

City of Okeechobee TECHNICAL REVIEW COMMITTEE 55 SOUTHEAST THIRD AVENUE • OKEECHOBEE, FL 34974 July 20, 2023 LIST OF EXHIBITS

Draft Minutes Summary of Committee Action June 15, 2023, and July 5,

2023

Staff Report/Exhibit 1 Site Plan Review Application No. 23-008-TRC

Staff Report/Exhibit 2 Pre-Application Plat Review/Site Plan Application No. 23-

009-TRC



CITY OF OKEECHOBEE, FLORIDA TECHNICAL REVIEW COMMITTEE MEETING JUNE 15, 2023

DRAFT SUMMARY OF COMMITTEE ACTION

I. CALL TO ORDER

Building Official Newell called the regular meeting of the Technical Review Committee (TRC) for the City of Okeechobee to order on Thursday, June 15, 2023, at 10:01 A.M. in the City Council Chambers, located at 55 Southeast Third Avenue, Room 200, Okeechobee, Florida, followed by the Pledge of Allegiance.

II. ATTENDANCE

The following TRC Members were present: Building Official Jeffery Newell, Okeechobee County Fire Rescue (OCFR) Bureau Chief Justin Hazellief, Police Chief Donald Hagan, and Public Works Director David Allen. Members absent: City Administrator Gary Ritter. Okeechobee Utility Authority (OUA) Executive Director John Hayford (entered the Chambers at 10:05 A.M.), City Planning Consultant Ben Smith and City Attorney Gloria Velazquez (via Microsoft Teams), Committee Secretary Patty Burnette, and General Services Secretary Keli Trimnal were also present. Okeechobee County Environmental Health (OCEH) Director Dianna May, and the Okeechobee County School Board representative were absent.

III. AGENDA

- **A.** There were no items added, deferred, or withdrawn from the agenda.
- **B.** Motion by Public Works Director Allen, seconded by Police Chief Hagan, to approve the agenda as presented. **Motion Carried Unanimously**.
- **C.** There were no comment cards submitted for public participation for items not on the agenda.

IV. MINUTES

A. Motion by OCFR Bureau Chief Hazellief, seconded by Public Works Director Allen, to dispense with the reading and approve the May 18, 2023, Regular Meeting minutes. **Motion Carried Unanimously**.

V. NEW BUSINESS

- A. Park Street Commerce Center Pre-Application Plat Review/Site Plan Application No. 23-003-TRC, review a pre-application for a new platted subdivision consisting of four unplatted parcels of land together with Lots 1 to 12 of Block 4, PRICE ADDITION, as recorded in Plat Book 2, Page 17, Okeechobee County public records, including East to West alleyway within said Block 4, as abandoned by City Ordinance No. 671; totaling 16.2± acres located in the 1100 to 1200 blocks along the North side of North Park Street/State Road 70 East, just West of the Eastern City Limits/Northeast (NE) 13th Avenue.
 - 1. City Planning Consultant Ben Smith of Morris-Depew Associates, Inc. briefly reviewed the Planning Staff Report explaining the current re-plat proposes to divide the subject property into four (4) developable parcels and an additional roadway tract for a proposed commerce center. Due to the level of review that is required for infrastructure plans and the number of revisions that will likely be necessary to comply with the South Florida Water Management District (SFWMD) design requirements, review for completeness and adequacy of the infrastructure plans will commence upon confirmation from SFWMD that the plat and plans substantially comply with their requirements. Based on the foregoing analysis, the following areas of deficiency must be addressed: revise traffic impact study to reflect the proposed design; redesign internal dead-end roadway to either provide a connection to another roadway or provide a turnaround; proposed plat and associated infrastructure plans must be revised to comply with SFWMD design standards; survey must be revised for accuracy; proposed internal roadways (extension of existing NE 3rd Street) should be aligned with the existing 3rd Street Right-of-Way; if the segment of NE 13th Avenue from NE 3rd Street to NE 5th Street is ever to be improved, the plat should consider that future improvement through a reservation and dedication of that area for that purpose; provide an updated Opinion of Title with a description that matches the proposed plat; clarification on the abandonment, of NE 12th Avenue aka Mobley Street must be provided.

V. NEW BUSINESS A CONTINUED

- Building Official Newell reviewed and discussed the eight conditions noted on page five of the Planning Staff Report with Mr. Johnny Herbert, Engineer of record for the project. Secretary Burnette read into the record an email from Environmental Health Director May, which noted she had no comments given the project would be serviced by the OUA. OCFR Bureau Chief Hazellief inquired about the notation, hydrant to be moved, that was on the plans. Mr. Herbert responded the hydrant was being moved over so it could be driven around easier. Public Works Director Allen asked for clarification on the extension of NE 13th Avenue. Would the roadway be improved to not landlock the property to the North. Inquired as to the aligning of proposed roadway with NE 3rd Street. OUA Executive Director Hayford inquired as to whether the wastewater system would be privately owned or public. Mr. Herbert responded public. Mr. Hayford requested wording on the plans be corrected to indicate this as well as revised plans detailing the design of the lift station and system and that it needs to meet all OUA requirements. Design plans for the size of the piping and collection system currently do not meet requirements. The current design does not have the watermain looped and there cannot be dead ends. More hydrants may be needed. Lastly, he commented the manhole labeled as number three, appears to be located in a drainage ditch. Mr. Herbert stated he would get clarification on that.
- 3. Mr. Adam Ramsey, Registered Agent for Park Street Okeechobee LLC, reviewed and answered the eight questions listed on page five of the Planning Staff Report. He advised most contingencies have been revised and they would provide updates to us in a timely manner, including those which were brought up today. Mr. Brandon Tucker, Real Estate Agent for the Property Owner, Mr. William Grigsby, commented he has dealt with this property since 2007 or 2008 and hopes the project will be able to move along.
- 4. No public comments were offered.
- **5.** No disclosure of Ex-Parte Communications¹ were offered.
- 6. Motion by Police Chief Hagan, seconded by OCFR Bureau Chief Hazellief, to continue Park Street Commerce Center Pre-Application Plat Review/Site Plan Application No. 23-003-TRC as presented in [Exhibit 1] to the July 20, 2023, meeting addressing the following contingencies: traffic impact study must be revised to reflect the proposed design; internal dead-end roadway must be redesigned to either provide a connection to another roadway or provide a turnaround; proposed plat and associated infrastructure plans must be revised to comply with SFWMD design standards; survey must be revised for accuracy; proposed internal roadways (extension of existing NE 3rd Street) should be aligned with the existing 3rd Street Right-of-Way; if the segment of NE 13th Avenue from NE 3rd Street to NE 5th Street is ever to be improved, the plat should consider that future improvement through a reservation and dedication of that area for that purpose; provide an updated Opinion of Title with a description that matches the proposed plat; clarification on the abandonment, of NE 12th Avenue aka Mobley Street, must be provided. Motion Carried Unanimously.

VI. CITY ADMINISTRATOR UPDATE

No updates provided at this time.

VII. ADJOURNMENT

Submitted by:

Building Official Newell adjourned the meeting at 11:00 A.M.

Patty M.	Burnette, S	ecretary

Please take notice and be advised that when a person decides to appeal any decision made by the Technical Review Committee with respect to any matter considered at this proceeding, he/she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based. General Services' media are for the sole purpose of backup for official records.



CITY OF OKEECHOBEE, FLORIDA SPECIAL MEETING TECHNICAL REVIEW COMMITTEE JULY 5, 2023

DRAFT SUMMARY OF COMMITTEE ACTION

I. CALL TO ORDER

Administrator Ritter called the Special Meeting of the Technical Review Committee (TRC) for the City of Okeechobee to order on Wednesday July 5, 2023, at 10:04 A.M. in the City Council Chambers, located at 55 Southeast Third Avenue, Room 200, Okeechobee, Florida, followed by the Pledge of Allegiance.

II. ATTENDANCE

The following TRC Members were present: City Administrator Gary Ritter, Building Official Jeffery Newell, Okeechobee County Fire Rescue (OCFR) Bureau Chief Justin Hazellief, Police Chief Donald Hagan, and Okeechobee County Environmental Health (OCEH) Director Dianna May. Members absent: Public Works Director David Allen (entered the Chamber at 10:06 A.M.). City Planning Consultant Ben Smith and City Attorney Gloria Velazquez (via Zoom), Committee Secretary Patty Burnette, and General Services Secretary Keli Trimnal were also present. Okeechobee Utility Authority (OUA) Executive Director John Hayford and Okeechobee County School Board representative were absent.

III. AGENDA

- **A.** There were no items added, deferred, or withdrawn from the agenda.
- **B.** Motion by Building Official Newell, seconded by Police Chief Hagan, to approve the agenda as presented. **Motion Carried Unanimously**.
- **C.** There were no comment cards submitted for public participation for items not on the agenda.

IV. UNFINISHED BUSINESS

- A. Continued from the June 15, 2023, Meeting, Park Street Commerce Center Pre-Application Plat Review/Site Plan Application No. 23-003-TRC, review a pre-application for a new platted subdivision consisting of four unplatted parcels of land together with Lots 1 to 12 of Block 4, PRICE ADDITION as recorded in Plat Book 2, Page 17, Okeechobee County public records, including East to West alleyway within said Block 4, and the portion of Northeast (NE) 2nd Street (f/k/a Center Street) located North of said Block 4, as abandoned by City Ordinance No. 671; totaling 16.2± vacant acres located in the 1100 to 1200 blocks along the North side of North Park Street/State Road 70 East, just West of the Eastern City Limits/NE 13th Avenue.
 - 1. City Planning Consultant Ben Smith of Morris-Depew Associates, Inc. commented there was not a revised Staff Report. He reviewed each of the eight contingencies from the June 15th meeting and whether the Applicant had provided information/documents to satisfy each one.
 - 2. City Administrator Ritter commented Staff had spoken to the City's Attorney regarding the abandonment of a portion of NE 12th Avenue. The procedure would be to include this abandonment as part of the replat.
 - **3.** Mr. Scott Winch, Development Consultant for the Applicant, and Mr. Johnny Herbert, Project Engineer, attended (via Zoom) advised contingencies will be met.
 - **4.** No public comments were offered.
 - **5.** Administrator Ritter disclosed he had spoken to Mr. Winch numerous times.
 - 6. Motion by OCFR Bureau Chief Hazellief, seconded by Police Chief Hagan, to approve the Park Street Commerce Pre-Application Plat Application No. 23-003-TRC, as presented in [Exhibit 1] with the following contingencies: Submit revised Traffic Impact Study to reflect the proposed design, information on the proposed abandonment, and copy of South Florida Water Management District Permit Application with acknowledgement of their receipt of such and that the review is in progress/or comments they may have. Motion Carried Unanimously.

V. ADJOURNMENT

City Administrator Ritter adjourned the meeting at 10:32 A.M.

Su	bm	itted	by:

Patty M. Burnette, Secretary

Please take notice and be advised that when a person decides to appeal any decision made by the Technical Review Committee with respect to any matter considered at this proceeding, he/she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based. General Services' media are for the sole purpose of backup for official records.



23-008-TRC

Site Plan Review Staff Report



Applicant | Nicholas Jones
Parcel Identification | 3-15-37-35-0010-01710-0120 (34091)



Prepared for The City of Okeechobee



General Information

Owner: OKBEE Outparcel LLC Applicant: Nicholas Jones

Primary Contact: Ammar Adnan: <u>aadnan@pennoni.com</u>
Parcel Identification: 3-15-37-35-0010-01710-0120 (34091)

Note: For the legal description of the project or other information relating this application, please refer to the application submittal package which is available by request at City Hall and is posted on the City's website prior to the advertised public meeting at: https://www.cityofokeechobee.com/agendas.html

Future Land Use, Zoning, and Existing Use of Subject Property

Parcel Identification: 2-15-37-35-0A00-00009-0000	Existing	Proposed
Future Land Use	Commercial	Commercial
Zoning	Heavy Commercial	Heavy Commercial
Use of Property	Vacant gas station/convenience store	Medical Marijuana Dispensary
Acreage	1.06 Acres	1.06 Acres

Future Land Use, Zoning, and Existing Use of Surrounding Properties

	Future Land Use	Zoning	Existing Use
North	Commercial	Heavy Commercial (CHV)	Commercial structure
East	Commercial	Heavy Commercial (CHV)	Burger King drive-through restaurant
South	Single-Family Residential	Heavy Commercial (CHV)	Florida Power & Light Co. Switch Station
West	Commercial	Heavy Commercial (CHV)	Wendy's drive-through restaurant



General Description

The request for consideration by the City's Technical Review Committee is an application for Site Plan Review of a parcel containing an existing, vacant 2,425 square-foot convenience store and gas station canopy. The proposed use will occupy the existing structures on the 1.06-acre parcel. The site has frontage on the SR-70 commercial corridor, as well as on SE 6th Ave. Staff analysis of the submitted application and plans is provided below. Areas of deficiency or concern are highlighted in yellow.

Nonconforming Structure Considerations

The subject property meets the definition of a nonconforming structure per LDC 66-1, as it does not meet current code with regard to landscaping, parking, and other provisions.

Nonconforming structure means a lawful building or structure existing on the date of enactment or amendment of these regulations, but which does not conform to the yard, setback, coverage, height, parking, landscaping or supplementary regulations of the district in which it is located.

Due to the vacancy of the property and the recent sale of the property, both LDC 90-35 and 90-37 are pertinent to the redevelopment of the property.

Sec. 90-37. - Discontinued use of nonconforming structure.

When a nonconforming structure is discontinued or abandoned for a period for a year, any future use of the property shall comply with the following:

(2) Nonconformity. Future use shall not increase the extent of nonconformity by reason of insufficient yards, setbacks, landscaping or parking, or excessive floor area, coverage or height.

The proposed site plan indicates that none of the existing nonconformities are being increased. In fact, most are being decreased or brought into full compliance.

90-35. - Change or transfer of nonconforming use or structure.

- (d) Transfer of a nonconforming structure. In the event of the underlying land on which exists a nonconforming structure is sold, assigned or in any manner transferred from the record title holder of said lands, as such ownership is reflected in the records of the Clerk of Court, and Property Appraiser for Okeechobee County, such nonconforming structure may continue in the new owner, so long as the land is not a nonconforming use, and the nonconforming structure is not expanded or repaired except as authorized in these regulations. The transfer of such nonconforming structure is further subject to the requirement that the new owner must comply, to the extent reasonably possible, considering the nature and configuration of the structure, with all current codes, land use and zoning requirements, except off-street parking requirements, of the district regulations applicable to the structure. Provided however:
 - (1) That, if by physical evidence such as photographs or aerial photography, it becomes evident to the city that portions of the property have been used for off-street parking but are unpaved or unimproved, unmarked or otherwise do not meet the city's design



requirements for such parking, the owner shall improve the quality of such area (or its dimensional equivalent) with "pavers" or other form of dustless surface acceptable to the city for the purposes of vehicular parking. The number of spaces to be provided shall be equal to that which can be accommodated within the geographic area previously used for parking with said spaces and interior circulation components meeting the city's minimum design requirements for off-street parking and vehicular use areas.

Whereas 90-37 only dictates that existing nonconformities shall not be increased, 90-35 suggests that the new owner must comply, to the extent reasonably possible, with all current codes. What is reasonable should be considered by the Technical Review Committee, considering that it may not be reasonable to require total compliance in every area of the site, as the applicant's plans demonstrate several improvements to the site from its current condition.

Adequacy of Public Facilities

<u>Potable Water and Sewer:</u> The applicant has indicated that the site has existing potable water and sanitary sewer service connections.

Service Vehicle Access and Egress:

A. Fire Truck

Sufficiency of fire truck access and egress to be addressed by the Fire Department.

B. Loading Zone

No Loading zones are required, and none are proposed.

C. <u>Dumpster Location and/or Trash Collection</u>

The proposed site plan identifies a dumpster within an enclosure, southwest of the principal structure. A paved pedestrian walkway extends south from the building to the dumpster enclosure. No improvements are proposed to provide paved vehicular access to the dumpster location. The public works director should address whether additional paving is necessary for solid waste removal.

Traffic Impacts

A Traffic Impact Statement has been provided within the submittal package, completed for one (1) medical cannabis dispensary on the 1.06-acre project area. The Traffic Study, which utilized the ITE 882, Marijuana Dispensary use code to determine the average daily trips, indicates an estimated AM peak of 26 trips, a PM peak of 46 trips, and an average 511 daily trips generated by the medical cannabis dispensary.

Land Use	ITE	Size	Time	Trip	Generation	In	Out	Total Trips		
Lanu Ose	Code	Size	Time		Rate	=		In	Out	Total
			Daily	T =	211.12 (X)	50%	50%	256	255	511
Marijuana Dispensary	882	2,422 SF	AM Peak Hour	T =	10.54 (X)	52%	48%	14	12	26
			PM Peak Hour	T =	18.92 (X)	50%	50%	23	23	46



Site Access

The existing site has multiple access points on SR-70, on SE 6th Ave, and between the adjacent property to the west. The proposed site plan:

- Removes the existing access points from SR-70, which is desirable to improve traffic flow on that roadway and was requested by FDOT;
- Preserves the existing northern access point to the adjacent property to the west;
- Block/removes the existing southern access point to the adjacent property to the west;
- Reduces the width of the existing northern access point from 6th Avenue to 24 feet wide;
- Preserves nearly the full width of the existing southern access point from 6th Avenue.

