' CONTAMINATION THE GROUNDWATER WILL HAVE TO BE TESTED PER FDEP REQUIREMENTS AT A MINIMUM. FROM THE SURFACE (MINIMUM TWO POINT TIES). BE CLASS 52 DIP, MINIMUM 3" DIAMETER. ENGINEER, OR OWNER'S SOILS TESTING COMPANY, DELETERIOUS MATERIAL IS TO BE STOCKPILED OR REMOVE A. <u>CULVERTS</u>: CONSTRUCTION METHODS FOR DRAINAGE CULVERTS SHALL CONFORM TO THE REQUIREMENTS C POLLUTED WATERS SHALL BE DISCHARGED INTO STORM SYSTEM OR BODIES OF WATER. BEFORE DISCHARGE OF PRODUCED GROUND WATER TO ANY SURFACE WATER OF THE STATE FROM A NON-CONTAMINATED SIT ALL SANITARY MANHOLES SHALL BE LOCATED NO MORE THAN 400 FEET APART AND SHALL CONFORM TO TH FROM THE SITE AS DIRECTED BY THE OWNER, EXCAVATED AREAS ARE TO BE BACKFILLED WITH APPROVE SECTIONS 125 AND 430, FDOT SPECIFICATIONS. STORM DRAINAGE MATERIALS AND COMPACTED AS SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR ACQUIRING AN' ANALYTICAL TESTS ON SAMPLES OF DISCHARGE WATER SHALL BE PERFORMED TO DETERMINE CONTAMINATION DETAILS CONTAINED HEREIN, AS WELL AS WITH ASTM C478. • TOP ELEVATION OF EACH MANHOLE FRAME AND COVER/GRATE AS WELL AS ALL OTHER STRUCTURES PERMITS THAT ARE NECESSARY FOR REMOVING DELETERIOUS MATERIAL FROM THE SITE. B. CORRUGATED ALUMINUM (C.A.P.): ALL C.A.P. SHALL BE ALUMINUM ALLOY ROUND PIPE HELICALLY WOUND TEST RESULTS MUST MEET MINIMUM REQUIREMENTS SET BY FDEP [DOCUMENT 62-621.300(2) GENERIC PERMIT FOI ALL DUCTILE IRON PIPE SHALL MEET REQUIREMENTS OF AWWA C151, ANSI SPEC. A21.51 DRRUGATED PIPE CONFORMING TO AASHTO-M 196-74 AND FDOT SECTION 945. (HEADWALLS, CONTROL STRUCTURES, ETC.) AND INVERT OF EACH LINE ENTERING AND LEAVING EACH THE DISCHARGE OF PRODUCED GROUNDWATER FROM NON-CONTAMINATED SITE ACTIVITYI. ANY DEWATERING THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND WILL PROVIDE STRUCTURE, INCLUDING UNDERDRAIN PIPES AND ROCK ENVELOPES. DRAINAGE DISCHARGED INTO SANITARY SEWERS MUST BE APPROVED BY THE GOVERNING WASTEWATER DIVISIO ALL DUCTILE IRON PIPE AND FITTINGS SHALL BE PROVIDED WITH A VIRGIN POLYETHYLENE INTERIOR LININ BRACING, SHEETING OR SHORING AS NECESSARY. DEWATERING METHODS SHALL BE USED AS REQUIRED TO KEEF E. REINFORCED CONCRETE PIPE (R.C.P.): RCP SHALL CONFORM TO THE REQUIREMENTS OF ASTM SPECIFICATIONS C-76, CLASS III, WALL THICKNESS "B", LATEST REVISION, AND AS MODIFIED BY SECTION 941 OF FDOT COMPLYING WITH ASTM D 1248 (40 MILS THICK) HEAT BONDED TO THE INTERIOR OF ALL PIPES. ALL DIP PIPE SHALI INVERTS OF ALL MITERED END SECTIONS. BEFORE DISCHARGING. TRENCHES DRY WHILE PIPE AND APPURTENANCES ARE BEING PLACED. HAVE A STANDARD OUTSIDE COATING COMPLYING WITH ASTM C151-8.1. • ACTUAL GRADE/SLOPE OF PIPE BETWEEN THE STRUCTURES. UNDER NO CIRCUMSTANCES WILL THE DISCHARGE FROM THE ON-SITE DEWATERING BE DIRECTLY DISCHARGE ALL NECESSARY FILL AND EMBANKMENT THAT IS PLACED DURING CONSTRUCTION SHALL CONSIST OF MATERIA STANDARD SPECIFICATIONS, LATEST REVISION, GASKETS FOR PIPE JOINTS SHALL CONFORM TO FDOT • INVERT ELEVATION AND TWO HORIZONTAL TIES FROM PERMANENT VISIBLE OBJECTS TO ALL STORM ALL SLOPES FOR GRAVITY SEWER MAINS AND SERVICE CONNECTIONS SHALL COMPLY WITH STATE AND LOCA SPECIFIED BY THE OWNER'S SOILS TESTING COMPANY (OWNER) OR ENGINEER AND BE PLACED AND COMPACTED UTILITY CRITERIA. CONTRACTOR TO NOTIFY ENGINEER IF THE SLOPES DEVIATES FROM THOSE SHOWN ON THI ALL GROUND WATER DISCHARGED OFF-SITE SHALL BE 29 NEPHELOMETRIC TURRIDITY LINITS (NTUS) OR LE ACCORDING TO THESE PLANS. STORMWATER POND TOP OF BERM AND POND BOTTOM ELEVATIONS AND HORIZONTAL DIMENSIONS MEASUR TURBIDITY READINGS SHOULD BR COLLECTED TWICE DAILY, AT LEAST FOUR HOURS APART, TO CONFIRM TURBIDITY CONSTRUCTION DOCUMENTS. D. CONTROL STRUCTURES: PRE-CAST CONCRETE CATCH BASINS SHALL MEET THE REOUIREMENTS OF ASTM AT A MINIMUM OF TEN LOCATIONS PER POND, AT LOCATIONS DESIGNATED BY THE ENGINEER. TOP OF PON PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADES UNLESS OTHERWISE ALL UTILITIES SHALL BE INSTALLED WITH COMPLIANCE TO GOVERNING JURISDICTION STANDARDS CONSTRUCTION IS KEPT BELOW 29 NTUS. THE SAMPLES WILL BE COLLECTED AT THE DISCHARGE LOCATION. A LOG OF DAILY SPECIFICATIONS C-478 AND FDOT STANDARD SPECIFICATION 425. CONCRETE FOR PRE-CAST BASINS SHALI HORIZONTAL DIMENSIONS ARE ALSO TO BE TIED TO PROPERTY CORNERS, EASEMENTS, AND RIGHTS-OF-WAY. TURBIDITY MEASUREMENTS WILL BE KEPT ONSITE FOR THE DURATION OF DEWATERING ACTIVITIES ALONG WIT DETAILS AND LAND DEVELOPMENT CODE. HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS. SHOP DRAWING ARE REQUIRED. • STORMWATER CONTROL STRUCTURE DIMENSIONS AND ELEVATIONS, INCLUDING ALL WEIRS, SLOTS, ORIFICE DAILY MEASUREMENTS OF THE FLOW RATE IN GALLONS PER DAY FINISHED SURFACES ADJACENT TO PAVED AREAS AND WITHIN 10 FEET OF STRUCTURES SHALL BE WITHIN 1 INCH O PRIOR TO COMMENCING WORK WHICH REQUIRES CONNECTING PROPOSED FACILITIES TO EXISTING LINES O GRATES, AND SKIMMERS. THE PROPOSED GRADE. ALL OTHER AREAS SHALL BE WITHIN 3 INCHES OF THE PROPOSED GRADE IT IS THE CONTRACTOR'S RESPONSIBILITY TO DEVELOP A DEWATERING SYSTEM THAT PROVIDES PRETREATMENT O APPURTENANCES, THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION(S) OF EXISTING CONNECTION IT MAY BE NECESSARY TO FIELD ADJUST PAVEMENT ELEVATIONS TO PRESERVE THE ROOT SYSTEMS OF TREE EFFLUENT PRIOR TO DISCHARGE INTO ADJACENT SURFACE WATERS OR LOCAL SANITARY UTILITY SYSTEM, I POINT(S) AND NOTIFY THE OWNER'S ENGINEER OF ANY CONFLICTS OR DISCREPANCIES. WATER AND REUSE SYSTEMS AND FORCE MAINS: AVEMENT IMPROVEMENTS: PAVEMENT CONSTRUCTION SHALL BE AT THE LOCATIONS AND TO THE ELEVATIONS ALLOWED/REOUIRED. THE CONTRACTOR'S DEWATERING METHOD MUST MEET ALL FEDERAL, STATE, AND LOCA SHOWN TO BE SAVED. CONTRACTOR TO COORDINATE WITH OWNER'S ENGINEER PRIOR TO ANY ELEVATION SANITARY SEWER MAINS SHALL HAVE SUITABLE MAGNETIC LOCATOR TAPE(S) BURIED AT LEAST 18 INCHES ABOV SHOWN ON THE PLANS, AND IN ACCORDANCE WITH THESE SPECIFICATIONS, FDOT AND OKEECHOBEE COUNTY ACTUAL LENGTHS OF PIPE BETWEEN BRANCHES AND VALVES IN THE RUN. LAWS, RULES, AND REGULATIONS CONCERNING THIS PRACTICE INCLUDING THE USE OF PERMITTED OUTFAL THE MAIN LINES. STRUCTURES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE AND APPLY FOR A DEWATERING PERMI' LOCATE WITH MEASUREMENTS FROM