All of the above are beneficial improvements except for the last item. . The existing southern access to SE 6th Ave is approximately 105' in width, which creates the opportunity for multiple vehicles to utilize the driveway simultaneously, which presents potential concerns to traffic flow on SE 6th Ave. Additionally, the code requires a minimum 10' wide street frontage landscape buffer which is not provided along that frontage segment.

The applicant is proposing replacement of the sidewalk on SR-70 and provision of a new sidewalk along a portion of the SE 6th Ave frontage.

Internal Circulation

Regarding internal circulation of the site, the City's LDC requires that two-way drive aisles are at least 24 feet wide. The plans do not adequately demonstrate that drive aisles are fully 24 feet between the canopy bollards/supports and the curbs/parking spaces. The demolition plan does not include removal of a raised concrete island located within the drive aisle connecting the northern and southern driveways. This should be removed if vehicular access to the southern area of the site is being preserved. If that access will not be preserved, the access should be blocked more completely with a more substantial feature.

The southern area of the site is proposed to remain largely unimproved. Blocking of the existing southern access point to the adjacent property to the west will remove the possibility of through traffic in that area though it does not provide improved access to the proposed dumpster location.

Consistency and Compatibility with Adjacent Uses

The subject property is surrounded by commercial uses and is located along the SR-70 commercial corridor, which supports a variety of commercial uses..

The proposed use is consistent with the comprehensive plan and the zoning code, in addition to being compatible with surrounding uses.



Compliance with Land Development Code

Regulation	Requirement	Compliance Notes
Permitted Uses §90-282	The following principal uses and structures are permitted in the CHV district: Medical marijuana dispensary as defined and regulated in F.S. § 381.986.	In compliance
Minimum Lot Area §90-196(1)	6,250 square feet for all uses	Property area: 46,148 sq/ft In compliance
Minimum Lot Width §90-285(1)	50'	Smallest property width: 107' In compliance
Min front yard setback §90-285(2)(a)	20' to buildings; ten feet to parking and driveway	In compliance
Minimum Required Side Setbacks §90-285(2)(a)	8'	In compliance
Minimum Required Rear Yard §90-285(2)(a)	10'	In compliance
Max lot coverage §90-285(3)	50%	5% In compliance
Max impervious surface §90-285(3)	85%	54% existing 50% proposed
		In Compliance
Max height §90-285(4)		
Parking spaces location §90-511(a) Required off-street parking and loading spaces shall be located on the same parcel as the primary use, unless approved by TRC upon submittal of written agreement to ensure continued availability		In Compliance In Compliance



Min parking space dimensions §90-511(b)	9' by 20'	In compliance	
Min parking access width §90-511(d)(2)(a)	Parking spaces between 75 degrees and 90 degrees angles to the driveway, 24 feet.		
Paving §90-511(e)(1)	Each parking and loading space shall be paved	Site plans indicate that the northern area of the site, including the parking spaces, will be entirely paved. The southern portion of the site is proposed to remain mostly unimproved, with no dedicated paved access to the dumpster enclosure.	
Parking and loading space layout §90-511(e)(2)	Each parking space shall be designed to permit access without moving another vehicle.	In compliance	
Parking and loading space layout §90-511(e)(3)	Buildings, parking and loading areas, landscaping and open spaces shall be designed so that pedestrians moving between parking areas and buildings are not unreasonably exposed to vehicular traffic hazards.	In compliance	
Parking and loading space layout §90-511(e)(4)	Paved pedestrian walks shall be provided along the lines of the most intense use, particularly between building entrances to streets, parking areas, and adjacent buildings.	In compliance	
Space Regulations §90-512(2)	1 space per 300 sq/ft of floor area service $2,425 \div 300 = 8.12$	10 spaces proposed. In compliance	
Min ADA parking space dimensions FL Accessibility Code §502	12' by 20' w/ a 5' wide access aisle	In compliance	
Min number of ADA parking spaces FL Accessibility Code §208.2	1 ADA space required for 25 parking spaces	1 space proposed In compliance	



Off-street loading space requirement regulations; Commercial, Industrial	1 for 5,000 to 25,000 square feet floor area	O designated loading spaces provided	
§90-513(2)	0 loading spaces required	In compliance	
Required Landscaping §90-532	At least 1 tree and 3 shrubs shall be planted for every 3,000 sq/ft of lot area, excluding areas of existing vegetation which are preserved.		
All vehicular use areas cont	aining eight or more parking spaces, or co	·	
	perimeter and interior landscaping as follows:		
Landscaping Requirements for Parking and Vehicular Use Areas §90-533(1)	At least 18 square feet of landscaped area for each required parking space. 8 x 18 = 144	In compliance	
. ,		In compliance	
Landscaping Requirements for Parking and Vehicular Use Areas §90-533(2)	At least one tree for each 72 square feet of required landscaped area. 144 ÷ 72 = 2	птсотприансе	
Landscaping Requirements for Parking and Vehicular Use Areas §90-533(3)	Shade trees shall be planted at no more than 20 feet on centers	In compliance	
Landscaping Requirements for Parking and Vehicular Use Areas §90-533(4)	A minimum two feet of landscaping shall be required between vehicular use areas and on-site buildings and structures, except at points of ingress and egress.	Not in compliance	
Landscaping Requirements for Parking and Vehicular Use Areas §90-533(5)	The minimum dimension for any required landscaped area within a parking or vehicular use area shall be four feet except for that adjacent to onsite buildings and structures.	In compliance	
Landscaping Requirements for Parking and Vehicular Use Areas §90-533(6)	A landscaped island, minimum five feet by 15 feet and containing at least one tree, shall be required for every ten parking spaces with a maximum of 12 uninterrupted parking spaces in a row.	proposed.	



Landscaping Requirements for Parking and Vehicular Use Areas §90-533(7)	The remainder of a parking landscape area shall be landscaped with grass, ground cover, or other landscape material.	
Landscape buffer areas §90-534(1)	Minimum width of buffer along street frontage shall be ten feet	landscaped buffer along SE 6 th Ave is not in compliance.
Landscape buffer areas §90-534(2)	At least 1 tree and 3 shrubs for each 300 sq/ft of required landscaped buffer	Northern boundary with street frontage: 165' Required buffer: 1,650 sq/ft 6 trees & 17 shrubs required 7 trees & 42 shrubs proposed; In Compliance Southern boundary: 97' Required buffer: 194 sq/ft 1 tree & 3 shrubs required None Proposed; Not In Compliance Eastern boundary: 316' Required buffer: 2,680 sq/ft (not including 2 vehicular access driveways, each 24' wide) 9 trees & 27 shrubs required 4 trees & 9 shrubs proposed; Not In Compliance In order to fully comply, the width of the southern access to SE 6 th Ave would be reduced to 24' and the required 10 buffer would be
		provided along the remainder of the frontage on SE 6 th Ave. Western boundary: 296'
		Required buffer: 592 sq/ft 2 trees & 6 shrubs required 5 trees & 3 shrubs proposed (4
		trees existing); Not in Compliance
Landscape buffer areas §90-534(3)	Trees may be planted in clusters, but shall not exceed 50' on centers abutting the street	In compliance



Landscape buffer areas §90-534(4)	The remainder of a landscape buffer shall be landscaped with grass, ground cover, or other landscape material.	In compliance	
Landscape design and plan §90-538(a)	Proposed development, vehicular and pedestrian circulation systems, and site drainage shall be integrated into the landscaping plan.		
Landscape design and plan §90-538(b)	Existing native vegetation shall be preserved where feasible, and may be used in calculations to meet these landscaping requirements.	In compliance	
Species diversification §90-538(c)	When more than ten trees are required to be planted, two or more species shall be used.	4 tree species proposed; In compliance	
Tree spacing from utility structures §90-538(d)	Trees and shrubs shall not be planted in a location where at their maturity they would interfere with utility services	In compliance	
Landscape design and plan §90-538(e)	Trees should maximize the shading of pedestrian walks and parking spaces.	In compliance	
Landscape design and plan §90-538(f)	Landscaping ground covers should be used to aid soil stabilization and prevent erosion.	Plans indicate the use of sod; In compliance	
Landscape design and plan §90-538(g)	Landscaping shall be protected from vehicular encroachment by means of curbs, wheel stops, walks or similar barriers.	In compliance	
Drought tolerance §90-540(b)	At least 75 percent of the total number of plants required shall be state native very drought tolerant species as listed in the South Florida Water Management District Xeriscape Plant Guide. However, when a landscape irrigation system is installed, at least 75 percent or the total number of plants required shall be state native moderate or very drought tolerant species.	shrubs required. 16 native trees and 62 native shrubs proposed. In compliance	



Min tree size §90-540(c)	Trees shall be at least ten feet high and two inches in diameter measured four feet above ground level at the time of planting.	In compliance
Utility Corridor Requirements §90-543(b)	No tree shall be planted where it could, at mature height, conflict with overhead utility lines. Larger trees (trees with a mature height of 30 feet or more) shall be planted no closer than a horizontal distance of 30 feet from the nearest overhead utility line. Medium trees (trees with a height of 20 to 30 feet) shall be offset at least 20 feet horizontally from the nearest overhead utility line. Small trees (trees with a mature height of less than 20 feet) shall not be required to meet a minimum offset, except that no tree, regardless of size shall be planted within five feet of any existing or proposed utility implement.	In compliance
Sidewalks § 78-36	Sidewalks shall be provided along each right-of-way. Pedestrian access shall be provided from the development to the ROW facilities.	proposes replacement of the existing sidewalk along SR-70.



Recommendation

The applicant's plans represent a significant improvement to the existing site, which is currently a vacant, blighted, nonconforming structure. In this situation, the City's nonconforming provision call for compliance with current code to the extent reasonably possible. In considering what is "reasonably possible", the code suggests considering the nature and configuration of the structure. The location and configuration of the current structure is in the northern portion of the property, oriented toward SR-70. It should be noted that the plans for that portion of the property mostly comply with current code.

The report above outlines some of the areas which the plans do not fully comply with current code. It will be the Technical Review Committee's decision what additional code compliance is reasonable to require. For their consideration, the following is a list of outstanding code deficiencies that may be required as conditions of approval, if deemed appropriate:

- 1. Provision of complete landscape buffers
- 2. Reduction in the width of the southern access to SE 6th Ave
- 3. Provision of landscaping between the building and parking area
- 4. The elevated concrete island located within the drive aisle connecting the northern and southern areas of the site should either be removed, or a more substantial blocking of that access should be proposed.
- 5. Provision of improved access to dumpster
- 6. Demonstration that all two-way drive aisles are at least 24 feet wide
- 7. Provision of a sidewalk along the entire SE 6th Ave frontage

Submitted by:

Ben Smith, AICP

Director of Planning

July 11, 2023

Okeechobee Technical Review Committee Hearing: July 20, 2023



Supplemental Exhibits

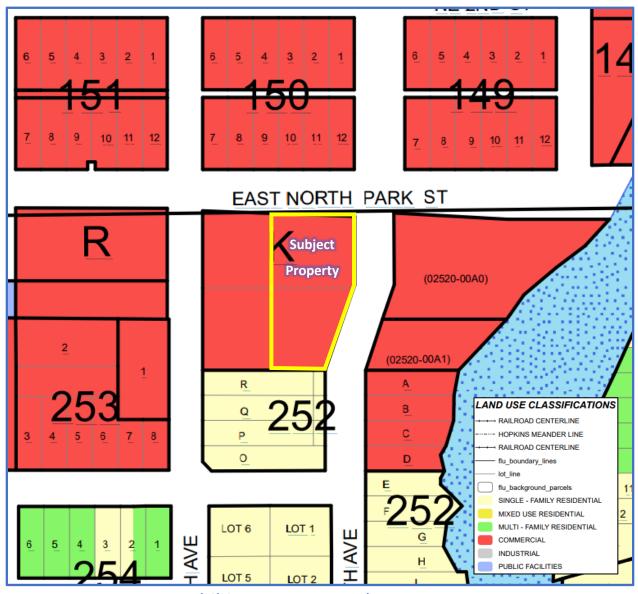


Exhibit A: Future Land Use Map



Exhibit B: Zoning Map



Exhibit C: Existing Land Use Map

CITY OF OKEECHOBEE

Application for Site Plan Review

Pag 1 of 3



City of Okeechobee General Services Department 55 S.E. 3rd Avenue, Room 101 Okeechobee, Florida 34974 Phone: (863) 763-3372, ext. 9820

Fax: (863)763-1686

E-mail: pburnette@cityofokeechobee.com

Date Received 5-19-2023

Application No. 23-008-TRC

Fee Paid: \$ 1033-15

Receipt No. 59337

Hearing Date: 7-20-23

	- Carps	E-man. pournette a cityolokeet	.nobec.com		1-00-25			
	APPLICANT INFORMATION							
1	Name of property owner(s): OKBEE Outparcel LLC							
2	Owner mailing address: 2469	N JOHN YOUNG PKWY ST	E C-D OR	RLANDO, FL 32804				
3	Name of applicant(s) if other tha	an owner: Micheal Jason She	eridan	NicholasJone	5			
4	Applicant mailing address: 3242	Henderson BLVD Tampa F	L. 33609		contact person:			
5	Name of contact person (state rela	ationship): Micheal Jason Sl	neridan (P	roject Manager)	Ammar Adnar			
6	Contact person daytime phone(s)		5260 , nic	k@redbellpartners.co	om			
7	Engineer: Name, address and photovictor Huggins 727-6	one number: 610-5526		or engineer conta adnan@pennoni	act please contact to .com			
8	Surveyor: Name, address and pho DC JOHNSON & ASSOCIATE 352-588-2768,		STE #1SA	N ANTONIO, FL 335	76			
		PROPERTY and PROJ	ECT INFO	RMATION				
	Property address/directions to property:							
9	510 North East Park St. Okeechobee, FL 34972							
10	Parcel Identification Number 3-15-37-35-0010-01710-0120 (34091)							
11	Current Future Land Use designa	tion: Commercial						
12		vy Commercial						
13	Describe the project including all proposed uses, type of construction and conceptual building layout, how the business or use is expected to operate on the site, including but not limited to: number of employees expected; hours of operation; location, extent and type of any outdoor storage or sales, etc., and fire flow layout. Use additional page if necessary. Proposed use for the project is retail medicinal drug store using the existing building structure. Expected number of employees will be . Site will be operable 8 hours a day at 510 NE Park St. Okeechobee Fl. No outdoor storage or sales is required for the project.							
14	Describe existing improvements on property (for example, the number and type of buildings, dwelling units, occupied or vacant, etc.). Use additional page if necessary. A vacant convenient store and gas station shed on paved concrete. The site has required parking spots and connection to all utilities. Site is accessible from SR 70 and SE 6th Ave.							
		46148						
15	Total land area in square feet (if l			acres:				
16	Is proposed use different from e	xisting or prior use (✓Yes)	(_No))			

CITY OF OKEECHOBEE

Application for Site Plan Review

Pag 2 of 3

		Number and description of phases:						
-	17							
·	18	Source of potable water: Okeechobee Utility Authority						
1	19	Method of sewage disposal: Okeechobee Utility Authority						
i.		So disposario Accominatori Vitario III						
		ATTACHMENTS REQUIRED FOR ALL APPLICATIONS						
The state of the s	20	Applicant's statement of interest in property Medical Marijuana Discpensary						
1	21	One (1) copy of last recorded warranty deed						
Butter (Anti-	22	Notarized letter of consent from property owner (if applicant is different from property owner)						
A. marriage and Ma	23	Three (3) CERTIFIED BOUNDARY and TOPOGRAPHIC surveys, (one to be no larger than 11 x 17; scale not less than one inch to 20 feet; North point) containing: a. Date of survey, surveyor's name, address and phone number						
O THE REAL PROPERTY OF		b. Legal description of property pertaining to the application						
MARKAL TANKS TO THE		c. Computation of total acreage to nearest tenth of an acre						
-		d. Location sketch of subject property, and surrounding area within one-half mile radius						
	24	Two (2) sets of aerials of the site.						
-	25	Eleven (11) copies of sealed site plan drawings (see attached checklist for details of items to be included)						
-	26	Eleven (11) copies of drawing indicating facades for all buildings, including architectural elevations.						
	27	Eleven (11) copies of landscape plan, including a separate table indicating the number of trees and shrubs by type and showing both the official and common name of each type of tree and shrub.						
_	28	Eleven (11) copies of photometric lighting plan (see Code of Ordinances & LDR's Section 78-71 (A) (5)).						
Ĺ	29	Three (3) copies of sealed drainage calculations.						
-	30	Attach a Traffic Impact Study prepared by a professional transportation planner or transportation engineer, if the rezoning or proposed use will generate 100 or more peak hour vehicle trip ends using the trip generation factors for the most similar use as contained in the Institute of Transportation Engineers most recent edition of Trip Generation. The TIA must identify the number of net new external trips, pass-bay calculations, internal capture calculations, a.m. and p.m. peak hour trips and level of service on all adjacent roadway links with and without the project.						
	31	USB flash drive of application						
		Nonrefundable application fee: \$1,000.00 plus \$30.00 per acre.						
	32	NOTE: Resolution No. 98-11 Schedule of Land Development Regulation Fees and Charges - When the cost for advertising, publishing and mailing notices of public hearings exceeds the established fee, or when a professional consultant is hired to advise the City on the application, the applicant shall pay the actual costs.						
-	NOTE: Submissions will be reviewed by the General Services Coordinator and City Planner for all necessary documentation. The Applicant will be notified at least 10 days prior to the TRC meeting whether or not additional information is required to proceed or if the review will be rescheduled to the next TRC meeting.							
		Confirmation of Information Accuracy						
March Colors Contains Contains		I hereby certify that the information in this application is correct. The information included in this application is for use by the City of Okeechobee in processing my request. False or misleading information may be punishable by a fine of up to \$500.00 and imprisonment of up to 30 days and may result in the summary denial of this application.						
interest of the Control of the Contr		Nicholas Jones 3/2/23 Signature Printed Name Date						
-		L'ato						

For questions relating to this application packet, call the General Services Dept. at (863) 763-3372, Ext. 9820

Rev. 04/20

Application for Site Plan Review

City of Okeechobee Checklist for Site Plan Review

		REQUIRED INFORMATION
1		Completed application (1)
2		Map showing location of site (may be on the cover sheet of site plan)
3		Eleven (11) copies of sealed site plan drawings prepared at a scale no smaller than one inch equals 60 feet, or in the case of small projects, the largest scale that can accommodate the entire site and all areas within 50 feet of the project boundary, and the scale, legend, and author block all on one 24" by 36" sheet. The site plan drawings shall include the location of all existing and proposed improvements, including, but not limited to:
	3.1	Water courses, water bodies, floodplains, wetlands, important natural features and wildlife areas, soil types, protected trees and vegetation or environmentally sensitive areas
	3.2	Streets, sidewalks, property lines and rights-of-way
	3.3	Utility lines/facilities, fire hydrants, septic tanks and drainfields
	3.4	Bridges, culverts and stormwater management facilities
	3.5	Buildings and structures and their distances from boundaries of the property, streets, and other structures
	3.6	Setback lines and required yards
3.7 Ingress and egress to the site and buildings		Ingress and egress to the site and buildings
3.8 Vehicular use areas including off-street page 3.8		Vehicular use areas including off-street parking and loading areas
	3.9	On-site recreation and open space
	3.10	Landscaping, screens, buffers, walls, and fences,
	Method of solid waste collection and locations of and access to dumpsters	
	3.12	Lighting and signs
4		Drawing notes and tabulations showing the following information shall be included along with the plan:
	4.1	Name, address and phone number of the owner
	4.2	Name, address and phone number of any agent, architect, engineer and planner
	4.3	Compete legal description of the property
	4.4	Future land use designation, current zoning and existing land use of the property and all abutting properties
	4.5	Total acreage of the property (square footage if less than two acres)
	4.6	Total # of dwelling units, by bedroom size; square footage of nonresidential uses by type of use (and/or seating, etc. as necessary to indicate the intensity)
	4.7	Number of off-street parking spaces provided (including handicapped spaces) and loading spaces and the calculation of, and basis for, the number of such spaces required by the Land Development Regulations
	4.8	Impervious surface calculations showing: the square footage and as a% of the total site for existing impervious surfaces, additional proposed impervious surfaces and the resulting proposed total impervious surfaces

Prepared by and return to:
Darryl S. Schreiber, Esq.
Attorney at Law
Schreiber, Schreiber & Schreiber P.A.
5600 Sheridan Street
Hollywood, FL 33021
954-966-5600
File Number: Fortex

[Space Above This Line For Recording Data]

Warranty Deed

This Warranty Deed made this day of December, 2022 between Fortex Holdings LLC, a Florida limited liability company whose post office address is 1700 S. Ocean Boulevard, #5-D, Pompano Beach, FL 33062, grantor, and Okbee Outparcel LLC, a Florida limited liability company whose post office address is 2469 N John Young Parkway, Suites C-D, Orlando, FL 32804, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Okeechobee County, Florida to-wit:

Begin at the Southeast corner of Block "K", City of Okeechobee, according to the Plat thereof as recorded in Plat Book 5, Page 5, of the Public Records of Okeechobee County, Florida, and run thence South 18°49'45" West, a distance of 179.50 feet to a point on the North boundary of Lot "R", Block 252, City of Okeechobee, according to the Plat thereof recorded in Plat Book 2, Page 4, of the Public Records of Okeechobee County, Florida; thence run West along the North boundary of said Lot "R"; a distance of 106.98 feet to a point lying East, a distance of 135 feet from the Northwest corner of Lot "R", thence run North a distance of 312.03 feet to a point of intersection on the South right-of-way of State Road 70 (North Park Street) as now maintained and located; thence run South 87 deg 50'47" East along the South right-of-way of State Road 70 (North Park Street) as now maintained and located a distance of 165.61 feet to a point on the East boundary of Block "K", City of Okeechobee as aforesaid; thence run South along the East boundary of said Block "K", a distance of 135.78 feet to the Point of Beginning.

Parcel Identification Number: 03-15-37-35-0010-01710-0120

Subject to taxes for 2023 and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record, if any.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to **December 31, 2022**.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Fortex Holdings LLC, a Florida limited liability company

y: Masroor Rab, MGR

Witness Name:

State of Florida County of Broward

The foregoing instrument was acknowledged before me by means of [X] physical presence or [] online notarization, this 201 day of December, 2022 by Masroor Rab, MGR of Fortex Holdings LLC, a Florida limited liability company, on behalf of the company, who [V is personally known to me or [X] has produced ______ as

identification.

[Notary Seal]

Notary Public State of Florida
Jacqueline B Prevatte
My Commission
HH 241170
Exp. 6/28/2026

Notary Public

Printed Name:

My Commission Expires:

Warranty Deed - Page 2



Department of State / Division of Corporations / Search Records / Search by Entity Name /

Detail by Entity Name

Florida Limited Liability Company

OKBEE OUTPARCEL LLC

Filing Information

Document Number L22000431341

FEI/EIN Number 92-1233862

Date Filed 10/06/2022

Effective Date 10/01/2022

FL State

ACTIVE Status

Last Event LC AMENDMENT

Event Date Filed 12/20/2022

Event Effective Date NONE

Principal Address

2469 N JOHN YOUNG PKWY

ORLANDO, FL 32804

Mailing Address

2469 N JOHN YOUNG PKWY

ORLANDO, FL 32804

Registered Agent Name & Address

ALLUVION ADVISORS LLC

2469 N JOHN YOUNG PKWY

C-D

ORLANDO, FL 32804

Authorized Person(s) Detail

Name & Address

Title MGR

ALLUVION ADVISORS LLC 2469 N JOHN YOUNG PKWY ORLANDO, FL 32804

Annual Reports

Report Year **Filed Date**

2023	03/14/2023	3
Document Imag	es	
03/14/2023 ANNU	JAL REPORT	View image in PDF format
12/20/2022 LC An	nendment	View image in PDF format
10/06/2022 - Florida	a Limited Liability	View image in PDF format
	-	



Department of State / Division of Corporations / Search Records / Search by Entity Name /

Detail by Entity Name

Florida Limited Liability Company ALLUVION ADVISORS LLC.

Filing Information

Document Number

L15000076368

FEI/EIN Number

47-3888346

Date Filed

04/30/2015

Effective Date

05/05/2015

State

FL

Status

ACTIVE

Principal Address

2469 N John Young Pkw

Orlando, FL 32804

Changed: 02/03/2022

Mailing Address

2469 N John Young Pkw

Orlando, FL 32804

Changed: 02/03/2022

Registered Agent Name & Address

JONES, NICHOLAS

2469 N John Young Pkw

Orlando, FL 32804

Address Changed: 02/03/2022

Authorized Person(s) Detail

Name & Address

Title AMBR

JONES, NICHOLAS

2469 N John Young Pkw

C

Orlando, FL 32804

Title Comptroller

Kantzas, Karla 2469 N John Young Pkw Orlando, FL 32804

Annual Reports

Report Year	Filed Date
2021	06/10/2021
2022	02/03/2022
2023	03/14/2023

Document Images

03/14/2023 ANNUAL REPORT	View image in PDF format
02/03/2022 ANNUAL REPORT	View image in PDF format
06/10/2021 ANNUAL REPORT	View image in PDF format
03/16/2020 ANNUAL REPORT	View image in PDF format
01/17/2019 ANNUAL REPORT	View image in PDF format
01/29/2018 ANNUAL REPORT	View image in PDF format
01/21/2017 ANNUAL REPORT	View image in PDF format
05/10/2016 ANNUAL REPORT	View image in PDF format
04/30/2015 - Florida Limited Liability	View image in PDF format

2023 FLORIDA LIMITED LIABILITY COMPANY ANNUAL REPORT

DOCUMENT# L22000431341

Entity Name: OKBEE OUTPARCEL LLC

Current Principal Place of Business:

2469 N JOHN YOUNG PKWY

С

ORLANDO, FL 32804

Current Mailing Address:

2469 N JOHN YOUNG PKWY

С

ORLANDO, FL 32804 US

FEI Number: 92-1233862 Certificate of Status Desired: No

Name and Address of Current Registered Agent:

ALLUVION ADVISORS LLC 2469 N JOHN YOUNG PKWY

ORLANDO, FL 32804 US

The above named entity submits this statement for the purpose of changing its registered office or registered agent, or both, in the State of Florida.

SIGNATURE:

Electronic Signature of Registered Agent Date

Authorized Person(s) Detail:

Title MGR

Name ALLUVION ADVISORS LLC
Address 2469 N JOHN YOUNG PKWY

City-State-Zip: ORLANDO FL 32804

I hereby certify that the information indicated on this report or supplemental report is true and accurate and that my electronic signature shall have the same legal effect as if made under oath; that I am a managing member or manager of the limited liability company or the receiver or trustee empowered to execute this report as required by Chapter 605, Florida Statutes; and that my name appears above, or on an attachment with all other like empowered.

SIGNATURE: KARLA KANTZAS CONTROLLER 03/14/2023

FILED Mar 14, 2023

Secretary of State

9813257868CC

L22000431341

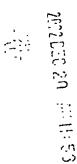
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COVER LETTER

TO: Registration S Division of Co					
SUBJECT: OKBEE C	DUTPARCEL LEC				
	Name of Lim	ited Liability Company			
The enclosed Articles o	f Amendment and fee(s) are sub	mined for filing.			
Please return all corresp	ondence concerning this matter	to the following:			
	Kurla Kantzas				
		Name of Person			
	Alluvion Advisors LEC				
		Fion-Company			
	2469 N John Young Pkwy	, Suite C Address		. 1121	1927
		Address		<u> </u>	102167620
	Orlando, Ft. 32804				50
	,	City/State and Zip Code			,
	kkantzas@redbellpartners.c				
For further information	it mail address; t concerning this matter, please of	to be used for future annual report no dl:	Hitchion:) :::H: 53
Karla Kantzas		at (203) 650-1332 Area Code Dayto			_
Name	aî l'orșon	Area Code — Daytii	me Telephone Number	•	
Enclosed is a check for	the following amount:				
■ \$25.00 Filing Fee	Li \$30.00 Filing Fee & Centificate of Status	El \$55.00 Filling Fee & Certified Copy (additional copy is anciosed)	(† \$60.00 Fi Certifica Certified (additional	te of St Copy	tatus &

Mailing Address: Registration Section Division of Corporations Street Address:
Registration Section
Division of Corporations

ARTICLES OF AMENDMENT TO ARTICLES OF ORGANIZATION OF

OKBEL OUTPARCEL LLC		***************************************
(<u>Name of the Limited Liabil</u> (A Fiord	ity Company as it now appears on our record a Limited Liability Company)	<u>ds.</u> ;
The Articles of Organization for this Limited Liability C	Company were filed on 10/06/2022	
Porida document number 1.22000431341	·········	
his amendment is submitted to amend the following:		
A. If amending name, enter the new name of the lim	nited liability company here:	
he new name must be distinguishable and contain the words "Lin	nited Liability Company." the designation "Lice	" or the abbreviation "L.E.C."
inter new principal offices address, if applicable:	nited Liability Company," the designation "LLC	<u> </u>
Principal office address MUST BE A STREET ADDI	RESS;	· i3
Enter new mailing address, if applicable:		: F
Mailing address MAY BE A POST OFFICE BOX)		<u>ဂ</u> (၁
	AND THE PROPERTY OF THE PROPER	
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 If amending the registered agent and/or registere gent and/or the new registered office address here: 	d office address on our records, <u>enter</u>	the name of the new regis
Name of New Registered Agent:		
Many David Standard CAPICana A. Librarya.		
New Registered Office Address:	Enter Florida speet addre	\$3
	. 1	orida
PATA DIAMENTAL	Cuy	Zip Code

New Registered Agent's Signature, if changing Registered Agent:

I hereby accept the appointment as registered agent and agree to act in this capacity. I further agree to comply with the provisions of all statutes relative to the proper and complete performance of my duties, and I am familiar with and accept the obligations of my position as registered agent as provided for in Chapter 605, F.S. Or, if this document is being filed to merely reflect a change in the registered office address. Thereby confirm that the limited liability company has been notified in writing of this change.

If amending Authorized Person(s) authorized to manage, enter the title, name, and address of each person being added or removed from our records:

MGR = Manager AMBR = Authorized Member

<u>Title</u>	Name	Address	Type of Action
MGR	Alluvion Advisors LLC	2469 N John Young Pkwy Ste C	UAdd
		Orlando, FL 32894	
			≜ Change
MGR	Nicholas Jones	2469 N John Young Pkwy Ste C	ClAdd
		Orlando, 191, 32804	≝ Remove
			CChange
AMBR	Karła Kantzas	2469 N John Young Pkwy Sie C	三 Nud
		Orlando, F1, 32804	Remove
		MINION 18-7 - 2-7-10-11-11-11-11-11-11-11-11-11-11-11-11-	☐€hange
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ective date, if other seffective date is listed, th	than the date of	filing: ic and cannot be pri	or to date of tiling o	niore dian ⁹ 0 days after	ional) r illing.) Pursuan to 605.02
et II the date inserted ament's effective date				ling requirements, th	is date will not be listed:
ord specifies a delaye filed.	d effective date, bu	it not an effective	time, at 12:01 a.r	o, on the earlier of: (b) The 90th day after th
ed December 16	WA	2022	<u> </u>		
	// // // // // / / ·	1	burized representa-		

OWNER'S AUTHORIZATION FORM

An authorized applicant is defined as:

- The property owner of record; or
- An agent of said property owner (power of attorney to represent and bind the property owner must be submitted with the application)

Nicholas Jones , the owner of record for the following described property (Legal Description or

Jason S	cel ID Number) <u>3-15-37-heridan with Pennoni A</u> collowing application(s):								
~	Okeechobee County	✓	SWFWMD	✓	FDOT				
5 DATE	5/16/23 Owner's Signature								
			*********	REE OUT	FPARCELL LLC				
STAT	E OF FLORIDA VTY OF	<u>,C</u>							
	SWORN TO AND SUBSCRIBED before me, an officer duly authorized in the State of Florida to take acknowledgements, personally appeared								
	ing instrument and sworn					,20_23			
			NO	OTARY PU	JELIC HU				
					Notary Dublic State	of Fiorida			

Karla Kantzas My Commission HH 377933 Expires 3/23/2027 TITLE COMMITMENT

THE TITLE DESCRIPTION AND SCHEDUAL BITTMS HEREON ARE BASED ON OLD REPUBLIC NATIONAL. TITLE BISINFANCE COUPANY COMMITMENT \$1320428. DATE HOWERER 25, 2222 AT 11.00 P.M.



THE LAND IS DESCRIBED AS FOLLOWS:

RECURS IS EXCURSED AS FOLIAGES.

BEGON AT THE SUMMARY CORREST OR ROOT NO. 101 OF DESTONMENT, ACCIDING TO THE PLAT BERRY AS RECORDS OF DESTONMENT AND ROOT AS RECORDS OF OMERCINES. THE PLAT BEGON AS RECORDS OF OMERCINES. THE PLAT BEGON AS RECORDS OF THE PLAT BEGON OF THE PLAT BEGON AS RECORDS OF THE PLAT BEGON OF THE PLAT BEGON AS RECORDS OF THE PLAT BEGON OF THE PLAT BEGON AS RECORDS OF THE PLAT BEGON AS RECORDS OF THE

THE PROPERTY SHOWN ON THIS SURVEY IS THE SAME AS THAT REFERENCED IN OLD REPUBLIC NATIONAL TITLE PISURANCE COMPANY COMMITMENT \$1320428, DATED NOVEMBER 25, 2022 AT 11:00

SCHEDULE THE ITEMS

- (5) UTILITY EASEMENT, INCLUDING COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED IN O.R. BOOK 240, PACE 431, PUBLIC RECORDS OF OKSECHOSEE COUNTY, FLORIDA PLOTTED INFRED.
- (8) UTILITY CASEMENT RECORDED IN O.R. BOOM 98, PAGE 535. AS AFFECTED BY THE PROPERTY NITIREST ASSOCIAMENT AND ASSUMPTION ACREEMENT AND DEED OF TRANSFER RECORDED IN O.R. BOOK 370, PAGE 1507, PUBLIC RECORDS OF GREECHOBEE COUNTY, FLORIDA PLOTTED HERECON.
- SERVICE CONSTRUCT CONSTRUCT RESIDENCE ACCURATE THEM FROM SOME AND OTHER MATTERS ACCORDING TO THE MATTERS ACCORDING TO ACCURATE THE ACCORDING TO ACCORDING TO ACCURATE THE ACCORDING TO ACCURATE THE ACCURATE ACCURATE THE ACCURATE THE ACCURATE THE ACCURATE THE ACCURATE THE ACCURATE THE ACCURATE ACCURATE THE ACCURATE THE
- (6) COVERANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN ACREEMENT RECORDED IN G.R. BOOK 318, PAGE 1934, PUBLIC RECORDS OF OVERECHORGE COUNTY, FLORIDA, PERTAINS TO SUBJECT PROPERTY, WAITE, NICE CENTROSON, BEAMENT, IN NATURE, MOTHERS OF D.P.O.T.
- (3) ALL MATTERS CONTAINED ON THE PLAT OF OKETCHOBEE AS RECORDED IN PLAT BOOM 5.
 PROCESSIS, PUBLIC RECORDS OF OKEECHOBEE COUNTY, FLORDA. PERIAINS TO SUBJECT
 PROPERTY BLANKET, IN NATURE, HORISMS TO PUBLIC PROPERTY BLANKET.
- (E) ALL MATTERS CONTAINED ON THE PLAT OF DEECHOUSE. AS RECORDED IN PLAT BOOK 1, PACE CLERG'S AFFROANT RECORDED IN BOOK 446, PACE 1938, PUBLIC RECORDS OF ORCEOTORIC COUNTY, TORONG, PERIORS (3), SHARED 1, PACE 1970, MART 12 NATIONEL, SONTHAN TO PYGE
- (1) RIGHTS OF THE LESSEES UNDER UNRECORDED LEASES. NOT A SURVEY MATTER

SURVEYOR'S NOTES

1. UNDERGROUND UTILITIES. INSTALLATIONS OR IMPROVEMENTS, LOCATED AS A PART OF THIS SURVEY, ARE SHOWN ONLY BY OBSERVED EMIDENCE AND NO REQUEST WAS SUBMITTED TO ANY UTILITY COMPANY, SIT UTILITY LOCATION, OR SMILAR AUTHORITY. HEP OF THIS PROPERTY IS SUBJECT TO OPINION OF TITLE AND IS NOT EXPRESSED OR IMPLIED BY THIS SURVEY.