PERMANENT VISIBLE OBJECTS ALL FITTINGS/ACCESSORIES NOT VISIBI CONTRACTOR SHALL SAW CUT, TACK, AND MATCH EXISTING PAVEMENT AT LOCATIONS WHERE NEW PAVEMEN FORCE MAINS SHALL HAVE SUITABLE MAGNETIC LOCATOR TAPE(S) BURIED AT LEAST 18 INCHES ABOVE THE FORCE WITH THE APPROPRIATE WATER MANAGEMENT DISTRICT AND LOCAL GOVERNING JURISDICTION FROM THE SURFACE (MINIMUM TWO POINT TIES). MEETS EXISTING PAVEMENT. A PAVEMENT: THE CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS NECESSARY TO COMPLETE THE THE DEWATERING SYSTEM SHALL BE DESIGNED, AND BE PROVIDED, USING ACCEPTED AND PROFESSIONAL METHOD. LIST THE DEPTHS OF THE LINES AT ALL VALVES, FITTINGS AND FIRE HYDRANTS. ITEMS OF WORK FOR PAVING IMPROVEMENTS UNDER THIS SECTION AT THE LOCATIONS AND TO THE EXTENT UNIFORMLY SMOOTH GRADE THE SITE, DEPRESSIONS FROM SETTLEMENT SHALL BE FILLED AND COMPACTED. TOP CONSISTENT WITH CURRENT INDUSTRY PRACTICE. PROVIDE DEWATERING SYSTEM OF SUFFICIENT SIZE ANI TESTING AND INSPECTION REQUIREMENTS • POTABLE WATER SHALL CLEARLY INDICATE COMPLIANCE TO MINIMUM SEPARATION DISTANCES OR REQUIRE SHOWN ON THE PLANS. PAVEMENT SHALL BE CONSTRUCTED AS SHOWN ON THE PLANS AND IN ACCORDANCE OF EMBANKMENTS AND BREAKS IN GRADE SHALL BE ROUNDED. FINISHED SURFACES SHALL BE REASONABLY CAPACITY TO CONTROL GROUNDWATER IN A MANNER THAT PRESERVES STRENGTH OF FOUNDATION SOILS. DOES PIPE UPGRADES OT CAUSE INSTABILITY OR RAVELING OF EXCAVATION OR RAVELING OF EXCAVATION SLOPES. AND DOES I (Sanitary) SMOOTH, COMPACTED, FREE FROM IRREGULAR SURFACE CHANGES AND COMPARABLE TO THE SMOOTHN OBTAINED BY BLADE-GRADER OPERATIONS. RESULT IN DAMAGE TO EXISTING STRUCTURES. WHERE NECESSARY TO THESE PURPOSES, LOWER WATER LEVEL 3 1) STABILIZED SUBGRADE SHALL HAVE A MINIMUM FBV RATIO OF 75, AND MINIMUM DENSITIES SHALL BE 98% OF PRIOR TO THE CIVIL ENGINEERING PUNCH LIST INSPECTION THE CONTRACTOR SHALL SEND THE ENGINEER A ADVANCE OF EXCAVATION UTILIZING WELLS, WELLPOINTS, OR SIMILAR POSITIVE METHODS.MAINTAIN THI CURBING SHALL BE PLACED AT THE EDGES OF ALL PAVEMENT, UNLESS OTHERWISE NOTED. REFER TO THE LATEST MAXIMUM AS DETERMINED BY THE AASHTO T-180 METHOD C. MATERIALS AND CONSTRUCTION METHODS AS-BUILT SURVEY. THE ENGINEER WILL REVIEW THE DRAWINGS FOR COMPLETENESS IN ACCORDANCE WITH T APPLICABLE MUNICIPALITY/AGENCY. THE CONTRACTOR SHALL NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO GROUNDWATER LEVEL TO A MINIMUM OF 2 FEET BELOW EXCAVATIONS. PROVIDE PIEZOMETERS IF DIRECTED BY THE EDITION OF F.D.O.T. "ROADWAY AND TRAFFIC DESIGN STANDARDS" FOR DETAILS AND SPECIFICATIONS OF ALL SHALL BE FURNISHED BY THE CONTRACTOR, AND CONFORM TO SECTION 160, FDOT SPECIFICATIONS FOR TYPE REQUIREMENTS OF THESE NOTES WITHIN FIVE (5) FULL WORKING DAYS, FOR PRELIMINARY REVIEW, SUBMITT. SCHEDULE INSPECTION(S). THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COSTS ASSOCIATED WITH ENGINEER TO DOCUMENT THE GROUNDWATER LEVEL IS BEING MAINTAINED. C STABILIZATION AND PAID FOR AS PART OF THE WORK UNDER THIS SECTION. COMPACTED SUBGRADE WITHI F.D.O.T. TYPE CURB AND GUTTERS CALLED FOR IN THESE PLANS. IN AUTOCAD AND PDF FORMAT IS SUFFICIENT. IF ANY DEFICIENCIES ARE NOTED, ONE COPY OF REDLIN TELEVISED INSPECTION (TV) OF THE PROPOSED GRAVITY SEWER LINE CONSTRUCTION THE CONTRACTOR SHALL CONTROL BY ACCEPTABLE MEANS, ALL WATER REGARDLESS OF SOURCE AND BE FULLY RESPONSIBLE FOR DISPOSAL THE LIMITS SHOWN ON PLANS. THIS STABILIZED SUBGRADE SHALL BE USED FOR ALL ASPHALT PARKING PRIOR TO CONSTRUCTING CONCRETE PAVEMENT, THE CONTRACTOR IS TO SUBMIT A PROPOSED JOINTING PATTERN AS-BUILTS WILL BE GIVEN TO THE GENERAL CONTRACTOR FOR REVISIONS TO BE MADE. REVISED AS-BUILTS WII PROVIDE COPIES OF THE TV INSPECTION TAPE TO THE ENGINEER, THE OWNER AND THE APPLICABLE OF THE WATER. NO ADDITIONAL PAYMENT WILL BE MADE FOR ANY SUPPLEMENTAL MEASURES TO CONTROL TO THE SOILS ENGINEER FOR REVIEW/APPROVAL. NEED TO BE FORWARDED TO THE OWNER'S ENGINEER BEFORE ANY CERTIFICATIONS WILL BE INITIATED. MUNICIPALITY/AGENCY. SEEPAGE GROUNDWATER OR ARTESIAN HEAD. THE CONTRACTOR SHALL PERFORM AN INFILTRATION/EXFILTRATION TEST ON ALL GRAVITY SEWERS I CONTRACTOR TO PROVIDE A 1/2" TO 1" BITUMINOUS EXPANSION JOINT MATERIAL WITH SEALER AT ABUTMENT OF 2) BASE COURSE SHALL BE LIMEROCK, COQUINA, OR SHELLROCK AS SHOWN ON THE PLANS. AFTER COMPACTION, IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR KEEP A DAILY "AS-BUILT" SET OF DRAWINGS WHILE TH OPEN PUMPING WITH SUMPS AND DITCHES SHALL BE ALLOWED PROVIDED IT DOES NOT RESULT IN BOILS, LOSS O ACCORDANCE WITH THE REGULATORY AGENCY HAVING JURISDICTION. SAID TESTS ARE TO BE CERTIFIED BY THE THE BASE SHALL HAVE A DENSITY THAT IS 98% OF MAXIMUM AS DETERMINED BY THE AASHTO T-180 METHOD CONCRETE AND OTHER MATERIALS (STRUCTURES, OTHER PLACED CONCRETE, ETC.). WORK BEING DONE IS VISIBLY EXPOSED ACCORDING TO THE CRITERIA OUTLINED HEREIN. FINES, SOFTENING OF THE GROUND, OR INSTABILITY OF SLOPES, SUMPS SHALL BE LOCATED OUTSIDE OF LOA ENGINEER OF RECORD AND SUBMITTED TO THE REGULATORY AGENCY FOR APPROVAL. THE SCHEDULING, MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO SECTION 200 OR 250, DOT SPECIFICATIONS, SEAL CONCRETE PER ASTM C309 OR ASTM C1315 (TYPE II) PRIOR TO SAW CUTTING CONTROL JOINTS. THE ENGINEER RESERVES THE RIGHT TO REQUIRE THE CONTRACTOR TO UNCOVER, RETEST AND/OR PERFORM AN BEARING AREAS SO THE BEARING SURFACES WILL NOT BE DISTURBED. WATER CONTAINING SILT IN SUSPENSIO COORDINATION AND NOTIFICATION OF ALL PARTIES IS THE CONTRACTOR'S RESPONSIBILITY. WHICHEVER IS APPLICABLE FOR THE BASE MATERIAL USED. THIS BASE COURSE SHALL BE USED FOR ALL SHALL BE PUMPED INTO SEWER LINES OR ADJACENT STREAMS, DURING NORMAL PUMPING AND UPON DEVELOPMEN ACTION NECESSARY TO ENSURE THAT THE IMPROVEMENTS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THI CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING ALL EXISTING MANHOLE AND INLET COVERS, VALVE BOXES, LEAKAGE TEST ARE SPECIFIED REQUIRING THAT: WELL(S), LEVEL OF FINE SAND OR SILT IN THE DISCHARGE WATER SHALL NOT EXCEED 5PPM. PLANS AND SPECIFICATIONS BLOW-OFF RISERS, ETC. TO PROPOSED ELEVATIONS, AS REQUIRED, WHETHER SPECIFICALLY SHOWN ON PLANS OR A. THE LEAKAGE EXFILTRATION OR INFILTRATION DOES NOT EXCEED 150 GALLONS