3. THIS SURVEY SHOWS ONLY DEDICATIONS, RESTRICTIONS AND EASEMENTS CONTAINED IN THE ABOVE-MENTIONED TITLE COMMITMENT AND PROVIDED TO THE SURVEYOR. IT IS POSSIBLE THERE ARE OTHER RECORDED INSTRUMENTS, WHICH MAY AFFECT THIS PROPERTY. 4. BEARINGS AND DISTANCES ARE RECORD AND MEASURED UNLESS OTHERWISE NOTED

5. THIS SURVEY WAS PREPARED EXPRESSLY FOR THE ENTITES NAMED. NO OTHER PERSON OR ENTITY IS ENTITLED TO RELY UPON THIS SURVEY FOR ANY PURPOSE WATSOLVER WITHOUT THE EXPRESS WRITTEN CONSENT OF AMERICAN SURVEYING, INC. 5. ALL STATEMENTS WITHIN THE CERTIFICATION, AND OTHER REPERENCES LOCATED ELSEWHERE MERCON, RELATED TO, UTBUTES, IMPROVENENTS, STRUCTURES, BUILDINGS, PARTY WALLS, PARROW, EASEMENTS, SERVIDIES, AND EXCORDINGS, AND EMBED SOLELY ON ABOVERDUNE, WISINE EVALUATION, UNITED AND PROPERTY OF REPORTATION IS SPECIFICALLY REPERENCED HIREON. 7. NO ZONNE MYCHANION WAS SUPPLIED TO THE SUNKYCH BY THE PROJECT AS REQUIRED UNDER HAILE "A" HEMS 6(A) AND GOS NO ROPESTERLAND IN MOUR OF THE THE ACCURACY ON COMPLICATION OF COMPLICATION OF

B. THE WORD "ENCROAGNIND!" SHOWN ON THE FACE OF THE SURVEY OR NOTED IN THE SURVEYOR'S CERTIFICATION DOES NOT BUFLY THAT THIS SURVEYOR IS EMPERSON A LEGAL OPBRION, BUT HERELY NOTINE THAT THE CONDITIONS EMIST THAT CORLD BE CONSIDERED A POSSIBLE ENCROAGNING TO THOSE MEMORIZED TO MAKE SAD LEGAL OPPRING.

BLE EMDENCE OF EARTH MOMING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS. 10. NO OBSERVABLE EVIDENCE OF CHANGES IN STREET RIGHT OF WAY LINES COMPLETED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION AND NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPARS.

11. THE PROPERTY HAS DIRECT ACCESS TO STATE ROAD TO AND SOUTHEAST GIS ACCIDE, DEDICATED PUBLIC STREETS OR HIGHWAYS 12. SURECT PROPERTY AND HOAD RIGHT-OF-MAY LINES ARE CONTIGUOUS ALONG THEIR COMMON BOUNDARIES WITHOUT ANY GAPS.

13. NO JURISDICTIONAL HETLAND REPORT WAS PROMDED TO THE SURVEYOR AND THERE WERE NO OBSERVABLE EVIDENCE OF ANY NETLAND MARKERS OWSTE AT THE OF SURVEY. 14. PAINT MARKNOS FOUND ON THE GROUND AND SHOWN HEREON AS EMDENCE OF POSSIBLE (OR PROBABLE) UNDERGROUND UTAINES ARE CONSISTENT WITH THYCAL UTALITY MARKINGS, HOWEVER, HO UTALITY REPORT WAS PROVIDED TO AUTHENTICATE THESE MARKNOS — THER SOURCE IS UNKNOWN. THE USER OF THES THAT JAMAN SHOULD RELY UNDOWN USEN MARKNOSS AT INEED ROWN RISK.

15. THIS SURVEY SHALL HOT BE USED FOR CONSTRUCTION/PERMITTING PURPOSES WITHOUT WRITTEN CONSENT FROM THE LAND SURVEYOR WHO HAS SIGNED AND SEALED THIS SURVEY

6 FLOOD ZONE INFORMATION

BY CRAPHC FLOTING ONLY, THE PHOPERTY IS LOCATED IN ZONE
"N" OF THE FLOOD INSURANCE RATE MAN, COMMINENT PARKE, NO.
1020SC ORBOT, WHICH REALES HE IS STEPPING THE OF \$7.15 ZONE
HIS TREED SERVICING WAS PERFORMED TO DETERMINE THE RECOVER
AND THIS SURVEYOR MAKES NO QUARANTHES AS TO THE
ACCURACY OF THE ADDRESS RECOMMENDING THE LOCAL FLEMA
RECHT SHOULD BE CONTACTED FOR YMPRICATION.

CEMETERY NOTE

NO VISIBLE EVIDENCE OF HUMAN CEMETERIES OR BURIAL ORDANDS WAS FOUND ON SITE AT TIME OF SURVEY,



"SEE SURVEYOR'S NOTE #7" NO ZONING INFORMATION WAS SUPPLIED TO THES SURVEYOR BY THE INSURER AS REQUIRED UNDER TABLE "A" ITEMS E(A) AND E(B).

~_		
725	INFORMATION BOX	\neg
V 4-		

ALTA/NSPS LAND TITLE SURVEY

AN	1ERIC	CAN	SURVEYING INC.	FIELD	10-18-2022
					MIET SP
AD	V		4847 NORTH FLORIDA AVENUE	DWN. BY	LCN
EMAIL: INFO@AMERICANSURVEYING COM					BY JWS
	PHONE (DWG. NO	0. 10000422-23		
Section	Township	Range	County, State	SCALE	1*=20*
3 150	15S	15S 37E	OKEECHOBEE COUNTY, FLORIDA	DATE	REVISIONS
Prepared For: OKBEE OUTPARCEL, LLC			Project Name COMMERCIAL PROPERTY		
		EL, LLC	Project Address 510 NORTHEAST PARK STREET		
Job Order Number 10000422-23			Project Location OKEECHOBEE, FLORIDA		



ATE EXISTING ELEVATION

CLEVATIONS SHOWN HEREON ARE BASED ON NATIONAL CEOSETIC SUNVEY BENCHMARK DESIGNATION O 22, PIO AFSOSA, NANO-BB (LLEVATION-27.83) ARE RESERVED TO MORTH AREPICAN VERTICAL DATUM DESERVED TO HORTH AREPICAN VERTICAL DATUM

PARKING NOTES

PARKING COUNT (STRIPED) O REDULAR SPACES O HANDICAP SPACES

ALTA SURVEY KEY

SCHLINILE B-IFTTLMS PARTY REARING BASIS

SURVEYORS NOTES DISTRIBUTEDING AREA

INFORMATION HOX BUILDING HEIGHT

(FLOOD ZONE INFORMATION) TROPERTY AREA

POSSIBLE PINCEDACHMENT) IB (DRAWING SCALE)

CEMETERY NOTE SECTION ZONING INFORMATION TO VICTNITY MAP

TITLE COMMITMENT PARKING NOTES LEGAL DESCRIPTION SURVEYORS CERTIFICATION

VICINITY MAP 1 NE 3rd ST # SR 70 (30) SE 2nd AVE - SITE NOT TO SCALE

LEGEND

DRADNET WASHOLE
 SANTARY SEVER WASHOLE

SANTIARY SCHER MA

BUDGERS RELL

BRAITE MALK

THLECOMMUNICATION

BRAITE SIGN

WHEREY PROF.

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BROW

COC) = SOUTHER PROPORTION

- 1 = DECEMBER NOT

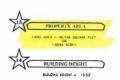
- UL - OVERHEAD LITETY UN

- X----- - CHAN UNK FENCE LIM

TREE DESCRIPTION

A PALM TREE F - DIAMETER AT BREAST HEIGHT f.f.f = MULTI-TRUNK TREE, INDIVIDUAL SIZES SHOWN

NOTE. THE DAMETERS OF TREES AS LOCATED IN THE FIELD ARE CETHANTED TO TREE AS LOCATED IN THE FIELD ARE CETHANTED AND DETERMINED AND THE FIELD ARE CETHANTED AND THE FIELD ARE CETHAND. THE AND ELAMITETS REFORE OUR SURVEYOR OF THE FIELD AND THE



BUILDING AREA DULDING AREA - 2.425 SQ. FT.(FOOTPRINT)

DEARING BASIS

BEARNICS ARE BASED ON THE SOUTHERLY R/W LINE OF STATE ROAD 70, WHICH BEARS IN 8750'47" W. PER DEED DESCRIPTION AND PER FOOT MAP SECTION 91070-2514.

SURVEYORS CERTIFICATION

CERTIFIED TO:

ALLIVON MOSORS LLC.

TARGES DANK, A FLORIDA BANKING CORPORATION, ISAGA ATMA, ORDER COLTANGL LLC AND ALLIVION ADVISIONS LLC: OLD BETVILLC NATIONAL TILL RESERVANCE COMPANY; RELATING AS CONTROLLED AS SCHOOLIEF, S

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BRESTO MEDIE MADE ON ACCORDANCE WITH THE 2021 MINIMAL WAY.

17 IS BRESTO MEDIE MADE ON A LATA MEDIE LAND THE SURVEYS.

SHOULD SHARE THE SHARE OF A LATA MEDIE OF A LATA MEDIE LAND THE SURVEYS.

THAN 1, 2, 3, 4, "(A)(SIYC), 8, 9, 13, 16, AND 17 OF TABLE A THEREOF BE FIRED MEDIE ON 10-125-2023.

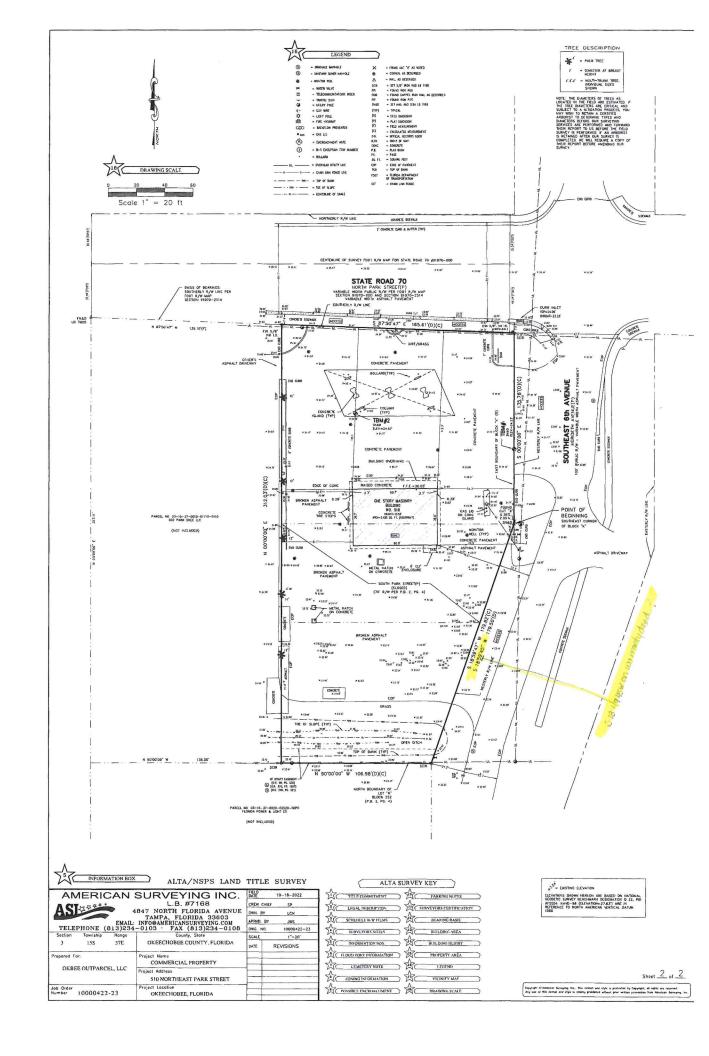
DATE OF PLAT OR MAP: D1-30-2023 John W Strachan

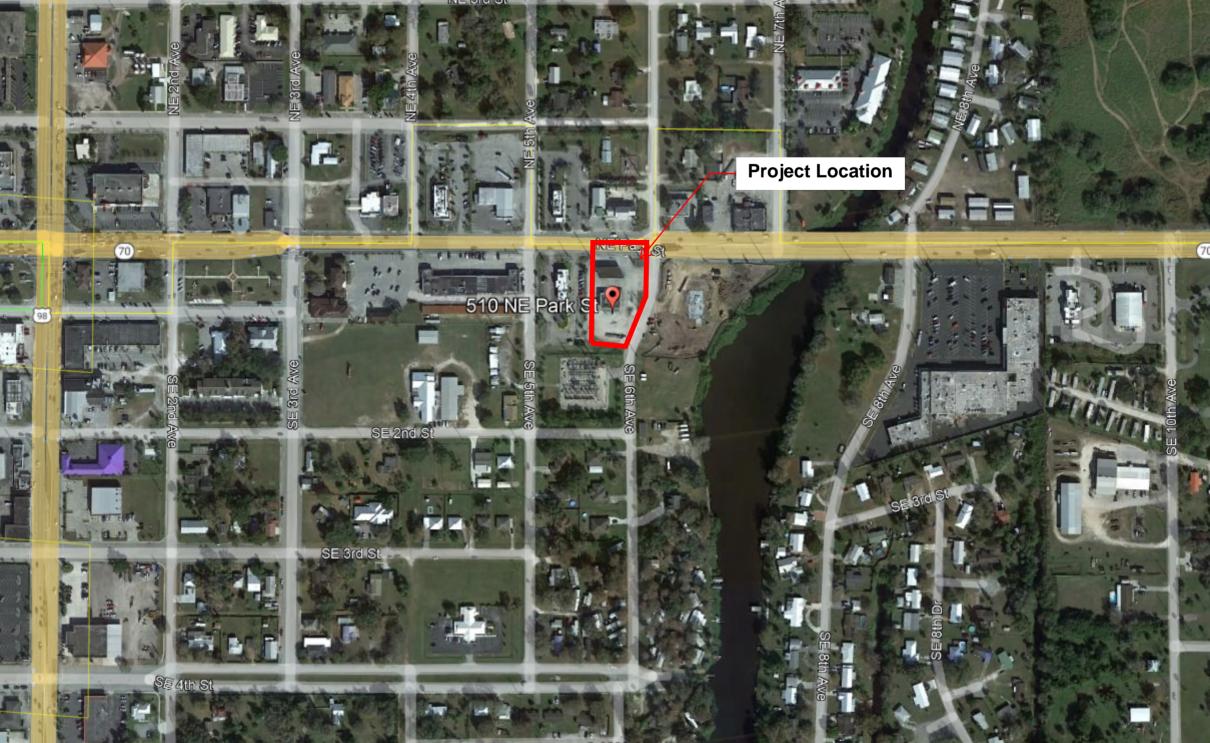


JOHN W. STRACHAM
PHOPESSONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION & 4312 JETRACHAN BANERICANSURVEYING.COM
NOT VALID MITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A
FLORIDA LICENSED SURVEYOR & MAPPER OR ITS ELECTRONIC EQUIVALENT

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April 4, 2023

Jesse R. Balaity Balaity Property Enhancement 1707 5th Street Sarasota, FL 34236

Re: MUV Okeechobee

Trip Generation Statement Project No.: 2023030083

Dear Mr. Balaity:

Vala Group, Inc. prepared trip-generation and driveway analyses for the proposed MUV Okeechobee medical cannabis dispensary proposed at 510 NE Park Street in the City of Okeechobee in Okeechobee County, Florida. The analyses show that the proposed medical cannabis dispensary will generate 511 daily and 46 PM peak-hour vehicle trips. The site's driveway volumes are not expected to warrant the need for exclusive turn lanes on SE 6th Avenue. **Figure 1** is an aerial photograph of the site. This report includes the trip generation calculations and driveway volumes for the proposed development.