PER INCH OF PIPE DIAMETER PER THE CONTRACTOR SHALL BE REQUIRED TO PERMIT THE DEWATERING SYSTEM WITH THE LOCAL WATER 3) SURFACE COURSE SHALL BE TYPE S-III ASPHALTIC CONCRETE CONFORMING TO FDOT SECTION 331, EXCEPT THE CONTRACTOR'S GEOTECHNICAL ENGINEER SHALL CERTIFY TO OWNER'S ENGINEER THAT ALL SITE, UTILIT MILE PER DAY FOR ANY SECTION OF THE SYSTEM. THAT THE MAXIMUM AGGREGATE SIZE SHALL BE 1/2' AND SHALL HAVE A MINIMUM 1000 POUNDS MARSHAL AND ROADWAY COMPACTION, BERM STABILITY, AND PAVEMENT CONSTRUCTION SPECIFICATIONS HAVE BEE ALL SIGNING AND PAVEMENT MARKINGS SHALL BE PROVIDED IN ACCORDANCE WITH THE LATEST EDITIONS OF TH B. MANHOLE LEAKAGE TEST SHALL NOT EXCEED FOUR (4) GALLONS PER DAY PER UNIT, NO VISUAL LEAKAGE CONSTRUCTED TO MEET THE RECOMMENDATIONS OF THE DESIGN GEOTECHNICAL ENGINEER. A. 100,000 GPD TOTAL IN A 24 HOUR (1 DAY) PERIOD FROM DEWATERING MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT DESIGN STANDARDS, AND/OR LOCAL GOVERNING JURISDICTION. B. 1,000,000 GPD PUMP CAPACITY IS REQUIRED C. EXFILTRATION OR INFILTRATION TESTS BE PERFORMED WITH A MINIMUM POSITIVE HEAD OF 2 FEET THE DESIGN ENGINEER RESERVES THE RIGHT TO REQUIRE PERMEABILITY TESTING RESULTS AND BORING LOCALITY TESTING RESULTS AND BORING RESULT C GROUNDWATER WELL SIZE 8" IN DIAMETER OR GREATER WITHIN DRY RETENTION/DETENTION BASINS TO BE PROVIDED TO OR COMPLETED BY THE GEOTECHNICA 4) CONCRETE PAVING: CONCRETE PAVING SHALL MEET THE STRENGTH REQUIREMENT SHOWN IN THESE PLANS, D. AIR TESTS, AS MINIMUM, CONFORM TO THE TEST PROCEDURE DESCRIBED IN ASTM C-924 FOR CONCRETE PIPE THE CONTRACTOR WILL STABILIZE, BY SEED AND MULCH, SOD, OR OTHER APPROVED MATERIALS (REFER T D. CUMULATIVE OUTSIDE DIAMETER OR SURFACE WATER WITHDRAWAL PIPES IS 6" IN DIAMETER OR GREATER ASTM F-1417 FOR PLASTIC PIPE AND FOR OTHER MATERIALS APPROPRIATE TEST PROCEDURES, AIR TESTING, IF ND SHALL BE EITHER FIBER OR STEEL REINFORCED AT THE DIRECTION OF THE OWNER. PLANS), ANY AND ALL DISTURBED AREAS WITHIN ONE WEEK FOLLOWING CONSTRUCTION OF THE UTILITY SYSTEM ENGINEER CERTIFYING THE RECOVERY TO THE DESIGN ENGINEER. QUANTITIES, LOCATIONS, AND DEPTHS BELO SPECIFIED FOR CONCRETE SEWER MANHOLES, CONFORMS TO THE TEST PROCEDURES DESCRIBED IN ASTM C-1244. AND PAVEMENT AREAS. CONTRACTOR SHALL MAINTAIN SUCH AREAS UNTIL FINAL ACCEPTANCE BY OWNER AND FINISHED GRADE SHALL BE SPECIFIED BY THE GEOTECHNICAL ENGINEER OWNER'S ENGINEER. CONTRACTOR TO COORDINATE WITH OWNER REGARDING TYPE OF MATERIAL, LANDSCAPING ADDITIONAL TESTS MAY BE REQUIRED FOR THE DRIVEWAY CONSTRUCTION OR AT MORE FREQUENT THE CONTRACTOR SHALL BE REQUIRED TO PERMIT THE DEWATERING SYSTEM WITH WATER MANAGEME COPIES OF PASSING TEST RESULTS SHALL BE PROVIDED TO THE DEVELOPER, ENGINEER OF RECORD, CONTRACTOR INTERVALS IF DEEMED NECESSARY BY THE ENGINEER. DISTRICT. HOWEVER, IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY WITH THE LOCAL WATER MANAGEMENT AND IRRIGATION REQUIREMENTS. DEFLECTION TESTS SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDED STANDARDS FOR AND LOCAL MUNICIPALITY/AGENCY FOR PURPOSES, SUCH AS BUT NOT LIMITED TO, CERTIFICATION, ANI WASTEWATER FACILITIES, CHAPTER 33.85, FOR ALL GRAVITY SANITARY SEWER LINES. TESTING IS REQUIRED AFTER AND GOVERNING JURISDICTION ON THE PERMIT REQUIREMENTS FOR DEWATERING. ALL PERMITS SHALL BE SUBMIT ELEVATIONS REFER TO NAVD 1988 VERTICAL DATUM. ACCEPTANCE OF FACILITIES BY THE DEVELOPER AND/OR MUNICIPALITY/AGENCY. THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS TO PERMIT STABILIZATION OF THE SOIL-PIPE A MINIMUM OF 21 DAYS PRIOR TO STARTING DEWATERING ACTIVITIES. GRADING SHOWN ON THESE PLANS IS PROVIDED TO CONTRACTOR TO EXPRESS THE GENERAL GRADING INTENT O THE CONTRACTOR SHALL NOTIFY THE ENGINEER WHEN CONSTRUCTION IS COMPLETE FOR WATER, WASTEWATE SYSTEM TESTING REQUIREMENTS SPECIFY: HALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE INDEPENDENT TESTING CONTINUOUSLY MAINTAIN EXCAVATIONS IN A DRY CONDITION WITH POSITIVE DEWATERING METHODS DURING THE PROJECT. THE CONTRACTOR SHALL BE EXPECTED TO GRADE THE ENTIRE SITE TO PROVIDE POSITIVE DRAINAG AND STORMWATER SYSTEMS SO TIMELY CERTIFICATIONS MAY BE INITIATED. SATISFACTORY BACTERIOLOGICA LABORATORY DESIGNATED BY THE OWNER, THE TESTING AND RETESTING NECESSARY TO ASSURE THAT ALL A. 1NO PIPE SHALL EXCEED A DEFLECTION OF 5% PREPARATION OF SUBGRADE, INSTALLATION OF PIPE, AND CONSTRUCTION OF STRUCTURES UNTIL THE CRITICAL IN ALL AREAS THROUGHOUT THE SITE. SMOOTH TRANSITIONS SHALL BE PROVIDED BETWEEN CONTOURS OR SPO PAVEMENT RELATED WORK HAS BEEN PERFORMED IN STRICT COMPLIANCE WITH THESE SPECIFICATIONS. COST TEST RESULTS, PRESSURE TEST RESULTS, AND AN AS-BUILT SURVEY SHALL BE SUBMITTED TO ENGINEER FOR AI B. USING A RIGID BALL OR MANDREL FOR THE PIPE DEFLECTION TESTS WITH A DIAMETER NOT LESS THAN 95% OF PERIOD OF CONSTRUCTION AND/OR BACKFILL IS COMPLETED TO PREVENT DAMAGE OF SUBGRADE SUPPORT, PIPING ELEVATIONS AS SHOWN ON THE PLANS TO ACCOMPLISH THE GRADING INTENT. ALL SLOPES SHALL BE STABILIZED WORK REQUIRING CERTIFICATIONS FOR THE INITIAL TESTING SHALL BE BORNE BY THE OWNER, ANY RETESTS REQUIRED DUE TO FAILURE TO MEET STRUCTURE, SIDE SLOPES, OR ADJACENT FACILITIES FROM FLOATATION OR OTHER HYDROSTATIC PRESSURI THE BASE INSIDE DIAMETER OR AVERAGE INSIDE DIAMETER OF THE PIPE, DEPENDING ON WHICH IS SPECIFIED IN IMMEDIATELY AFTER FINAL GRADING HAS BEEN COMPLETED. CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER THE MINIMUM REQUIREMENTS ABOVE SHALL BE PERFORMED AT THE EXPENSE OF THE CONTRACTOR. IN CASES WHERE THE OWNER DETERMINES PARTIAL CLEARANCES FROM PERMITTING AGENCIES ARE BENEFICI THE ASTM SPECIFICATION. INCLUDING THE APPENDIX. TO WHICH THE PIPE IS MANUFACTURED. PRIOR TO DEMOBILIZATION OF GRADING EQUIPMENT TO DETERMINE THAT THE GRADING INTENT HAS BEEN TO THE OWNER FOR COMPLETED PORTIONS OF THE PROJECT, PROVIDE PRELIMINARY RECORD DRAWINGS (AUTOC. IF SILTY/CLAY SANDS, WHICH CAUSE THE WATER TO BECOME TURBID, ARE ENCOUNTERED THEN THE WATER SHALL MINIMUM TESTING DETERMINATION FOR ALL ITEMS OF WORK UNDER PAVING AREAS SHALL BE AS FOLLOWS: FORMAT) TO THE ENGINEER FOR ITS USE IN PREPARING THE PARTIAL CLEARANCE APPLICATIONS FOR THE OWNER. LL FORCE MAINS (IF APPLICABLE) SHALL BE