Project Description

The proposed development comprises a 2,422 square-foot medical cannabis dispensary. The 1.1-acre site (Parcel ID No.: 3-15-37-35-0010-01710-0120) abuts State Road 90/Park Street (state-maintained road) and SE 6th Avenue (city-maintained road). The site currently has two driveway connections to State Road 90/Park Street which will be removed as part of this development. The site has two wide driveway connections to SE 6th Avenue. The site's north driveway connection to SW 6th Avenue will be narrowed to a width of 24 feet and the southern driveway connection will remain unchanged. The site is expected to utilize the north driveway connection to SE 6th Avenue for access. The site also has a two-way cross-access connection with the abutting site (Wendy's Restaurant) to the west. State Road 90/Park Street is a four-lane, divided, rural principal arterial road with a 35 MPH posted speed limit and SE 6th Avenue is a two-lane, undivided, local road with an unposted speed limit. **Attachment A** contains the land survey, site plan, and property-appraiser data.

Trip Generation Analysis

The proposed development is expected to generate 511 daily, 26 morning peak-hour, and 46 afternoon peak-hour vehicle trips. We prepared trip-generation estimates for the proposed development (see **Table 1**) using equations from the 11th Edition of the Institute of Transportation Engineers' *Trip Generation Manual.* **Attachment B** contains the ITE trip-generation data. The site operated as a gasoline service station with a convenience store but has not operated for more than one year.

Table 1- Trip Generation

Land Use	ITE	Size	Time	Trip Generation		l.a	Out	Total Trips			
	Code	Size	Tillle		Rate	In	Out	In	Out	Total	
Marijuana Dispensary	882	2,422 SF	Daily	T =	211.12 (X)	50%	50%	256	255	511	
			AM Peak Hour	T =	10.54 (X)	52%	48%	14	12	26	
			PM Peak Hour	T =	18.92 (X)	50%	50%	23	23	46	

Driveway Volumes

Although the development site will have two driveway connections to SE 6th Avenue, all traffic generated by the proposed development is expected to utilize the north driveway for access. The north driveway connection to SE 6th Avenue will operate as a full-access driveway permitting left and right turns into and from the site. All site-entering traffic are expected to be right turn movements. The Florida Department of Transportation's current *Access Management Handbook* (November 2019) recommends a right-turn deceleration lane for unsignalized driveways where the number of right turns per hour is between 80 and 125. The number of right-turns into the site is not expected to exceed 23 and does not warrant the need for an exclusive southbound right-turn on SE 6th Avenue. **Figure 2** shows the expected daily, AM peak hour, and PM peak hour driveway volumes.



Figure 2 – Driveway Volumes SR 70/Park Street SITE [255] (23) 12 SE 6 Avenue LEGEND AM Peak Hour (#) PM Peak Hour [#] Daily



Conclusion

We prepared trip-generation estimates and site driveway volumes for the proposed medical cannabis dispensary and determined that it will generate 511 daily and 46 peak hour vehicle trips. The number of peak hour turns entering the site do not warrant the need for exclusive turn lanes on SE 6th Avenue. Please contact me at (561) 445-6684 with any questions or comments.

Sincerely,

Vala Group, Inc.

John P. Kim, P.E. Senior Project Manager

JPK/jgk

Attachments

Attachment A – Land Survey, Site Plan & Property Appraiser Data Attachment B – ITE Trip Generation Data

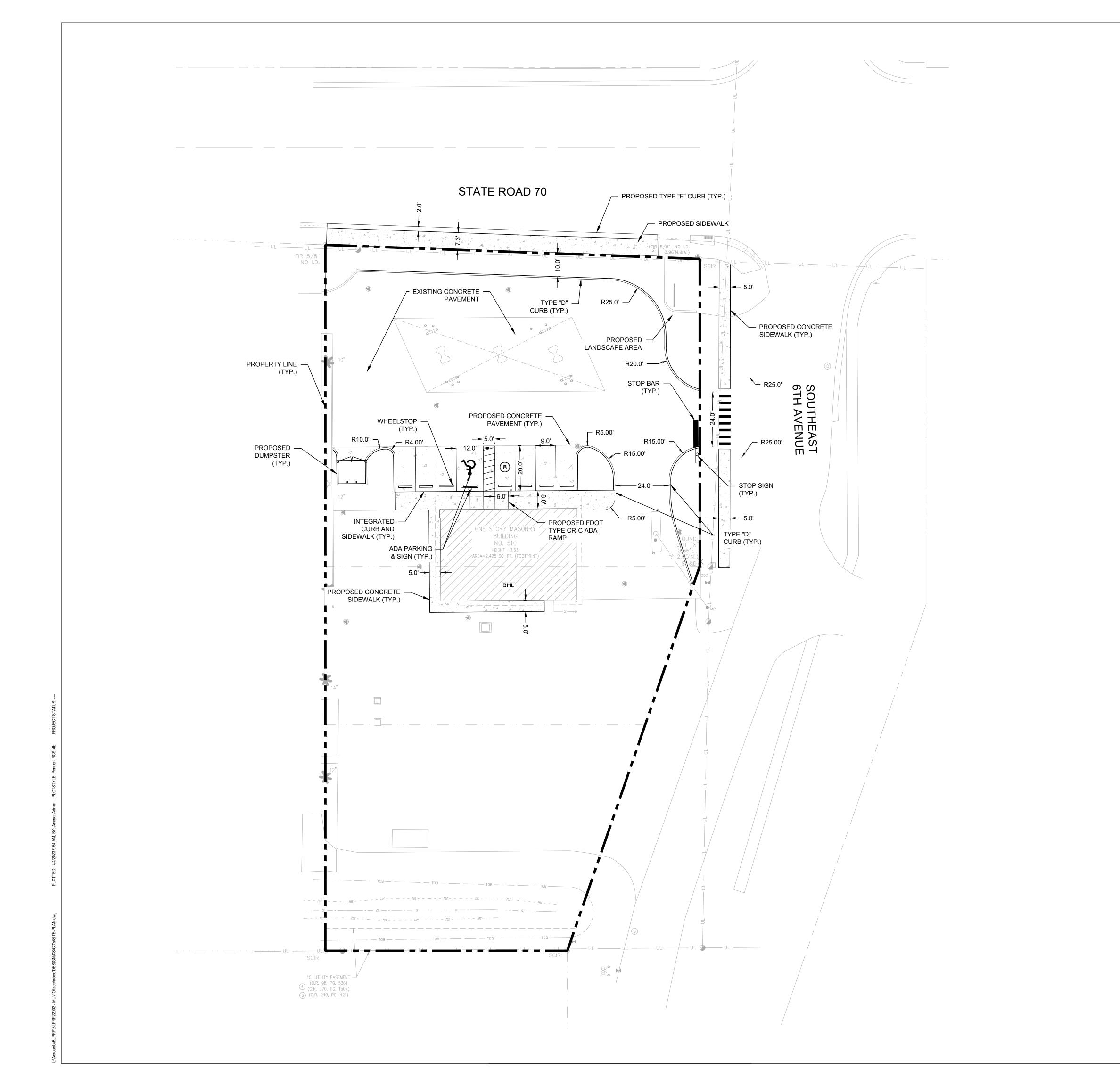


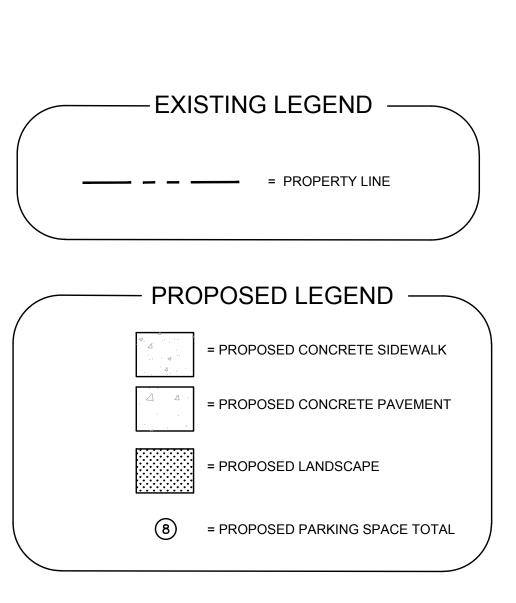
ATTACHMENT A

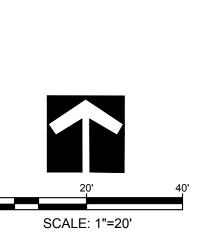
Land Survey, Site Plan and Property Appraiser Data

BOUNDARY SURVEY A PORTION OF BLOCK "K" - "OKEECHOBEE" RIGH! OF WAY VARWS PLAT BOOK 5, PAGE 5 N.E. PARK STREET (STATE ROAD NO. 70) OKEECHOBEE COUNTY. FLORIDA. CENTERLINE OF ORIGINAL TO PLATTED RIGHT OF WAY LEGAL DESCRIPTION: - SOUTH MIGHT OF WAY LINE (DOT) LEGAL DESCRIPTION:

IFOM AT IN SOUTHERS CORNER OF BLOCK "X". CITY OF OVERCHORES, ACCORDING TO THE MAIN INTEREST, RECORDED IN PLAT BOOK 5, AT PACE 5, OF THE PUBLIC RECORDS OF OKCECHABLE COUNTY, FLORIDA, AND RIN THENCE SOUTH IN BEORFES 49 MINUTES 45 SECONDS MEST, A DISTANCE OF 179,50 FEET TO A POINT ON THE NORTH BOUNDARY OF LOT "X", BLOCK SOUTH TO THE PLAT THEREOF RECORDS OF PLAT BOOK 2, AT MACE 4, OF THE PUBLIC RECORDS OF OKCECHABLE COUNTY, FLORIDA, THENCE RUN WEST ALONG THE NORTH ADDITIONAL THENCE FOR MEST ALONG THE NORTH HES CORNER OF LOT "X". THENCE RUN NORTH A DISTANCE OF 135 FEET FROM THE NORTHMEST CORNER OF LOT "X". THENCE RUN NORTH A DISTANCE OF 312.03 FEET TO A POINT OF MICROSCOPPING ON THE SOUTH RIGHT OF WAY OF STATE POLD TO (NORTH PARK STREET) AS NOW MAINTAINED AND LOCATED. THENCE FUN SOUTH FOULT OF MICROSCOPPING OF MI 164.60° (M) CENORIE TO mar. A VENUE SURVEYOR'S NOTES: ! NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND UTLITIES ON/OR ADJACENT TO THIS SITE. THE APPROXIMATE LOCATION OF ALL UTLITES SHOWN HERFOLM WERE TAKEN FROM AS-BULL TORANINGS AND/OR ON-SITE LOCATION AND SHOULD BE VERWING BEFORE CONSTRUCTION. 67H ? NO ATTEMPT WAS MADE BY THIS FIRM TO LOCATE UNDERGROUND FOOTINGS OF BUILDINGS OR FENCES ON OR ADJACENT TO THIS SITE. 1 Li 8 1. LANG SHOWN HEREON WERE SUBJECTED IN ACCORDANCE WITH ATTORNEYS TITLE INSURANCE LINES AS A CONTROLLED SEPTEMBER OF THE STATE OF LANGUAGE SECTION AND A HEREOLOGY OF SUBJECT EXCEPTION AND A HEREOLOGY SHOWN ON SUBJECT EXCEPTION AND A HEREOLOGY SHOWN ON SUBJECT PROPERTY AND IS UNPOTTABLE EXCEPTION AND A HEREOLOGY SUBJECT PROPERTY AND IS UNPOTTABLE STATEMENT AND IS UNPOTTABLE. CONCRETE MANOCAP " THE APPEA AR ORA, RS SOURCE FEET OR 1 OF ACRES MORE OR LESS. MARRI PLANT ISLAND NO FEMA MAPS FOR THE CITY OF OKELCHOBEE. ASPHALT PAVEMENT SOUTH TIME OF BLOCK IN. GRAPHIC SCALE (IN FEET) 1 ench = 20 ft. SURVEYOR'S CERTIFICATION: ASPHALL PAVEMEN I HEREBY CERTITY THAT THIS PLAT OF SURVEY WAS PREPARED UNDER WITH RESPONSIBLE CHARGE AND METTS THE MINIMAN TECHNICAL STANDARDS AS SET FORTH OF THE ELEMPA STANDARDS AS SET FORTH OF THE ELEMPA STANDARDS AND SET FORTH OF THE ELEMPA STANDARDS AND SET FORTH OF THE MINIMAN STANDARDS AND GENERAL FOR AN OFFICIAL AND CENTRE OF THE BEST OF WE NOW, FOR COLD AND BELLE NOT WALL WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A LICENSED FLORIDA STRAYOR AND MAPPER. CHELLY 6 MODE ITHES MANOR SENS HOBERT BLOOMSTER OURSE NO PER EDO O CHEMIN BLOOMSTER PROFESSIONAL LAND SURVEYORS, INC. LEGEND • STEEL POST REVISIONS DATE DESCRIPTION: N89 55 42 W 106.90' (M) N90 00 00 W 106.98' (D) 135 x control of 10 % X 454 10 791 NORTHEAST DIXIE HIGHWAY #NSEN BEACH, FLORIDA 34957 PHONE 561-334-0868 a contrast CREDONORY AND SPECTAL countries trace II FARE HORANT activation contactor (a. Washington (activation) (a. Curtino)





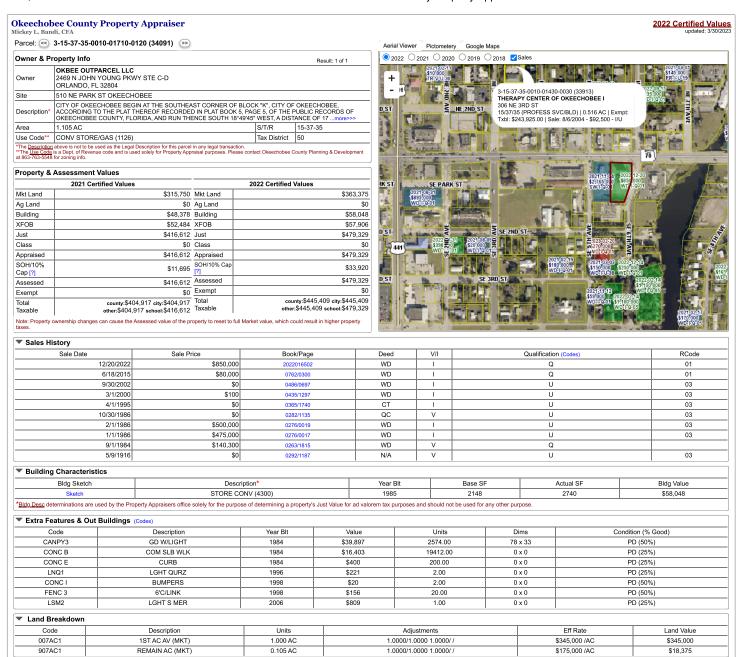


NOT FOR CONSTRUCTION

	(Pennoni)		DENNONI ASSOCIATES INC	Tampa Office	3242 Henderson Blvd, Suite 200 Tampa. FL 33609	T 813.258.0066
ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK						
MUV OKEECHOBEE	OKEECHOBEE, FLOKIDA 510 NORTHEAST PARK STREET	OKEECHOBEE, FLORIDA	SITE PLAN		OKBEE OUTPARCEL, LLC	ORLANDO, FL 32804
					#	BY
						REVISIONS
					#	
					#	ON
ARE INST PROJECT. TO BE SUIT THE EXTE PROJECT. OR ADAR SPECIFIC SOLE EXPOSU	TABLE FOR NSIONS O ANY REUS PTATION B C PURPOS E RISK AND JRE TO PEI INDEMNIFY ES FROM A	S OF SE E NOT IN R REUSI F THE P SE WITH Y PENN SE INTEN WITHO NNONI A Y AND H	RVICE INTENDE E BY OW PROJECT IOUT WE ONI ASS NDED WI UT LIAB ASSOCIA OLD HAI IMS, DAI	N RESPE D OR RE INER OF T OR ON RITTEN N GOCIATE ILL BE A ILITY OF ATES; AN RMLESS MAGES,	## ASSOCIA ECT OF TENESE OTHEF ANY OT FERIFICA S FOR TOWNE LEGAL ND OWN LOSSES	ATES THE NTED RS ON THER ATION THE ERS IER ONI S AND
ARE INS' PROJECT. TO BE SUI' THE EXTE PROJECT. OR ADAF SPECIFIC SOLE EXPOSU SHALL I ASSOCIATI	TRUMENTS THEY ARE TABLE FOR INSIONS OF ANY REUS PTATION B C PURPOS FRISK AND JIRE TO PEI NDEMNIFY ES FROM A ARISING (S OF SE E NOT IN R REUSI F THE F BE WITH Y PENN SE INTEN WITHO NNONI A / AND H ALL CLA DUT OF	RVICE INTENDE E BY OW PROJECT IOUT WE ONI ASS NDED WI UT LIAB ASSOCIA OLD HAI IMS, DAI	N RESPED OR REPORT OF OR ON RITTEN A COCIATE LLL BE A LILITY OF ATES; AN RMLESS WAGES, ULTING	## ASSOCIA ECT OF TENESE OTHEF ANY OT FERIFICA S FOR TOWNER LEGAL ND OWN LOSSES THEREI	ATES THE NTED NTED NTED SS ON THE ATION THE ERR SI SER SI