SUBJECT TO A HYDROSTATIC PRESSURE TEST IN ACCORDANCE WIT BE TREATED WITH CHEMICAL ADDITIVES, SUCH AS ALUM, IN THE SEDIMENT BASIN IN ORDER TO PROMOTE TH NEWLY GRADED AREAS SHALL BE PROTECTED FROM TRAFFIC AND EROSION. ALL SETTLEMENT OR WASHING AWAY THE REGULATORY AGENCY HAVING JURISDICTION. SAID TESTS ARE TO BE CERTIFIED BY THE ENGINEER OF RECORD FLORIDA SOIL COAGULATION OF THE PARTICLES WHICH ALLOW THE SEDIMENT TO SETTLE AND THE WATER TO BECOME LES COMPLETE RECORD DRAWINGS THAT ARE FOUND TO BE SATISFACTORY AS A RESULT OF THE ENGINEER'S REVIEW THAT MAY OCCUR FROM ANY CAUSE PRIOR TO SEEDING OR ACCEPTANCE SHALL BE REPAIRED AND GRADES TURBID. IF TURBID WATER IS ENCOUNTERED DURING THE EXCAVATION OF THE PONDS. THE CONTRACTOR SHAL AND SUBMITTED TO THE REGULATORY AGENCY FOR APPROVAL. THE SCHEDULING, COORDINATION ANI WILL BE USED AS THE BASIS FOR THE FINAL PROJECT RECORD DRAWINGS PREPARED BY THE ENGINEER USING TH RE-ESTABLISHED TO THE REQUIRED ELEVATIONS AND SLOPES AT NO ADDITIONAL COST TO THE OWNER. NOTIFY THE ENGINEER OF RECORD IMMEDIATELY TO DETERMINE THE COURSE OF ACTION THAT IS APPROPRIATE I NOTIFICATION OF ALL PARTIES IS THE CONTRACTOR'S RESPONSIBILITY. DENSITY THICKNESS CONTRACTOR PROVIDED RECORD DRAWINGS PLUS ENGINEER ADDED INFORMATION. TESTING AND INSPECTION REQUIREMENTS ELIMINATE THE TURBIDITY AND ALLOW DISCHARGE THAT MEETS WATER QUALITY STANDARDS. COORDINATE WITH THE ENGINEER, GOVERNING UTILITY AUTHORITY AND INSTALLER FOR THI COMPLETE SIGNED AND SEALED RECORD DRAWINGS ARE REQUIRED TO BE DELIVERED TO THE OWNER PRIOR T LIFT-STATION/WASTEWATER PUMP STATION START-UP. START-UP PROCEDURES SHALL FOLLOW THE GOVERNING THE EXCAVATION PROCESS SHALL BE SEQUENCED IN SUCH A MANNER SUCH THAT THE SEDIMENT BASIN WILL B (PAVING/GRADING): SUBGRADE FINAL INSPECTION OF THE PROJECT. FINAL INSPECTIONS WILL ONLY BE SCHEDULED UPON RECEIPT OF SIGNED AN UTILITY AUTHORITY. ENGINEER REQUIRES 48 HOUR NOTICE PRIOR TO REQUESTED START-UP DATE., AVAILABLE AT ALL TIMES. THE SEDIMENT BASIN CAN BE RELOCATED AS NECESSARY SUBJECT TO THE WATER SEALED RECORD DRAWINGS THAT HAVE BEEN REVIEWED BY THE ENGINEER AND DELIVERED BY THE ENGINEER TO WITHIN THE SEDIMENT BASIN BEING NON-TURBID AND ACCEPTABLE FOR DISCHARGE. IF THE ABOVE TESTING REQUIREMENTS ARE IN CONFLICT WITH ANY LOCAL, STATE, OR FEDERAL AGENCY, THE MORE THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SOILS ENGINEER. TEST LIMEROCK OR COQUINA BASE WILL BE REQUIRED PURSUANT WITH SITE SPECIFIC GEOTECHNICAL REPORT FOR THE SITE, AS WELL AS THE TESTING STRINGENT REQUIREMENTS SHALL APPLY. WHEN CONSTRUCTION IS COMPLETE, REMOVE ALL DEWATERING EQUIPMENT FROM SITE INCLUDING WELLS AN THE CONTRACTOR IS RESPONSIBLE FOR ENSURING DESIGN PARAMETERS ARE MET TO THE SATISFACTION OF T SCHEDULE REQUIRED BY FDOT AND THE AFFECTED MUNICIPALITY. THE MORE STRINGENT REQUIREMENTS SHALL RELATED TEMPORARY ELECTRICAL SERVICE. ASPHALTIC CONCRETE APPLY. UPON COMPLETION OF WORK, THE SOILS ENGINEER WILL SUBMIT CERTIFICATIONS TO THE OWNER AND GEOTECHNICAL AND DESIGN ENGINEER PRIOR TO CERTIFICATION OF COMPLETION OWNER'S ENGINEER STATING THAT ALL REQUIREMENTS HAVE BEEN MET MAXIMUM SPACING SHOWN IN FEET. ALL TESTING SHALL BE TAKEN IN A STAGGERED SAMPLING PATTERN FROM A QUALIFIED TESTING LABORATORY SHALL PERFORM ALL TESTING NECESSARY TO ASSURE COMPLIANCE OF TH BETWEEN THE ENGINEER'S DESIGN STANDARDS AND LOCAL DESIGN A POINT 12 INCHES INSIDE THE FIRST EDGE, TO THE CENTER, TO A POINT 12 INCHES INSIDE THE RIGHT IN-PLACE MATERIALS AS REOUIRED BY THESE PLANS AND THE VARIOUS AGENCIES. SHOULD ANY RETESTING B STANDARDS, THE MORE STRINGENT UTILITY NOTE SHALL APPLY REQUIRED DUE TO THE FAILURE OF ANY TESTS TO MEET THE REQUIREMENTS, THE CONTRACTOR WILL BEAR ALL EDGE OF THE ITEM TESTED . PAVEMENT MARKINGS: THE CONTRACTOR SHALL PROVIDE ALL NECESSARY MATERIALS AND LABOR REQUIRED TO COMPLETE THE PROJECT WORK IN THIS SECTION. MATERIALS AND CONSTRUCTION METHODS FOR APPLYING THE OWNER'S ENGINEER WILL NOT BE RESPONSIBLE FOR SCHEDULING. COORDINATION OR EVALUATION OF TH SOILS TESTING AND CERTIFICATIONS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER/DEVELOPER TO MAKE PAINTED TRAFFIC STRIPES AND MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF SECTION 711, FDOT THE NECESSARY ARRANGEMENTS DIRECTLY WITH THE SOILS TESTING LABORATORY/GEOTECHNICAL FIRM AND THE SPECIFICATIONS, FOR THERMOPLASTIC TRAFFIC STRIPES AND MARKINGS AT THE LOCATIONS SHOWN ON THE PLANS SITE CONTRACTOR ) STRIPING AS SHOWN ON PLANS THE FINISHED SURFACE OF THE BASE COURSE AND THAT OF THE WEARING SURFACE SHALL NOT VARY MORE THAN 2) MISC. TRAFFIC CONTROL AS SHOWN ON PLANS  $\frac{1}{4}$ " FROM THE TEMPLATE. ANY IRREGULARITIES EXCEEDING THIS LIMIT SHALL BE CORRECTED. S) ALL EXISTING MARKINGS THAT ARE IN CONFLICT WITH PROPOSED SHALL BE REMOVED VIA HYDRO-BLASTING 4) ALL MARKINGS WITHIN FDOT RIGHT-OF-WAY SHALL BE THERMOPLASTIC FIELD COMPACTION DENSITY, STABILITY, AND THICKNESS TESTING FREQUENCIES OF SUB-BASE, BASE, AND ASPHALT SHALL BE TESTED ONCE EVERY 300 LINEAR FEET OF PAVING PER 24-FT WIDE STRIP, STAGGERED LEFT SIGNAGE: THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AND LABOR NEEDED, INCLUDING ALL SUPPORTING CENTER AND RIGHT OF CENTERLINE. WHERE LESS THAN 300 LINEAR FEET OF SUB-BASE, BASE, AND ASPHALT I ELEMENT'S TO INSTALL SIGNS AT THE LOCATION SHOWN ON THE PLANS. MATERIALS AND CONSTRUCTION METHODS PLACED IN ONE DAY, PROVIDE MIN. OF ONE TEST FOR EACH PER DAY'S CONSTRUCTION AT A LOCATION DESIGNATED SHALL CONFORM TO SECTION 700, FDOT SPECIFICATIONS AND OKEECHOBEE SPECIFICATIONS BY THE ENGINEER. ASPHALT EXTRACTION GRADATION SHALL BE TESTED FROM GRAB SAMPLES COLLECTED ONCE EVERY 1800 SQUARE YARDS OF ASPHALT DELIVERED TO THE SITE (OR A MINIMUM OF ONCE PER DAY). ALL SIGNS SHALL BE INSTALLED AS SHOWN ON PLANS. SOUTH BUYERS LLC COVER AND NOTE NW 11TH AVE OKEECHOBEE, FL BAR IS ONE INCH KEECHOBEE, FL 34973 ON ORIGINAL DRAWING MARCOS MONTES DE OCA G NUMBER DATE OF SIGNATURE FAX: (863) 763-6169 63897 NOTES AND SPECIFICATION IF NOT ONE INCH OF FL ENGINEERING BUSINESS NO. 29880 SHEETS THIS SHEET, ADJUST FBPE AUTHORIZATION NUMBER MARCOS@MDO-ENGINEERING.COM SCALES ACCORDINGLY 3/1/2022 02/2023 29880 DATE DESCRIPTION WWW.MDO-ENGINEERING.COM

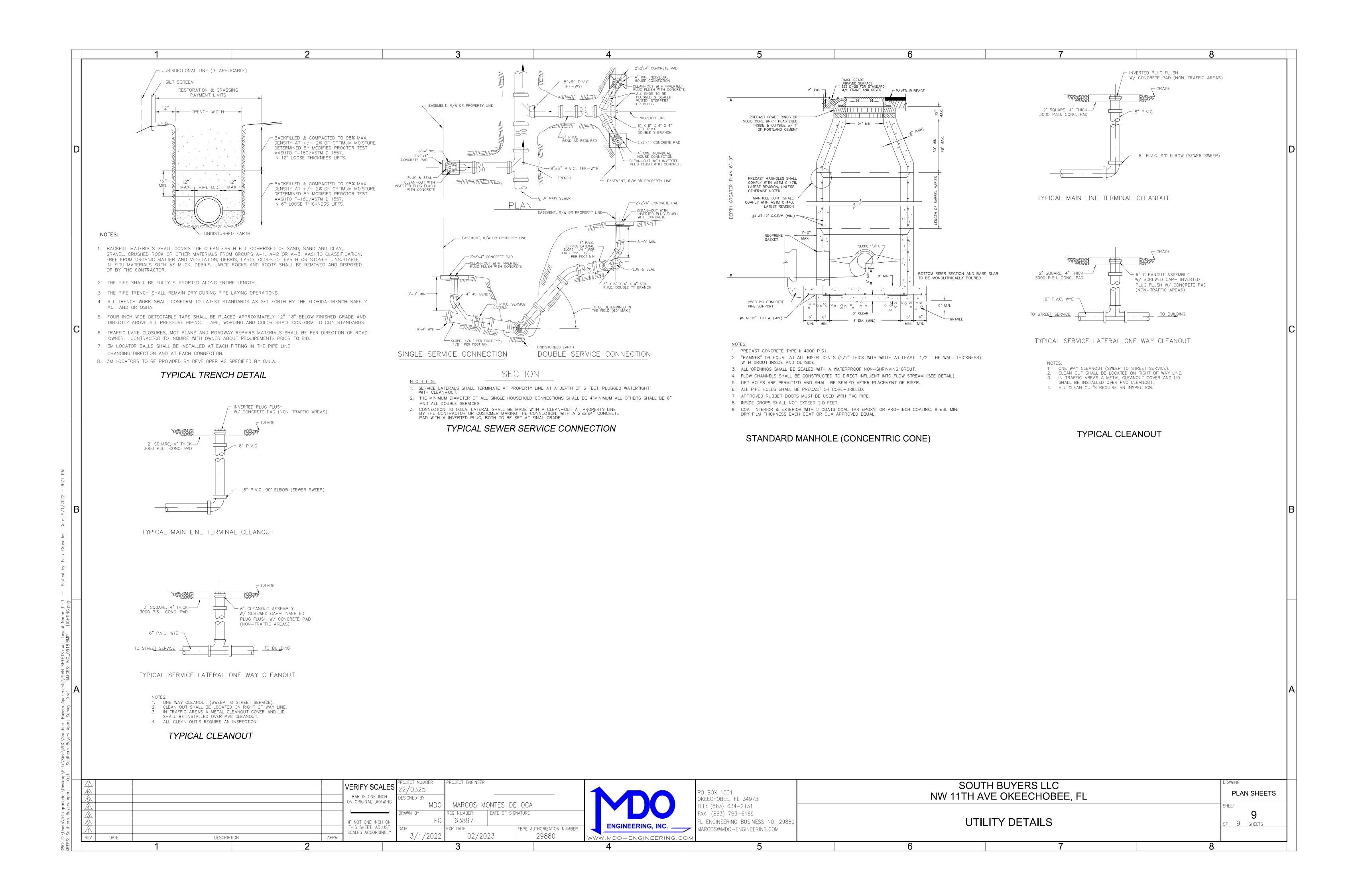


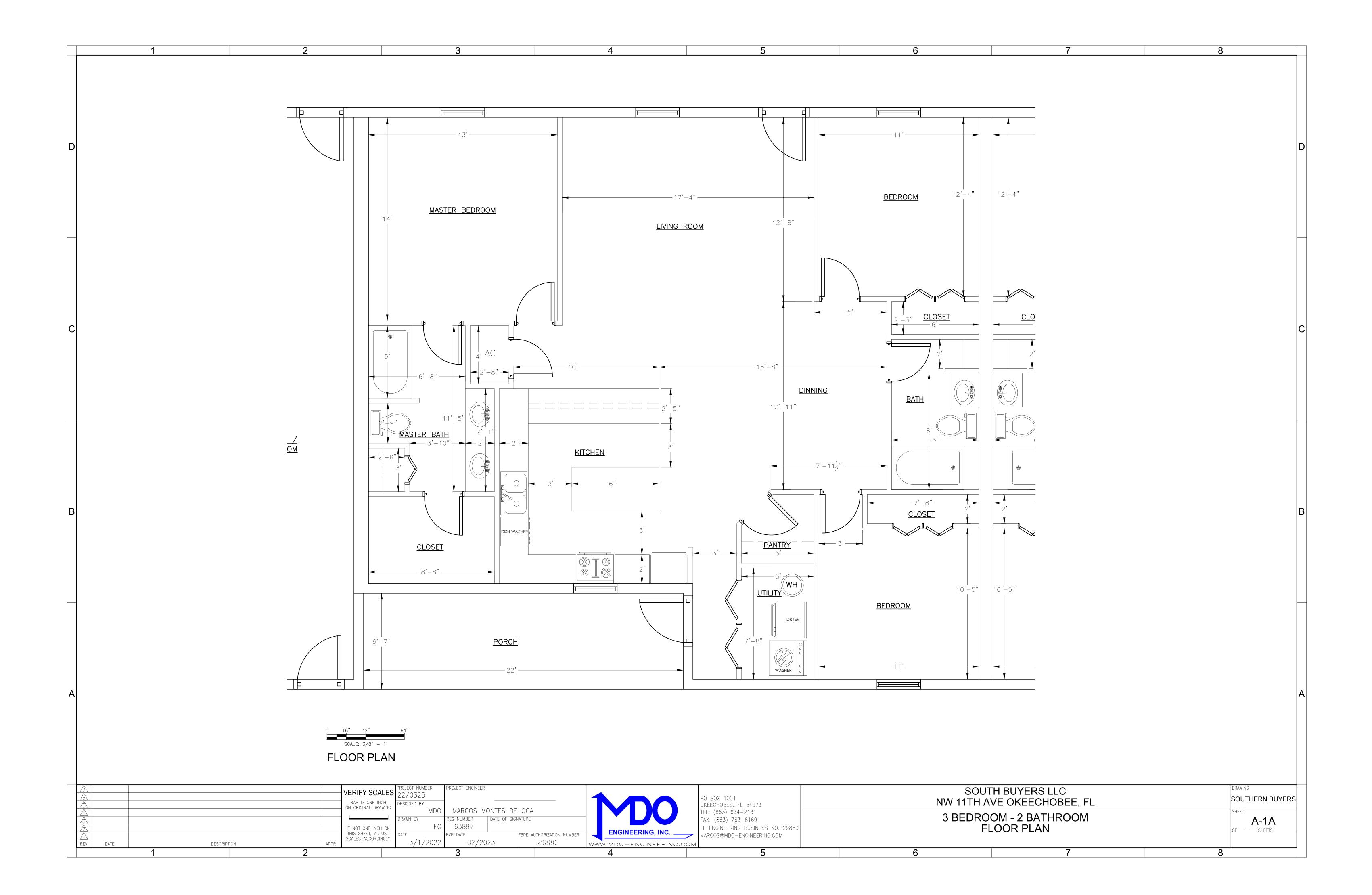


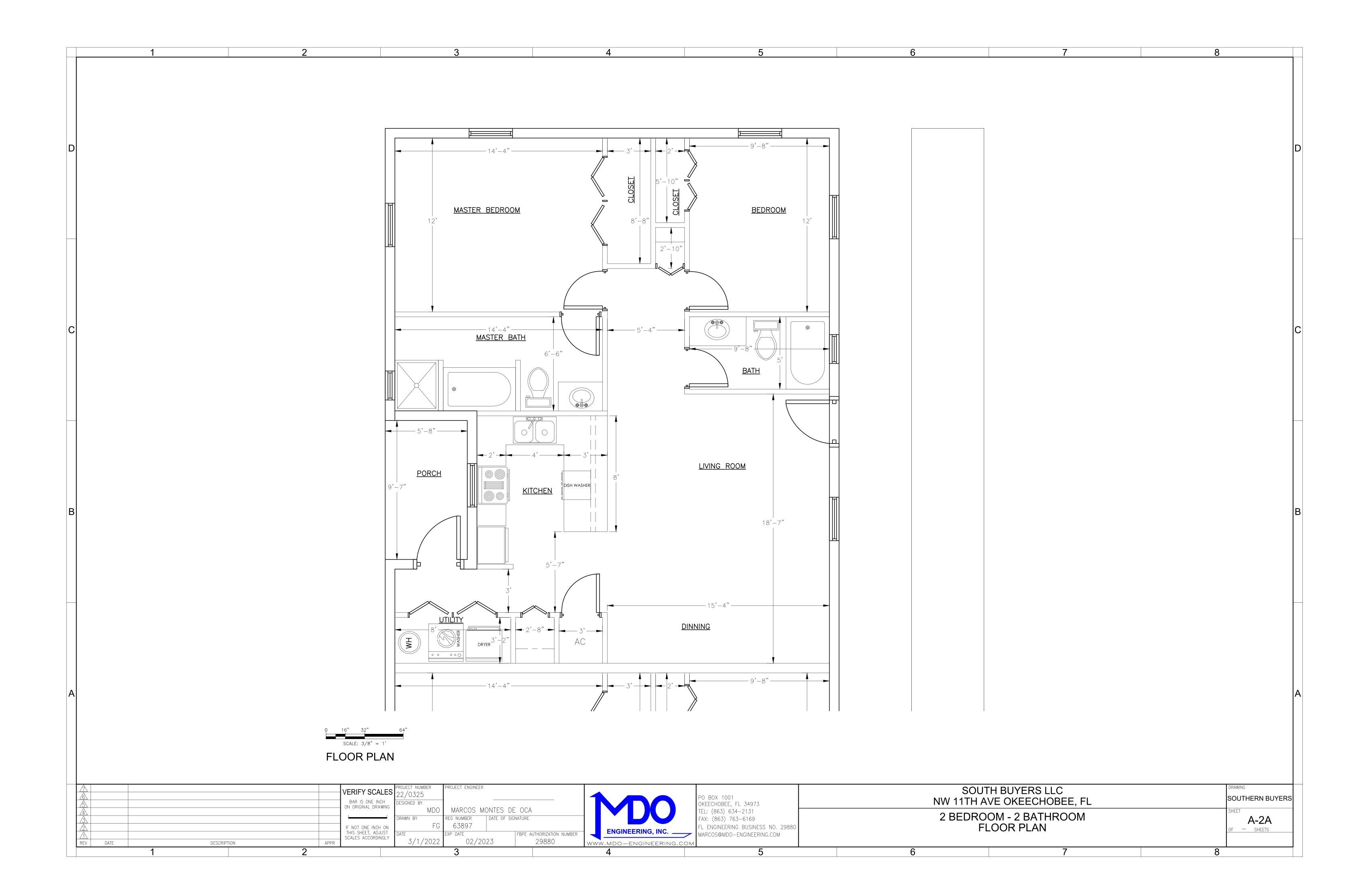


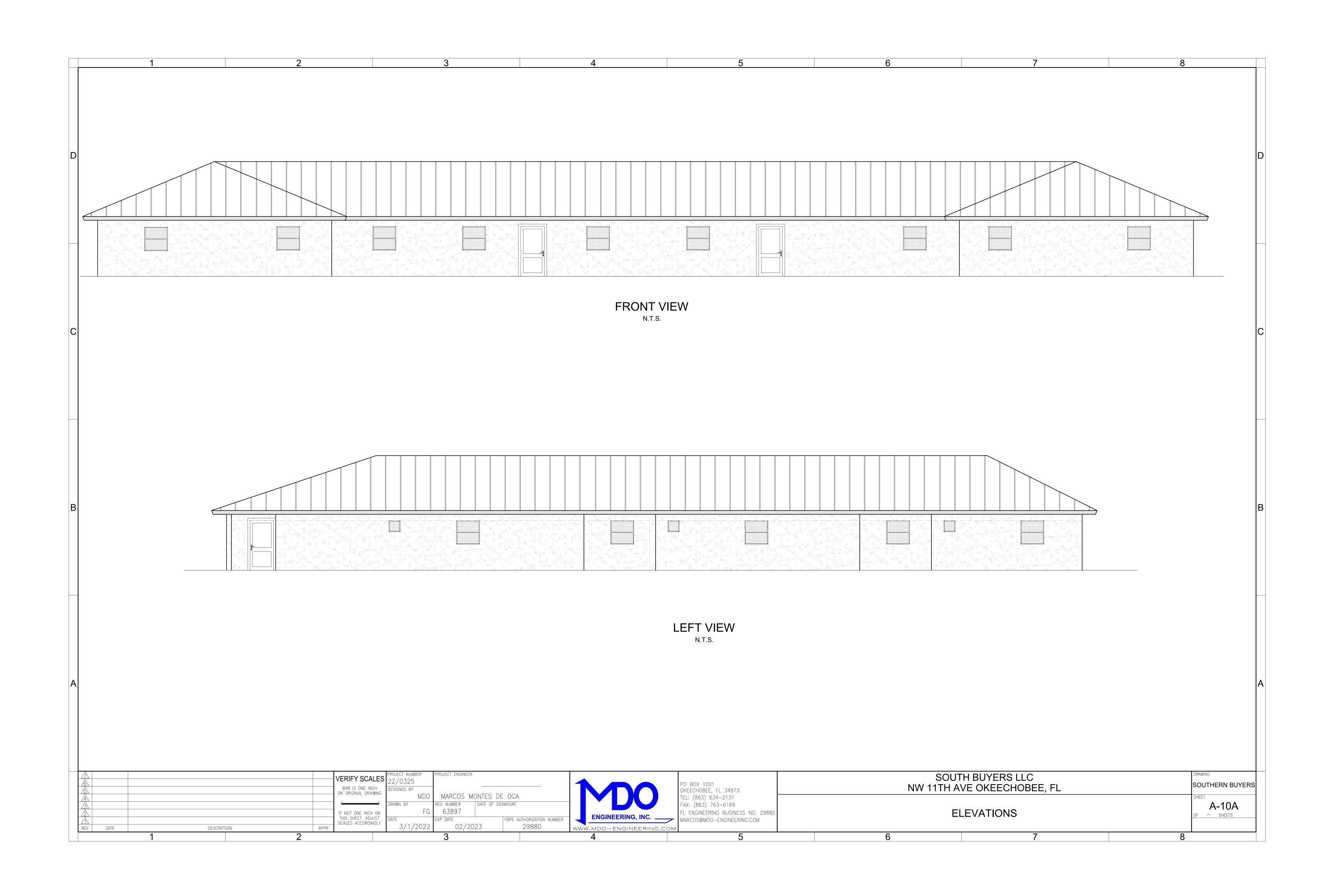


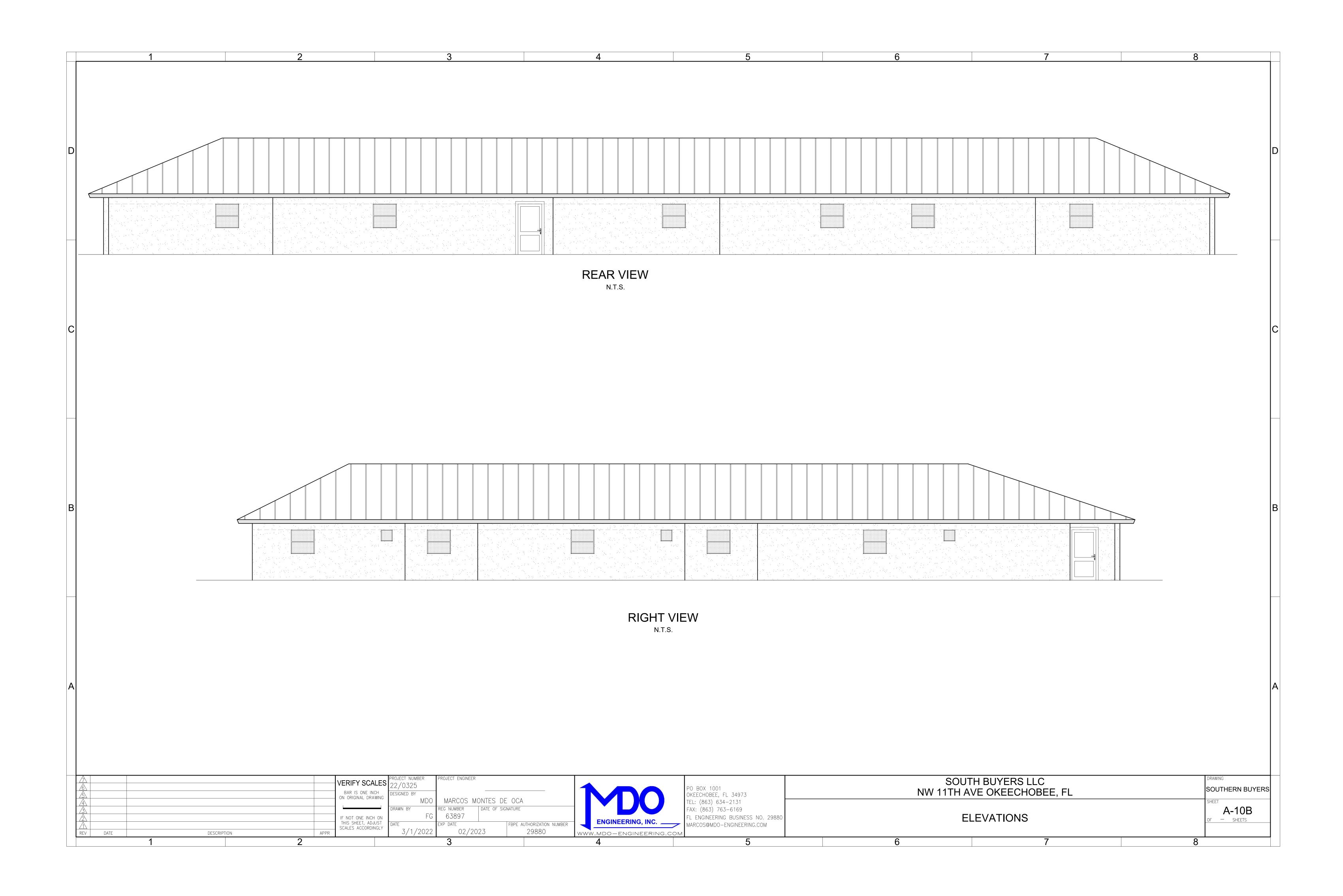












Engineering Calculations, Supplementary Items, and Application in support of review by

# City of Okeechobee



## Site Plan Technical Review

Serving:

# **Southern Buyers Multi-Family Development**

OKEECHOBEE, FLORIDA

Prepared By:



MDO Engineering, Inc. PO Box 1001 Okeechobee, FL 34973

August 2022

**ENGINEER OF RECORD** 

MARCOS MONTES DE OCA, P.E. FLORIDA REGISTICATION NO 63897 CERT. OF AUTRORIZATION NO 6389880

## PROJECT DESCRIPTION AND DRAINAGE SUMMARY

This document describes the proposed construction of the Southern Buyers Multifamily development, including paving, drainage, utility and related features. The site features 7 multifamily homes residences with common area.

This permit is the construction of the roadway, parking area, drainage system and related facilities shown on the construction plans. This project conforms to the City of Okeechobee requirements and regulations.

#### DRAINAGE DESIGN

The project design items will be limited as depicted on the attached construction plans. This total project area is 0.76 acres, which includes a dry detention area, a series of inlets and control structure to discharge to the north of the project. The dry detention area will serve as both water quality treatment and attenuation. The area to be developed is collected via swales or piped towards the detention area, containing a control structure. The control structure discharges to the onsite ditch network. Runoff from the developed area will be treated in the detention basin while the remaining undisturbed/undeveloped area will remain in its natural state. It is important to note, all stormwater is directed to the City's Right of way, in the amount consistent with the pre-development condition. Finish floor elevation have also been determined and the ones utilized are above the calculated ones. The finish floor elevations shown are based upon the City's ordinance of 18 inches above the crown of the roadway.

The surface water management system (SWMS) consists of one onsite drainage basin, which serves the project developable area. Catch basins and culverts will be used along the roadway and yard areas to effectively convey flows to the detention facility. Detailed drawings for these areas are included in the attached construction plans.