C3.0

Okeechobee County Property Appraiser | Mickey L. Bandi, CFA | Okeechobee, Florida | 863-763-4422



Search Result: 1 of 1

by: GrizzlyLogic.com

1/1 www.okeechobeepa.com/GIS/

ATTACHMENT B ITE Trip Generation Data

Marijuana Dispensary (882)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday

Setting/Location: General Urban/Suburban

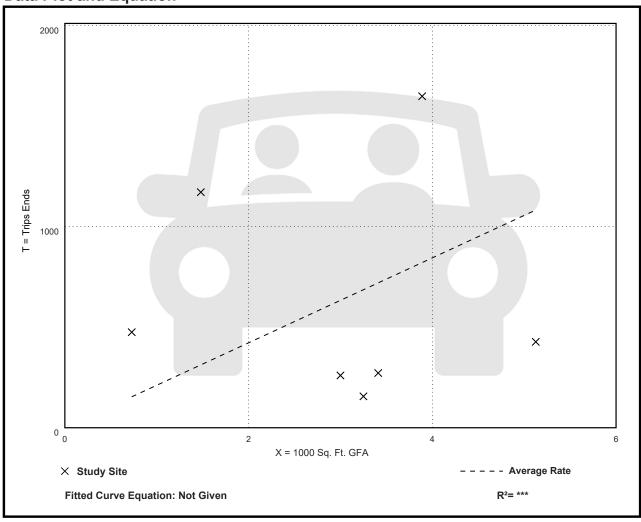
Number of Studies: 7 Avg. 1000 Sq. Ft. GFA: 3

Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
211.12	48.00 - 791.22	246.90

Data Plot and Equation





Marijuana Dispensary (882)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban

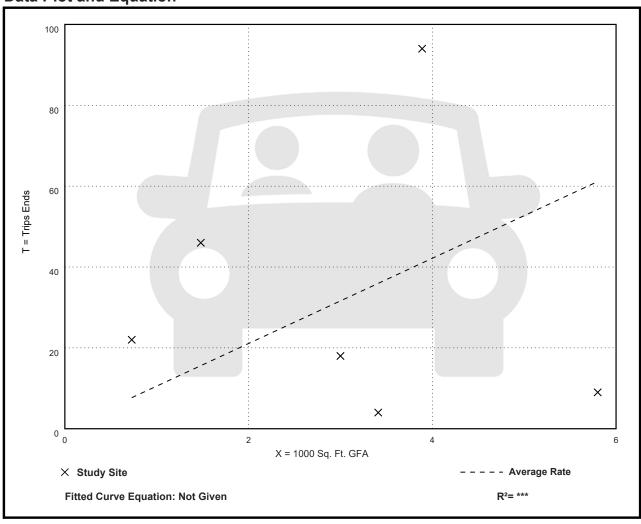
Number of Studies: 6 Avg. 1000 Sq. Ft. GFA: 3

Directional Distribution: 52% entering, 48% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
10.54	1.17 - 31.08	12.69

Data Plot and Equation





Marijuana Dispensary (882)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban

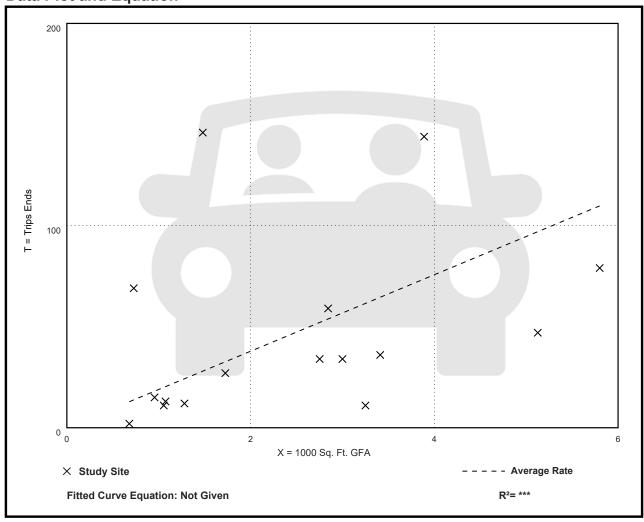
Number of Studies: 16 Avg. 1000 Sq. Ft. GFA: 2

Directional Distribution: 50% entering, 50% exiting

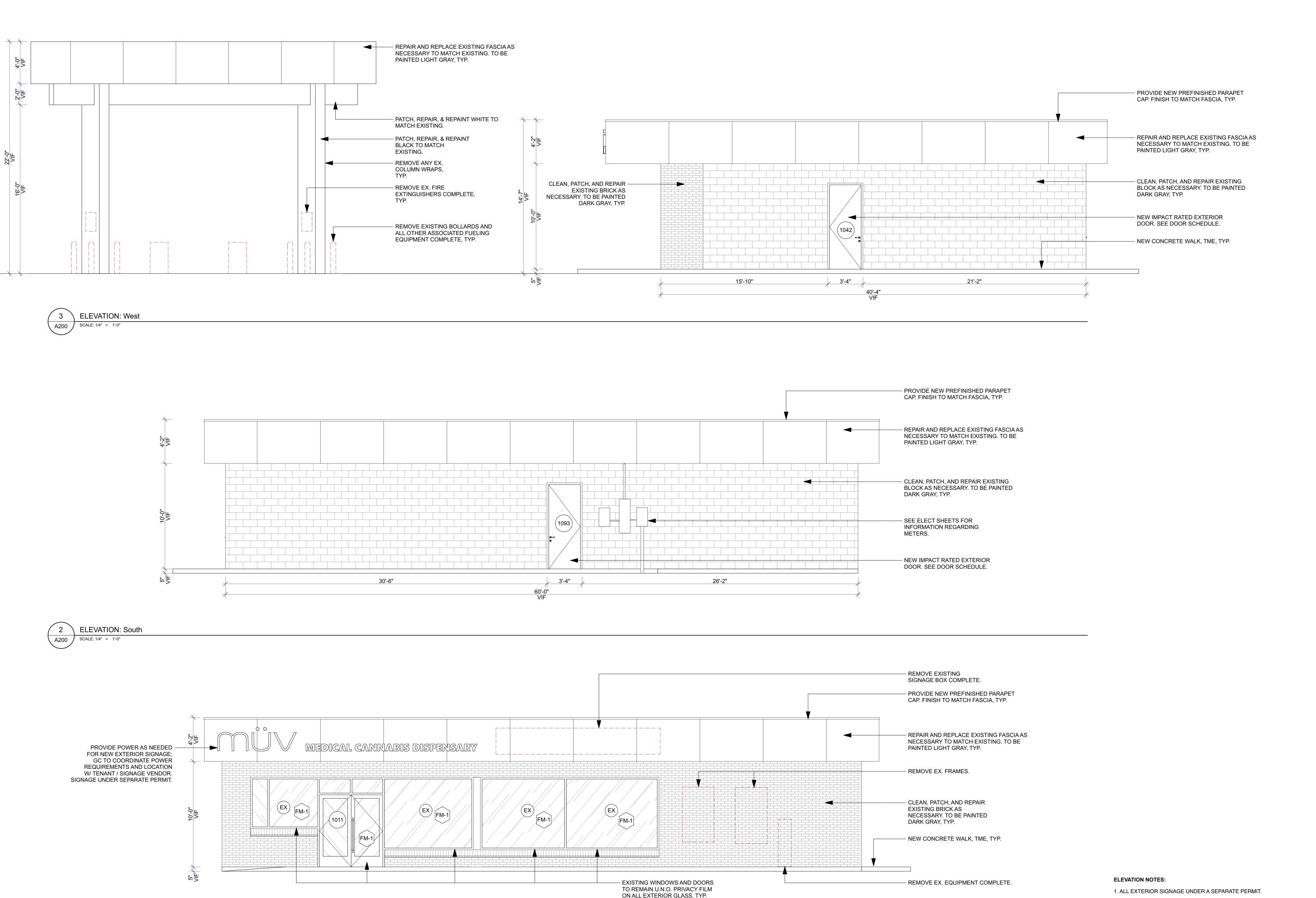
Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
18.92	2.94 - 98.65	21.73

Data Plot and Equation







ELEVATION: North

PLANTS OF RUSKIN LLC JOHN TIPTON PO BOX 126 RUSKIN, FL 33575

john.tipton@altmed.com

Jurisdiction Stamp

electrical engineer JEWITT ENGINEERING INC. 623 BAYSIDE DR. FORT MEYERS, FL 33919 239-432-1550

jjjewitt@comcast.net

mechanical / plumbing engineer KEVATRON ENGINEERING, INC. 2324 CORAL POINT DRIVE CAPE CORAL, FL KEVIN ADAMS kevatron60@gmail.com 239-242-7367

01 24 JAN, 2023 ISSUED FOR CLIENT REVIEW

collective office

ARCHITECTURE INTERIORS DESIGN STRATEGY

9 east 24th st., chicago, illinois 60616 1-312-818-2006 | www.collectiveoffice.com

I hereby certify that these plans were prepared under my direction and to the the best of my knowledge conform to the State and Local Building Codes and Ordinances.



Drawing No.

REFER TO RENDERINGS FOR PAINT COLOR PLACEMENT. GC TO CONFIRM ALL EXTERIOR PAINT COLOR AND LOCATIONS WITH CLIENT.

MUV - OKEECHOBEE, FL 510 NE PARK ST. OKEECHOBEE, FL

Drawing Title

ELEVATIONS A200

22053.0

Issued For

Coordination 03-23-2023

Calculation Summary							
Label	СаІсТуре	Units	Avg	Max	Min	Avg/Min	
PARKING LOT	Illuminance	Fc	10.99	43.5	0.5	21.98	
PROPERTY LINE	Illuminance	Fc	0.28	3.2	0.0	N.A.	
WALKWAY	Illuminance	Fc	15.42	25.4	0.2	77.10	
WALKWAY AROUND BUILDING	Illuminance	Fc	6.39	40.8	0.0	N.A.	

	LUMINAIRE FIXTURE SCHEDULE									
TYPE	MFR.	CATALOG NO.	LAMPS	VOLTS	DIMMING	MOUNTING	REMARKS	OWNER PROVIDED		
F9	GOTHAM	EVO8 40/20 AR MWD LSS 120 GZ10	32W LED	120	0-10V, 10%	RECESSED	8" EXTERIOR DOWNLIGHT RECESSED IN SOFFIT. WET LOCATION COVERED CEILING LISTED. 400K, 2500 LUMENS, BLACK TRIM, MWD, LD, 120V	NO		
F10	WE-EF LTG	RLS420 LED-131-9991	26W LED	120	N/A	SURFACE	EXTERIOR WALL SCONCE, FULL CUT-OFF, WET LOCATION LISTED	NO		
F11	LITHONIA	KACM LED 40C 700 40K R3 R3 MVOLT SRM	9 4 W	240	N/A	SURFACE	EXTERIOR LED CANOPY LIGHT, WET LOCATION LISTED	NO		

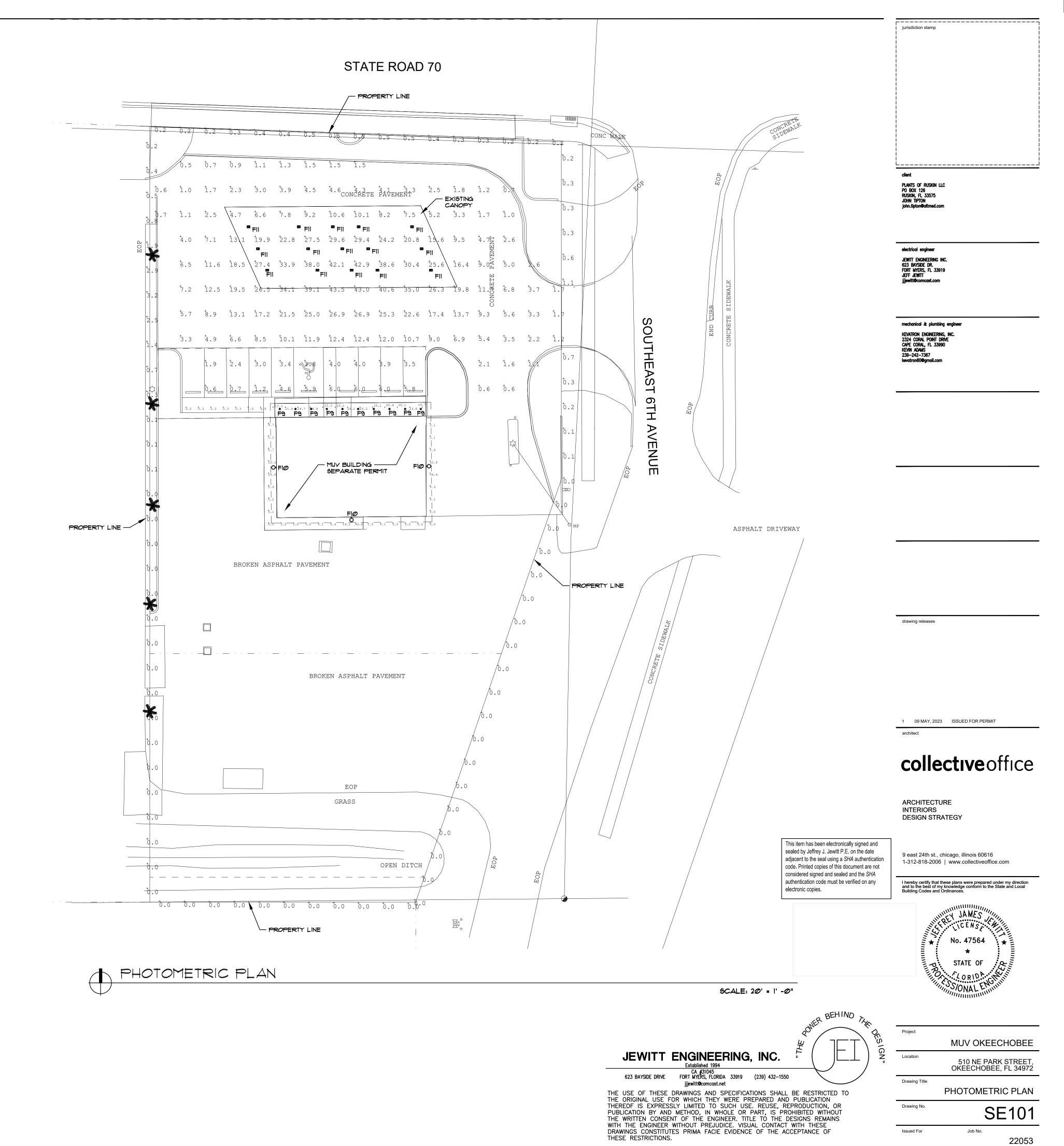
. SPECIFIED LIGHTING IS THE BASIS OF DESIGN. EQUALS MAY BE SUBMITTED BY LIGHTING REPRESENTATIVES TO JEWITT ENGINEERING 3 DAYS PRIOR TO BID DATE FOR APPROVAL. PLEASE PROVIDE COLOR SUBMITTALS ALONG WITH IES PHOTOMETRICS FILES FOR REVIEW. WRITTEN APPROVAL WILL BE ISSUED FOR EQUAL PRODUCTS APPROVED. IF EQUAL PRODUCTS ARE NOT APPROVED, SPECIFIED FIXTURE WILL BE PROVIDED. ANY EQUAL PACKAGES RECEIVED THAT DOES NOT INCLUDE THIS INFORMATION WILL NOT BE REVIEWED.

2. E.C. IS TO COORDINATE FIXTURE COLORS WITH ARCHITECT PRIOR TO ORDERING.

3. E.C. IS TO VERIFY CEILING TYPE AND COMPATIBILITY WITH FIXTURES PRIOR TO ORDERING.

4. ALL DIMMING AND DIMMABLE LUMINAIRES TO BE 0-10V, U.N.O.

NOTE: LUMINAIRES "F9", F10 & F11" ARE SHOWN FOR PHOTOMETRIC PURPOSES ONLY. SEE MUV OKEECHOBEE BUILDING CONSTRUCTION DOCUMENTS FOR CIRCUITING & ADDITIONAL FIXTURE INFORMATION.



JEFFREY J. JEWITT P.E., LEED AP

PE #47564

5-09-2023

Permit

SECTIONS 3, TOWNSHIP 15 SOUTH, RANGE 37 EAST PRELIMINARY SITE/CONSTRUCTION/STORMWATER MANAGEMENT PLAN AND REPORT OKEECHOBEE, FLORIDA.

OKEECHOBEE COUNTY, FLORIDA

PROPERTY LOCATION: OKEECHOBEE, FLORIDA PARCEL ID: 3-15-37-35-001001710-0120

PROPERTY SITE AREA: ±1.05 ACRES TOTAL PROJECT AREA: ±0.59 ACRES

EXISTING LAND USE: CONVENIENT STORE/ GAS STATION PROPOSED LAND USE: MEDICAL MARIJUANA DISPENSARY

PROPERTY ZONING: NO ZONING INFORMATION WAS SUPPLIED TO THIS SURVEYOR BY INSURER AS REQUIRED UNDER TABLE "A" ITEMS 6(A) AND 6(B)

FUTURE LAND USE:

BLDG CONSTRUCTION TYPE: RETAIL USE - COMMERCIAL FLOOR AREA RATIO:

2425 SQFT **BUILDING GFA:** 13.53' EX MAX BUILDING HEIGHT: 26.03' EX FINISH FLOOR ELEVATION:

FLOOD ZONE:

ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY 07/16/2015. NO FIELD SURVEYING WAS PERFORMED TO DETERMINI THIS ZONE AND THIS SURVEYOR MAKES NO GUARANTEES AS TO THE ACCURACY OF THE ABOVE INFORMATION. THE LOCAL F.E.M.A. AGENT SHOULD BE CONTACTED FOR VERIFICATION.