#### **EXISTING CONDITIONS:**

The project area currently sheet flows towards the roadway swale system along NW 11<sup>th</sup> Avenue. The proposed condition will reflect the reduced flows in the same direction and manner as in the pre-development conditions and mimic the same location of the existing flows.

#### PROPOSED CONDITIONS:

The site currently is vacant and unimproved. The proposed SWMS for the site will provide the required amount of water quality treatment, attenuation for the design storm and is anticipated to discharge in quantities that mimic existing conditions, including discharge location.

The developable area consists of building structures, roadway, parking area and open areas. The discharge from the detention facility will be directed into the right of way of NW 11<sup>th</sup> Street.

The project area is not within the 100-year flood plain.

#### CONSTRUCTION PLANS:

Construction plans for the site have been included at a construction level for the proposed development. Details for the locations of building, structures and all proposed improvements have been included. Offsite utility locations and connections will follow upon meeting with Okeechobee Utility Authority to insure connection for both potable and sanitary availability.

## Project Land Use Breakdown for the site is as follows:

POST-D	EVELOPME	Exhibit E ENT BASIN (		ERISTICS (1	OTAL)
		Project Name:	Southern Buye	ers	
		Engineer:	MDO		
		Date:	June 11, 2022		
	1				
	Building	Pervious	Impervious	Total Area	
0.242033976	0.24 acres	0.34 acres	0.18 acres	0.76 acres	
Percentage of Onsite Area	32%	45%	23%	100%	

# Site Characteristics is shown below:

(note site was modeled as a single basin input with one control structure with ADICPR Ver. 3

		BASIN CH	IARACTER	ISTICS -	Basin 1			
	Soil Type =	Coastal Soil			Southern Bu	uyers		
So	oil Condition =	Compacted						
Soil storage reduction due to	compaction =	75%						
	Water Table =		FEET					
	Soil Storage =		INCHES	(PER SFWN	ID FLATWO	ODS SOIL CAT	EGORY WITH	COMPACTION)
		0.242033976	0.24 acres	0.34 acres		0.76 acres	32.12	0.00
		Total Area	0.318465758	0.4488365	0.2	0.2		
Cı	ırve Number =	1000 / (S+10) =	100					
	DCIA=	0	%					
Time of C	oncentration =	0.50	hours =	30.0	minutes	Water Quality	- 1 inch =	0.06 ac-ft
	Building / Concrete	Dry Det / Btm	Dry Det / Slopes/Swales	Wetlands	Road	Open Area	Totals	
Total Areas (Ac.)	0.24	0.12	0.01	0.00	0.18	0.21	0.76	
Bldg. %	32%	15%	1%	0%	23%	28%	100%	
Bldg. Area	0.2	0.1	0.0	0.0	0.2	0.2	0.8	
Pervious %	0%	0%	50%	50%	0%	100%		
Pervious Area (Ac.)	0.0	0.0	0.0	0.0	0.0	0.2	0.22	
Impervious %	100%	100%	50%	50%	100%	0%	71%	
Impervious Area (Ac.)	0.24	0.12	0.01	0.00	0.18	0.00	0.54	

# Site stage storage table is below:

(site is based on elevations provided by Client)

Computation Type	Stage-Storage									
Starting Stage =	28.00									
Ending Stage =	32.00									
Stage Increment =	0.20									
Name	Building / Concrete	Dry Det / Btm	Dry Det / Slopes/Swales	Wetlands	Road	Open Area	0.76		Water Qual	its Dad
Area Available for Surface	0.24	0.12	0.01	0.00	0.10	0.21	ac 0.76	1"X AREA	0.06	0.09
Water Storage	0.24	0.12	0.01	0.00	0.18		0.76	2.5" X IMP	0.00	0.09
Start Elev	32.00	28.00	28.00	0.00	30.00 32.00	28.00 29.00		2.5 X IIVIP		at 1 inch ac-f
End Elev		0.00	28.20	0.00	32.00	29.00				at 1 men ac-1
Stage	Vert	Vert	Linear	Vert	Linear	Linear	Net Total			
Feet	Storage	Storage	Storage	Storage	Storage	Storage	Storage Ac-ft			
NGVD	Ac-ft	Ac-ft	Ac-ft	Ac-ft	Ac-ft	Ac-ft 0.00	0.00			
28.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00			
28.20	0.00	0.02	0.00	0.00	0.00					
28.40	0.00	0.05	0.00	0.00	0.00	0.02	0.07	C		
28.60	0.00	0.07	0.01	0.00	0.00	0.04	0.12	first inch		
28.80	0.00	0.10	0.01	0.00	0.00	0.07	0.17	WO Flor As	tata and a	
29.00	0.00	0.12	0.01	0.00	0.00	0.11	0.24	WQ Elev Ac	nieved	
29.20	0.00	0.14	0.01	0.00	0.00	0.15	0.31			
29.40	0.00	0.17	0.01	0.00	0.00	0.19	0.37			
29.60	0.00	0.19	0.02	0.00	0.00	0.24	0.44			
29.80	0.00	0.22	0.02	0.00	0.00	0.28	0.51	m: 1.1 ml	DI CI I	
30.00	0.00	0.24	0.02	0.00	0.00	0.32	0.58	Finish Floor 0.6	ac-ft	
30.20	0.00	0.26	0.02	0.00	0.00	0.36	0.65	212		
30.40	0.00	0.29	0.02	0.00	0.01	0.41	0.73	10 inches x	site area	
30.60	0.00	0.31	0.03	0.00	0.02	0.45	0.80			
30.80	0.00	0.34	0.03	0.00	0.03	0.49	0.88			
31.00	0.00	0.36	0.03	0.00	0.04	0.54	0.97			
31.20	0.00	0.38	0.03	0.00	0.06	0.58	1.06			
31.40	0.00	0.41	0.03	0.00	0.09	0.62	1.15			
31.60	0.0	0.4	0.0	0.0	0.1	0.7	1.24			
31.80	0.0	0.5	0.0	0.0	0.1	0.7	1.34			
32.00	0.0	0.5	0.0	0.0	0.2	0.8	1.45			