SITE AREA DATA (EXISTING): 25,802.41 SF = 0.59 AC

PERVIOUS AREA **IMPERVIOUS AREA**

SITE AREA DATA (PROPOSED): 25,802.41 SF = 0.59 AC

PERVIOUS AREA 2,925.23 SF (±0.07 AC) 11.86% IMPERVIOUS AREA 22,877.18 SF (±0.52 AC) 88.14 % TOTAL AREA = 25,802.41 SF (±0.59 AC) 100.0 %

PARKING TABLE:

TOTAL PARKING (PROVIDED)

9.0' X 20.0' 7 SPACES 12.0' X 20.0' 1 SPACES TOTAL PARKING (PROVIDED) 8 SPACES

Sheet List Table Sheet Title **Sheet Number COVER SHEET** C1.0 **GENERAL NOTES** STORMWATER POLLUTION PREVENTION PLAN C2.0 **DEMOLITION PLAN** SITE PLAN C3.0 PAVING, GRADING & DRAINAGE CONSTRUCTION DETAILS CONSTRUCTION DETAILS CONSTRUCTION DETAILS LANDSCAPE PLAN L1.0

LEGAL DESCRIPTION:

THE LAND IS DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHEAST CORNER OF BLOCK "K", CITY OF OKEECHOBEE, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 5, PAGE 5, OF THE PUBLIC RECORDS OF OKEECHOBEE COUNTY, FLORIDA, AND RUN THENCE SOUTH 18°49'45" WEST, A DISTANCE OF 179.50 FEET TO A POINT ON THE NORTH BOUNDARY OF LOT "R", BLOCK 252, CITY OF OKEECHOBEE, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 2, PAGE 4, OF THE PUBLIC RECORDS OF OKEECHOBEE COUNTY, FLORIDA; THENCE RUN WEST ALONG THE NORTH BOUNDARY OF SAID LOT "R": A DISTANCE OF 106.98 FEET TO A POINT LYING EAST, A DISTANCE OF 135 FEET FROM THE NORTHWEST CORNER OF LOT "R", THENCE RUN NORTH A DISTANCE OF 312.03 FEET TO A POINT OF INTERSECTION ON THE SOUTH RIGHT-OF-WAY OF STATE ROAD 70 (NORTH PARK STREET) AS NOW MAINTAINED AND LOCATED; THENCE RUN SOUTH 87 DEG 50'47" EAST ALONG THE SOUTH RIGHT-OF-WAY OF STATE ROAD 70 (NORTH PARK STREET) AS NOW MAINTAINED AND LOCATED A DISTANCE OF 165.61 FEET TO A POINT ON THE EAST BOUNDARY OF BLOCK "K", CITY OF OKEECHOBEE AS AFORESAID; THENCE RUN SOUTH ALONG THE EAST BOUNDARY OF BLOCK "K", CITY OF OKEECHOBEE AS AFORESAID; THENCE RUN ALONG THE EAST BOUNDARY OF SAID BLOCK "K", A DISTANCE OF 135.78 FEET TO THE POINT OF BEGINNING.

THE PROPERTY SHOWN ON THIS SURVEY IS THE SAME AS THAT REFERENCED IN OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY COMMITMENT #1320428, DATED AUGUST 26, 2022 AT 11:00 P.M.

UTILITY PROVIDERS:

863-763-9400

VICINITY MAP

WATER AND SEWER OKEECHOBEE UTILITY AUTHORITY 100 SW AVENUE OKEECHOBEE, FL 34974

FLORIDA POWER & LIGHT OKEECHOBEE CONTACT BY PHONE

386-586-6403 JOEL BRAY

PHONE / DATA / CABLE CENTURY LINK 1325 BLAIRSTONE RD RM 113 TALLAHASEE, FL 33407 850-599-1444 BILL MCCLOUD

PHONE / DATA / CABLE

COMCAST 1401 NORTH POINT PKWY WEST PALM BEACH, FL 33407 MICHAEL CONNELL 954-789-9762

GAS SERVICE

FLORIDA PUBLIC UTILITIES CO 1635 MEATHE DR WEST PALM BEACH, FL 33411 561-398-2338 FERNANDO VAN-LEEUWEN

PERMIT TYPE. PERMIT NO. STATUS APPROVAL DATE **EXPIRATION DATE** CITY OF OKEECHOBEE 23-008-TRC IN REVIEW IN REVIEW 2023-D-191-00015

PROJECT TEAM:

OKBEE OUTPARCELL, LLC 2469 N JOHN YOUNG PKWY STE C-D ORLANDO, FL 32804 206-931-0526 **NICK JONES**

NICK@REDBELLPARTNER.COM

DEVELOPER:

OKBEE OUTPARCELL, LLC 2469 N JOHN YOUNG PKWY STE C-D ORLANDO, FL 32804 206-931-0526 **NICK JONES**

CIVIL ENGINEER:

3242 HENDERSON BLVD, #200 TAMPA, FL 33609 813-258-0066 VICTOR HUGGINS, P.E. VHUGGINS@PENNONI.COM

NICK@REDBELLPARTNER.COM

LANDSCAPE ARCHITECT: 3242 HENDERSON BLVD, #200 TAMPA, FL 33609 813-258-0066 JASON RINARD JRINARD@PENNONI.COM

SURVEYOR: AMERICAN SURVEYING INC. 4847 NORTH FLORIDA AVE. TAMPA, FL 33603

813-234-0103

941-961-9079

ARCHITECT: BALAITY PROPERTY ENHANCEMENT 1707 5TH STREET SARASOTA, FL 34236

> ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES; AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

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PROJECT	BLPRP22002
DATE	06-26-2023
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APPROVED BY

2. THE LOCATION OF EXISTING UTILITIES ARE APPROXIMATE AS SHOWN AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE LOCATION OF THE UTILITIES PRIOR TO CONSTRUCTION IN THEIR VICINITY. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN THE AREA BEFORE BEGINNING CONSTRUCTION.

3. PRIOR TO BEGINNING WORK, THE CONTRACTOR SHALL EXPOSE ALL EXISTING UTILITIES TO BE EXTENDED OR CROSSED AND CONTACT THE ENGINEER AT 813-258-0066 FOR VERIFICATION OF THEIR LOCATION AND ELEVATION. ANY CONFLICTS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION FOR RESOLUTION.

4. ALL PRACTICAL AND NECESSARY EFFORT SHALL BE TAKEN DURING CONSTRUCTION TO CONTROL AND PREVENT EROSION AND TRANSPORT OF SEDIMENT MATERIAL TO INLETS AND SURFACE DRAINS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RESTORATION

5. THE CONTRACTOR IS TO CONTROL ALL FUGITIVE DUST ORIGINATING ON THIS PROJECT BY WATERING OR OTHER METHODS AS REQUIRED.

6. SPECIAL CARE SHALL BE TAKEN TO ENSURE THAT EXISTING TREES IDENTIFIED TO BE SAVED REMAIN UNDAMAGED DURING CONSTRUCTION. (REFERENCE OKEECHOBEE COUNTY LAND

7. ALL UNDERGROUND UTILITIES INCLUDING CONDUIT FOR ELECTRICAL AND TELEPHONE CROSSINGS SHALL BE INSTALLED PRIOR TO PAVEMENT CONSTRUCTION.

8. ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH OKEECHOBEE COUNTY STANDARDS AND SPECIFICATIONS OR ALTERNATE TECHNICAL SPECIFICATIONS PROVIDED BY

9. PIPE MEASUREMENTS ARE TO THE CENTER OF STRUCTURE FOR INLETS AND STORM MANHOLES. CURB INLET STATIONS ARE CALCULATED TO EDGE OF PAVEMENT. ALL PIPE LENGTHS ARE PLUS OR

10. CONFLICTS BETWEEN WATER LINES, SANITARY AND STORM SEWER TO BE RESOLVED BY ADJUSTING WATER LINES AS NECESSARY

11. THE PARCEL SHOWN HEREON APPEARS TO FALL WITHIN FLOOD ZONE "AE AND X", AS SHOWN ON THE FLOOD INSURANCE RATE MAP 12093C, COMMUNITY PANEL NUMBER 0480 C, MAP REVISED 07-16-2015. THE BASE FLOOD ELEVATION (BFE) IS 67.4' (N.A.V.D. 88).

12. RELOCATION AND REPLACEMENT OF EXISTING UTILITIES AFFECTED BY PROPOSED CONSTRUCTION TO BE COORDINATED BY SITE CONTRACTOR.

13. ALL RADII ARE 5' UNLESS OTHERWISE INDICATED.

14. THE CONTRACTOR IS RESPONSIBLE FOR PREPARING AND IMPLEMENTING MAINTENANCE OF TRAFFIC PLANS AS REQUIRED.

15. THE CONTRACTOR SHALL OBTAIN A PERMIT FOR ANY WORK WITHIN THE R/W AND IS RESPONSIBLE FOR REPAIR AND REPLACEMENT OF INFRASTRUCTURE/FACILITIES WITHIN R/W THAT ARE DAMAGED DURING CONSTRUCTION ACTIVITY.

16. ANY ON-SITE WELLS NOT PROPOSED TO REMAIN ARE TO BE SEALED BY A LICENSED WELL

17. ALL TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS SHALL COMPLY WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION) FOR DESIGN AND INSTALLATION.

18. CONTRACTOR TO NOTIFY SUNSHINE STATE ONE CALL OF FLORIDA, INC. AND ANY OTHER UTILITY COMPANIES NOT REPRESENTED BY ONE CALL OF FLORIDA 48 HOURS PRIOR TO CONSTRUCTION FOR LOCATION OF EXISTING UTILITIES, CALL SUNSHINE AT 1-800-432-4770.

19. ALL UNDERGROUND UTILITIES MUST BE INSTALLED BEFORE SUB-BASE, BASE AND SURFACE ARE

20. SIDEWALKS TO BE INSTALLED BY THE CONTRACTOR AS PART OF CONSTRUCTION ACTIVITIES TO INCLUDE ACCESSIBLE CURB RAMP AT CROSSWALKS IN ACCORDANCE WITH FDOT INDEX 522-002.

21. STAKED SILT FENCE WILL BE INSTALLED PRIOR TO EARTHWORK OPERATIONS COMMENCING AND IS TO BE MAINTAINED THROUGH PROJECT COMPLETION.

22. ALL SWALES SHALL BE SODDED AS SHOWN ON THE SECTIONS.

23. STORM SEWER PIPE LINES WILL NOT BE INSTALLED PRIOR TO PLACEMENT AND ALIGNMENT OF

SANITARY SEWER NOTES

- 1. ALL SANITARY SEWER MAINS AND LATERALS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER. 2. ALL. SANITARY SEWER WORK SHALL CONFORM TO LOCAL REGULATORY STANDARDS AND

3. PRIOR TO COMMENCING WORK WHICH REQUIRES CONNECTING NEW WORK TO EXISTING LINES OR APPURTENANCES, THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING CONNECTION POINT AND NOTIFY ENGINEER OF ANY CONFLICTS OR DISCREPANCIES.

4. SANITARY SEWER PIPES SHALL MEET THE FOLLOWING MINIMUM CRITERIA: 3' - 12' DEPTH SDR-26 12' -18' DEPTH SDR-26 > 18' DEPTH DIP

5. ALL SANITARY SEWER PIPELINES SHALL BE SOLID GREEN IN COLOR.

6. ALL PVC FORCE MAINS SHALL BE PRESSURE CLASS 200, SDR 21, COLOR GREEN, WITH A GREEN MAGNETIC TAPE A MINIMUM OF 2" WIDE PLACED 1 FOOT BELOW THE PROPOSED GRADE. THE PRINTING ON THE MAGNETIC TAPE SHALL READ "FORCEMAIN".

7. ALL DUCTILE IRON PIPE SHALL BE PRESSURE CLASS 350 IN ACCORDANCE WITH ANSI A 21.51-91 (AWWA C151) AND PIPE SHALL RECEIVE EXTERIOR BITUMINOUS COATING IN ACCORDANCE WITH ANSI A 21.51 (AWWA C151) AND SHALL BE CEMENT MORTAR LINED, STANDARD THICKNESS IN ACCORDANCE WITH ANSI A 21 4 (AWWA C104)

8. ALL SANITARY SEWER GRAVITY MAINS OR SANITARY SEWER FORCE MAINS THAT REQUIRE DIP ARE TO BE POLYLINED OR EPOXY LINED.

9. ALL SANITARY SEWER RIMS AND COVERS SHALL BE TRAFFIC RATED FOR H-20 LOADING.

10. THE CONTRACTOR SHALL PROVIDE CERTIFIED UTILITY RECORD DRAWINGS; SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR. THE RECORD DRAWINGS SHALL SHOW FINAL GRADES AND LOCATIONS ON ALL SANITARY SEWER MAINS STRUCTURES AND SERVICES ALL RESTRAINED JOINTS SHALL BE SHOWN ON THE RECORD DRAWINGS. THE CONTRACTOR SHALL PROVIDE SIX COPIES OF THE

SANITARY SEWER TESTING AND INSPECTION REQUIREMENTS

CERTIFIED RECORD DRAWINGS TO THE ENGINEER.

1. ALL GRAVITY SEWER PIPING SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE ENGINEER. CONTRACTOR SHALL NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE INSPECTION.

2. ALL GRAVITY SEWER PIPING SHALL BE VIDEO TAPED AND RESULTS FURNISHED TO THE LOCAL UTILITY AND THE ENGINEER. 3. THE GRAVITY SANITARY SEWER AND ALL SERVICE LATERALS SHALL BE SUBJECT TO ADDITIONAL TESTING AS REQUIRED BY LOCAL REGULATIONS. TESTS ARE TO BE CERTIFIED BY THE ENGINEER OF

AND NOTIFICATION OF ALL PARTIES SHALL BE THE CONTRACTORS RESPONSIBILITY.

4. ALL FORCE MAINS SHALL BE SUBJECT TO A HYDROSTATIC PRESSURE TEST IN ACCORDANCE WITH LOCAL REGULATIONS. TEST SHALL BE CERTIFIED BY THE ENGINEER OF RECORD AND SUBMITTED TO THE LOCAL AUTHORITIES FOR APPROVAL. COORDINATION AND NOTIFICATION OF ALL PARTIES SHALL BE THE CONTRACTORS RESPONSIBILITY.

RECORD AND SHALL BE SUBMITTED TO THE LOCAL AUTHORITIES FOR APPROVAL. COORDINATION

EROSION AND SEDIMENTATION CONTROL NOTES

. THE INSTALLATION OF TEMPORARY EROSION CONTROL BARRIERS SHALL BE COORDINATED WITH THE CONSTRUCTION OF THE PERMANENT EROSION CONTROL FEATURES TO THE EXTENT NECESSARY TO ASSURE ECONOMICAL EFFECTIVE AND CONTINUOUS CONTROL OF EROSION AND WATER POLLUTION THROUGHOUT THE LIFE OF THE CONSTRUCTION PHASE

2. THE TYPE OF EROSION CONTROL BARRIERS USED SHALL BE GOVERNED BY THE NATURE OF THE CONSTRUCTION OPERATION AND SOIL TYPE THAT WILL BE EXPOSED. SILTY AND CLAYEY MATERIAL USUALLY REQUIRES SOLID SEDIMENT BARRIERS TO PREVENT TURBID WATER DISCHARGE, WHILE SANDY MATERIAL MAY NEED ONLY SILT SCREENS OR HAY BALES TO PREVENT EROSION. FLOATING TURBIDITY CURTAINS SHOULD BE USED IN OPEN WATER SITUATIONS. DIVERSION DITCHES OR SWALES MAY BE REQUIRED TO PREVENT TURBID STORMWATER RUNOFF FROM BEING DISCHARGED TO WETLANDS OR OTHER WATER BODIES. IT MAY BE NECESSARY TO EMPLOY A COMBINATION OF BARRIERS, DITCHES, AND OTHER EROSION/ TURBIDITY CONTROL MEASURES IF CONDITIONS

3. WHERE PUMPS ARE TO BE USED TO REMOVE TURBID WATERS FROM THE CONSTRUCTION AREA THE WATER SHALL BE TREATED TO REDUCE TURBIDITY TO STATE WATER QUALITY STANDARDS PRIOR TO DISCHARGE. TREATMENT METHODS INCLUDE, FOR EXAMPLE, TURBID WATER BEING PUMPED INTO GRASSED SWALES OR APPROPRIATE VEGETATED AREAS (OTHER THAN UPLAND PRESERVATION AREAS AND WETLAND BUFFERS), SEDIMENT BASINS, OR CONFINED BY AN APPROPRIATE ENCLOSURE SUCH AS TURBIDITY BARRIERS AND KEPT CONFINED UNTIL ITS TURBIDITY LEVEL MEETS STATE WATER QUALITY STANDARDS.

4. THE CONTRACTOR SHALL PROVIDE ROUTINE MAINTENANCE OF PERMANENT AND TEMPORARY EROSION CONTROL FEATURES UNTIL THE PROJECT IS COMPLETE AND ALL BARE SOIL STABILIZED. SILTATION ACCUMULATIONS GREATER THAN THE LESSER OF 12 INCHES OR ONE-HALF THE DEPTH OF THE SILTATION CONTROL BARRIER SHALL BE IMMEDIATELY REMOVED AND PLACED IN UPLAND AREAS.