# Control Structure Sizing and weir sizing:

				BASIN 1					
ina Wate	er Quality Deter	ntion Volume			ļ		***		
ire wat	er Quarty Deter	ntion volume	Total Area	0.8	00000				
				0.8	acres				
			Building Area		acres				
			SWMS Impervious Area	0.5	acres	0.76			
		0.24203397		0.34 acres	0.18 acres	0.76 acres			
		<u> </u>	0.318465758	0.4	0.2323172				
		Impervious	Area w/o SWMS Area = % Impervious =	0.4 55%	acres				
		Detention Vo	lume is the greater of 1.0 Treatment Method			x % of imperviou	is area		
		Percen	t of Treatment Required	75%					
		1'	over the Project Area =	0.06	acre-feet				
		2.5	"x % Impervious Area =	0.09	acre-feet				
		Deten	tion Volume Required =	0.07	acre-feet				
		Water Qua	lity Volume Elevation =		FTNAVD				
	28 32	Ва	asin Control Elevation =		FTNAVD				
	32		Disc	harge Capac	ities				
	Wate	er Quality Disc				Onsite Contribut	ing Area f	or Peak Discl	iarge
			verage discharge rate the treatment area.			BASIN 1	0.76		
Basin 1	Project Area =	0.12	acres		Total Con	tributing Area =	0.76		
	32	28.00	28		30	28			
			<u>28.2</u>		32	29			
			Bleede	er Shape & S	Sizing				
Circul	ar Orifice Equa	ntion	0	rifice Equatio	n			first inch	
D=		4.6 inches		$Q = CA\sqrt{(2gh)}$				WQ Elev A	chieved
a =	0.11	feet <sup>2</sup>							
C=	0.25	2000	,	Weir Equation					
g=	32.20	ft/sec <sup>2</sup>		$Q = CLH^{\wedge}(3/2)$					
h=	-0.19	feet							
Q=	#NUM!	cfs	Utilize min. 3 inch diam				Finish Floor 0.6	Elev Checl ac-ft	
eak Dis	scharge Weir	Sizing						10 inches x	site area
				Contract Contract Contract					
	Permitted Deal		or Contributing Area = 0						
			d allowable discharge, ble						

## **ADICPR** model inputs:

**Basins** 

Name: Basin1

Node: Basin1

Status: Onsite

Group: BASE

Type: SCS Unit Hydrograph CN

Unit Hydrograph: Uh256

Peaking Factor: 256.0

Rainfall File:

Storm Duration(hrs): 0.00

Rainfall Amount(in): 0.000

Time of Conc(min): 15.00

Area(ac): 0.760

Time Shift(hrs): 0.00

Curve Number: 76.00

Max Allowable Q(cfs): 999999.000

DCIA(%): 0.00

Nodes

Name: Basin1

Base Flow(cfs): 0.000

Init Stage(ft): 27.000

Group: BASE

Warn Stage(ft): 30.000

Type: Stage/Volume

Stage(ft) Volume(af)

28.000 0.0000 28.200 0.0300 28.400 0.0700 28.600 0.1200 28.800 0.1700 29.000 0.2400 29.200 0.3100 29.400 0.3700 29.600 0.4400 29.800 0.5100 30.000 0.5800 30.200 0.6500 30.400 0.7300 0.8000 30.600 30.800 0.880031.000 0.9700 31.200 1.0600

31.400

1.1500

31.600	1.2400
31.800	1.3400
32.000	1.4500

Name: offsite

Base Flow(cfs): 0.000

Init Stage(ft): 25.500

Group: BASE

Warn Stage(ft): 0.000

Type: Time/Stage

Time(hrs)	Stage(ft)
12.00	26.000
24.00	26.000
48.00	26.500
60.00	27.000
72.00	27.000
80.00	26.500

## **Drop Structures**

Name: cs1

From Node: Basin1

Length(ft): 40.00

Group: BASE

To Node: offsite

Count: 1

UPSTREAM	DOWNSTREAL	M Friction Equation: Automatic
Geometry: Circular	Circular	Solution Algorithm: Most Restrictive
Span(in): 18.00	18.00	Flow: Both
Rise(in): 18.00	18.00	Entrance Loss Coef: 0.000
Invert(ft): 27.000	27.000	Exit Loss Coef: 1.000
Manning's N: 0.01200	0.012000	Outlet Ctrl Spec: Use dc or tw

Top Clip(in): 0.000

0.000

Inlet Ctrl Spec: Use dc

Bot Clip(in): 0.000

0.000

Solution Incs: 10

## Upstream FHWA Inlet Edge Description:

Circular Concrete: Square edge w/ headwall

## Downstream FHWA Inlet Edge Description:

Circular Concrete: Square edge w/ headwall

## \*\*\* Weir 1 of 2 for Drop Structure cs1 \*\*\*

**TABLE** 

Count: 1

Bottom Clip(in): 0.000

Type: Horizontal

Top Clip(in): 0.000

Flow: Both

Weir Disc Coef: 3.200

Geometry: Circular

Orifice Disc Coef: 0.600

Span(in): 3.00

Invert(ft): 27.000

Rise(in): 3.00

Control Elev(ft): 27.000

\*\*\* Weir 2 of 2 for Drop Structure cs1 \*\*\*

**TABLE** 

Count: 1

Bottom Clip(in): 0.000

Type: Horizontal

Top Clip(in): 0.000

Flow: Both

Weir Disc Coef: 3.200

Geometry: Rectangular

Orifice Disc Coef: 0.600

Span(in): 36.00

Invert(ft): 29.500

Rise(in): 99999.00

Control Elev(ft): 0.000

**Hydrology Simulations** 

Name: 25year3day desi

Filename: C:\Users\MDO\Desktop\model\25year3day design.R32

Override Defaults: Yes

Storm Duration(hrs): 72.00

Rainfall File: Sfwmd72

Rainfall Amount(in): 9.00

Time(hrs) Print Inc(min)

72.000 5.00

**Routing Simulations** 

Name:

Hydrology Sim:

Filename:

Execute: No

Restart: No

Patch: No

Alternative: No

Max Delta Z(ft): 1.00

Delta Z Factor: 0.00500

Time Step Optimizer: 10.000

Start Time(hrs): 0.000

End Time(hrs): 0.00

Min Calc Time(sec): 0.5000

Max Calc Time(sec): 60.0000

**Boundary Stages:** 

**Boundary Flows:** 

Time(hrs)

Print Inc(min)

999.000

15.000

Group

Run

BASE

Yes

### ADICPR MODEL SUMMARY OUTPUTS FOR DESIGN STORM EVENT:

Name	Simulation	Max Time Stage hrs	Max Stage ft	Max Time Inflow hrs	Max Inflow cfs	Max Time Outflow hrs	Max Outflow cfs	
BASIN 1	025Y072H	62.72	28.655	60.20	1.457	62.72	0.270	
Offsite	025Y072H	48.02	27.000	62.72	0.270			

Note: minimum 3 inch bleeder utilized in mode and maximum stage is lower than minimum grate elevation onsite, to insure no water discharge to department's right of way.

## A maximum stage of 28.7 was reached for the design storm.

The site is proposed to have no roadway or access concerns of rainfall during the design event.

## Traffic Generation Analysis

Project Name: Sothern Buyers - City of Okeechobee

Engineer: MYM

Date: 9/2/2022

#### **Directional Breakdown**

Project Entrance (@	@ NW 11th Avenue)	Remaining Direction Trips		P.M. Peak Hour Trips	1
Leaving Site	Left on NW 11th	50%	5	4	10
	Right on NW 11th	50%	4	5	10
Entering Site	Left on NW 11th	50%	5	4	10
	Right on NW 11th	50%	4	5	10

40 Trips per day

Due to the limited amount of units (7 Proposed)

for both am and pm trips, the addition of another 20% was included all assumed the entire parking lot is empty within the PEAk HOURS Daily Trips included parking area being visited 2 times during the day.

The total amount of trips is over stated due to the additional visiting and/or time of return.

The total trips per day are less than acceptabled on NW11th, as the level of service for a local 2 lane roadway is under 10,000 trips per day. Roadway estimated to have 800 maximum trips per day.

There are no expected adverse impacts from the development for the adjacent roadways.

Marcos Montes De Oca, P.E.

MDO Enginering, Inc.

90A 2988

# Parking Justification

Project Name: Southern Buyers City of Okeechobee

Engineer: MYM

Date: 9/2/2022

Based upon City of Okeechobee Code Division 3. Secion 90-512	Required per Unit	Number of Units	Handicapped Required
Multifamily 2 bedrooms	2	7	1
Total Parkin	14	1	
Total Parkin	g Provided	14	1

## Landscape Calculations

18 Square feet of landscaping per required spaces

3,000 square feet required onsite

1 tree per 72 square feet of lanscaping

42 Trees required

Based upon City of Okeechobee Sec. 90-533

Please refer to the landscaping plan provided.