5. WATER REMAINING IN THE EXCAVATIONS AFTER CONSTRUCTION MUST BE KEPT CONFINED WITHIN THE EXCAVATIONS PRIOR TO DISCHARGE (IF APPLICABLE), UNTIL THE TURBIDITY LEVEL OF THE POND WATER MEETS STATE WATER QUALITY STANDARDS.

6. NO CLAY MATERIAL SHALL BE LEFT EXPOSED IN THE EXCAVATIONS. IF CLAY OR SANDY CLAYS ARE LEFT EXPOSED AT THE PERMITTED DEPTH, THE CONTRACTOR SHALL OVER EXCAVATE THE POND'S BOTTOM AND SIDE SLOPES BY A MINIMUM OF 12 INCHES AND BACK FILL WITH CLEAN SANDS.

7. PROVIDE ALL DISTURBED AREAS WITHIN THE LIMITS OF THE WORK WITH TEMPORARY SOIL EROSION CONTROL AND SEDIMENT CONTROL. UTILIZING EARTH DAMS & PONDS, GRADE TO DRAIN SWALES, SETTLING BASINS, SILT FENCES, STONE FILTERS, HAY BALE FILTERS, ETC, TREATING ALL SOIL SURFACES WITH SEEDED TOPSOIL AND / OR MULCH AFTER GRADING.

8. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.

9. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND AIR AND WATER POLLUTION WILL BE MINIMIZED STATE AND LOCAL LAWS SHALL BE COMPLIED WITH AT ALL

10. MINIMIZE THE AMOUNT OF BARE SOIL EXPOSED AT ONE TIME AND INSTALL SOIL EROSION CONTROL FENCES AS SHOWN AND IN SUCH A MANNER AS TO CAPTURE AND FILTER SURFACE WATER

11. PERMANENT VEGETATION SHALL BE BY SEEDING OR SODDING ALL EXPOSED AREAS WITHIN THREE DAYS AFTER FINAL GRADING. MULCH SHALL BE USED AS NECESSARY FOR PROTECTION UNTIL 75%

12. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL WHICH WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY AS TO PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE

13. ALL NEW EROSION AND SILT CONTROL METHODS AND LOCATIONS INDICATED ON THIS DRAWING ARE FOR STARTUP AND GENERAL REFERENCE AND SHALL BE ADJUSTED, AS REQUIRED TO SUIT THE PROCESS OF THE CONSTRUCTION.

14. ALL DISTURBED AREAS WITHIN THE LIMITS OF CONSTRUCTION SHALL RECEIVE VEGETATIVE TREATMENT AFTER FINAL GRADING IN ACCORDANCE WITH THESE PLANS. DISTURBED AREAS NOT SPECIFICALLY DESIGNATED WITH A VEGETATIVE COVER SHALL BE VEGETATED AS FOLLOWS: POND SIDE SLOPES SHALL BE SODDED WITH ARGENTINE BAHIA UNLESS OTHERWISE NOTED ON LANDSCAPE

15. HAY BALES SHALL BE PLACED ON THE UPLAND SIDE AND ADJACENT TO ALL SILT FENCE WHICH IS ADJACENT TO WETLAND AREAS TO PROVIDE ADDED SILTATION PROTECTION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE HAY BALES SHALL BE REMOVED AT SUCH TIME AS THEIR PRESENCE IMPEDES CONSTRUCTION.

16. IT IS NOT THE INTENT OF THESE PLANS TO SHOW ALL EROSION CONTROL TEMPORARY DRAINAGE AND INCIDENTAL CONSTRUCTION NECESSARY TO PREVENT EROSION. THE CONTRACTOR IS TO PROVIDE EROSION CONTROL/SEDIMENTATION BARRIER (HAY BALES OR SILTATION CURTAIN) TO ADDITION, CONTRACTOR SHALL PLACE STRAW, MULCH OR OTHER SUITABLE MATERIAL ON GROUND IN AREAS WHERE CONSTRUCTION RELATED TRAFFIC IS TO ENTER AND EXIT SITE. IF, IN THE OPINION OF THE ENGINEER AND/OR LOCAL AUTHORITIES, EXCESSIVE QUANTITIES OF EARTH ARE TRANSPORTED OFF-SITE EITHER BY NATURAL DRAINAGE OR BY VEHICULAR TRAFFIC, THE CONTRACTOR IS TO REMOVE AND CLEAN SAID EARTH TO THE SATISFACTION OF THE ENGINEER/AND/OR AUTHORITIES.

17. SILT FENCE SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 570-001 OF THE FDOT STANDARD PLANS ROAD CONSTRUCTION 2021-2022 OR LATEST EDITION. FILTER FABRIC FOR SILT FENCE AND INLET PROTECTION SHALL BE IN ACCORDANCE WITH SECTION 514 OF THE FDOT STANDARD PLANS FOR ROAD AND BRIDGE CONSTRUCTION 2022 OR LATEST EDITION.

18. RUBBLE RIPRAP SHALL BE IN CONFORMANCE WITH SECTION 530 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2022 OR LATEST ADDITION. FILTER FABRIC FOR CHECK DAMS SHALL BE IN ACCORDANCE WITH SECTION 514 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 2022 OR LATEST EDITION.

19. EROSION AND SEDIMENTATION CONTROL DEVICES SHALL BE CONSTRUCTED AT THE LOCATIONS SHOWN ON DRAWINGS WHERE APPLICABLE OR AT LOCATIONS DETERMINED BY THE ENGINEER. THE QUANTITY OF TEMPORARY EROSION AND SEDIMENTATION CONTROL DEVICE MAY BE INCREASED OR DECREASED FROM THAT SHOWN IN THE DRAWINGS BASED ON WEATHER CONSTRUCTION. PROCEDURES AND ACTUAL SITE CONDITIONS THAT OCCUR DURING CONSTRUCTION. SUCH VARIATIONS WILL NOT BE CONSIDERED AS ALTERATIONS IN THE DETAILS OF CONSTRUCTION OR A CHANGE IN THE CHARACTER OF WORK

SIGNAGE AND PAVEMENT MARKING NOTES-

1. PAVEMENT MARKINGS SHALL BE PLACED AS SHOWN IN THE PLANS AND THE APPROPRIATE FDOT

2. SIGN LOCATIONS ARE SHOWN AS APPROXIMATE AND MAY REQUIRE FIELD ADJUSTMENT AS DIRECTED BY THE ENGINEER.

3. ALL SIGNS AND PAVEMENT MARKINGS SHALL CONFORM TO THE U.S. DEPT. OF TRANSPORTATION'S

"MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION 4. STREET SIGNAGE IS TO MEET CITY OF OKEECHOBEE AND FDOT STANDARDS FOR DESIGN, AND CONTRACTOR SHALL PREPARE AND SUBMIT SHOP DRAWINGS TO THE ENGINEER OF RECORD AND THE

DEVELOPER FOR APPROVAL. CONTRACTOR SHALL USE W-SHAPED STEEL POST FOR ROADWAY

5. ALL PAVEMENT MARKINGS SHALL BE LEAD-FREE, NON-SOLVENT BASED PAINT. THERMOPLASTIC

6. ALL PAVEMENT MARKINGS TO BE REMOVED SHALL BE PERFORMED BY HYDRO BLASTING (EXCEPT IN THE FDOT ROW).

7. LOCATION OF STOP BARS SHALL BE IN ACCORDANCE WITH SECTION 3B.16 OF THE MUTCO.

8. LOCATION OF SIGNS SHALL BE IN ACCORDANCE WITH SECTION 3B.16 OF THE MUTCO.

9. ALL LOCAL ROADS SHALL BE PRIVATE.

FDOT GENERAL NOTES ——

ALL WORK PERFORMED IN THE DEPARTMENT'S RIGHT OF WAY SHALL BE DONE IN ACCORDANCE WITH THE MOST CURRENT EDITIONS OF:

- FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- FDOT DESIGN STANDARDS FOR DESIGN, CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS ON THE STATE HIGHWAY SYSTEM.
- FDOT FLEXIBLE PAVEMENT DESIGN MANUAL FOR NEW CONSTRUCTION AND PAVEMENT
- I) ALL AREAS IN THE FDOT RIGHT OF WAY DISTURBED DURING CONSTRUCTION SHALL BE
- RESTORED, COMPACTED, SODDED AND WATERED IN CONFORMANCE WITH THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 570 AND 981 AND DESIGN STANDARDS INDEX 570-010.
- 2) DAYTIME WORK ONLY. THE FDOT ENGINEER MUST APPROVE NIGHT WORK AND LANE CLOSURES AT LEAST 48 HOURS IN ADVANCE. THE APPLICANT MUST NOTIFY THE FLORIDA DEPARTMENT OF TRANSPORTATION LOCAL MAINTENANCE OFFICE 48 HOURS IN ADVANCE OF STARTING ANY PROPOSED WORK. CALL FDOT FOR ALL TRAFFIC STRIPES AND PAVEMENT MARKINGS ARE TO BE LEAD-FREE, NON-SOLVENT BASED THERMOPLASTIC. THE PERMITTEE SHALL FURNISH THE DEPARTMENT WITH THE MANUFACTURER'S CERTIFICATION THAT THE THERMOPLASTIC IS 'LEAD FREE'. REMOVAL OF EXISTING STRIPING SHALL BE DONE BY MILLING AND RESURFACING OF THE FRICTION/SURFACE COURSE TO OBLITERATE OBSOLETE PAVEMENT
- 4) ALL PROPOSED TRAFFIC SIGNS AND PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH AND CONSTRUCTED TO THE FDOT DESIGN STANDARDS INDEX SERIES 600 AND 700 SERIES. THE PROPERTY OWNER MUST MAINTAIN THE TRAFFIC SIGNS AND MARKINGS FOR THE
- 5) THE FDOT REQUIRES DOCUMENTATION FOR SUCCESSFUL COMPLETION OF AN APPROVED WORK ZONE TRAFFIC CONTROL TRAINING COURSE FOR THE AGENCY, UTILITY OR CONTRACTOR EMPLOYEE(S) INSTALLING AND/OR MAINTAINING THE APPROVED MAINTENANCE OF TRAFFIC PLAN. DOCUMENTATION IS TO BE FURNISHED TO THE DEPARTMENT AT THE PRE-CONSTRUCTION MEETING OR BEFORE OCCUPYING STATE
- MAINTENANCE OF TRAFFIC PLAN FOR WORK ZONES SHALL BE IN CONFORMANCE WITH ALL APPLICABLE INDICES OF THE FDOT DESIGN STANDARDS INDEX 102 SERIES ACCORDING TO THE TYPE OF ROADWAY AND TYPE OF WORK BEING PERFORMED.
- 7) SILT FENCE FOR EROSION CONTROL IN CONFORMANCE WITH THE FLORIDA EROSION SEDIMENT CONTROL MANUAL IS REQUIRED FOR ALL AREAS OF CONSTRUCTION WITHIN FDOT R/W, PERPENDICULAR TO AND PARALLEL WITH THE STATE ROAD.
- SIDEWALK SHALL BE CONSTRUCTED PER FDOT INDEX 522-001 AND 522-002. DETECTABLE WARNING STRIPS, A.K.A. TRUNCATED DOMES, FOR DISTRICT SEVEN CONSTRUCTION AND MAINTENANCE SHOULD BE EITHER INSET CERAMIC TILES OR THERMOPLASTIC DETECTABLE WARNING STRIPS. THESE WARNING SURFACES SHALL ONLY BE PROVIDED BY THE FOLLOWING VENDORS/MANUFACTURERS.
- A) INLINE TRUNCATED DOME EZ TILE SUPPLIED BY PROFESSIONAL PAVEMENT PRODUCTS B) TOPMARK SUPPLIED BY FLINT TRADING C) VANGUARD TRUNCATED DOME SUPPLIED BY VANGUARD
- 9) MAINTENANCE OF TRAFFIC PLAN MUST INCLUDE FDOT DESIGN STANDARDS INDEX 102-660 PEDESTRIAN CONTROL FOR CLOSURE OF SIDEWALKS.
- 10) FDOT REQUIRES A PIPE VIDEO BE DONE ON ALL PIPES ASSOCIATED WITH A PERMIT PROJECT IN FDOT ROW. SPEC 430-4.8.
- 11) FOR WORK WITHIN FDOT RIGHT-0F-WAY, THE CONTRACTOR SHALL PROVIDE A TEMPORARY TRAFFIC CONTROL PLAN PREPARED UNDER THE DIRECTION OF, AND SIGNED AND SEALED BY, A LICENSED FLORIDA PROFESSIONAL ENGINEER WHO IS EXPERIENCED IN PREPARING TRAFFIC CONTROL PLANS AND WHO IS CERTIFIED PER FDOT PROCEDURE, TOPIC NO.
- 12) FOR WORK WITHIN FDOT RIGHT-OF-WAY, THE FDOT REQUIRES DOCUMENTATION FOR SUCCESSFUL COMPLETION OF AN APPROVED WORK ZONE TRAFFIC CONTROL TRAINING COURSE FOR THE AGENCY, UTILITY, OR CONTRACTOR EMPLOYEE(S) DESIGNING, INSTALLING, AND/OR MAINTAINING THE APPROVED MAINTENANCE OF TRAFFIC PLAN IN ACCORDANCE WITH DEPARTMENT PROCEDURE, TOPIC NO. 625-010-010.
- 13) ALL TEMPORARY TRAFFIC CONTROL DEVICES FOR THE FOLLOWING FACILITIES SHALL BE DESIGNED AND INSTALLED TO MEET THE EXISTING POSTED SPEEDS AS STATED FOR ALL TRAFFIC CONTROL PHASES: SR 70 – 35 MPH
- 14) CONTACT FDOT 48 HOURS BEFORE WORKING IN FDOT R/W, TO ACTIVATE PERMIT AND SCHEDULE PRE-CONSTRUCTION MEETING

WATER SYSTEM NOTES

- 1. ALL WATER MAINS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER.
- 2. ALL WATER SYSTEM WORK SHALL CONFORM TO LOCAL REGULATORY STANDARDS AND SPECIFICATIONS.
- 3. CONFLICTS BETWEEN WATER AND STORM OR SANITARY SEWER SHALL BE RESOLVED BY ADJUSTING THE WATER LINES AS REQUIRED

4. ALL DUCTILE IRON PIPE SHALL, BE PRESSURE CLASS 350 IN ACCORDANCE WITH ANSI A 21.51 (AWWA C151) AND PIPE SMALL RECEIVE EXTERIOR BITUMINOUS COATING IN ACCORDANCE WITH ANSI A 21.51 (AWWA C151) AND SHALL BE CEMENT MORTAR

LINED, STANDARD THICKNESS IN ACCORDANCE WITH ANSI A 21.4 (AWWA C104). 5. ALL FITTINGS 3" OR LARGER SHALL BE MECHANICAL JOINT, DUCTILE IRON PRESSURE CLASS 350 IN ACCORDANCE WITH ANSI A 21.10 AND A 21.11 (AWWA C110 AND AWWA C111 RESPECTIVELY). FITTINGS SHALL BE CEMENT MORTAR LINED AND BITUMINOUS COATED IN ACCORDANCE WITH AWWA C104 AND AWWA C151 RESPECTIVELY.

6, THE CONTRACTOR SHALL INSTALL TEMPORARY BLOW-OFFS AT THE END OF WATER SERVICE LATERALS TO ASSURE ADEQUATE FLUSHING AND DISINFECTION

7. ALL PVC WATER MAINS 4" THROUGH 12" SHALL BE IN ACCORDANCE WITH AWWA C900. PIPE SHALL BE CLASS 150 AND MEET THE REQUIREMENTS OF SDR 18 IN ACCORDANCE WITH ASTM D-2241.

8. WATER MAIN PIPING LARGER THAN 2" AND SMALLER THAN 4" SHALL BE PRESSURE CLASS 200 AND MEET THE REQUIREMENTS OF SDR 21 IN ACCORDANCE WITH ASTM D-2241 UNLESS SPECIFIED

9. ALL PIPE AND FITTINGS 2" AND SMALLER SHALL BE SCHEDULE 40 PVC WITH SOLVENT WELDED SLEEVE TYPE JOINTS OR SDR 9 HDPE.

10. ALL GATE VALVES 2" OR LARGER SHALL BE RESILIENT SEAL OR RESILIENT WEDGE MEETING THE REQUIREMENTS OF AWWA C509

11. ALL FIRE HYDRANTS SHALL MEET THE REQUIREMENTS OF AWWA C502 AND SHALL BE APPROVED BY THE LOCAL UTILITY AND FIRE MARSHAL.

12. MATERIALS AND CONSTRUCTION METHODS FOR WATER DISTRIBUTION SYSTEMS SHALL BE IN ACCORDANCE WITH ALL LOCAL REGULATIONS, PLANS. AND SPECIFICATIONS FOR CONSTRUCTION, LATEST REVISION THEREOF, AND SUPPLEMENTAL SPECIFICATIONS THERETO. APPROVAL AND CONSTRUCTION OF ALL POTABLE WATER SERVICE MAIN EXTENSIONS AND CONNECTIONS MUST BE COORDINATED THROUGH THE LOCAL REGULATORY AGENCY.

13. THE CONTRACTOR SHALL PROVIDE CERTIFIED UTILITY RECORD DRAWINGS, SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR. THE RECORD DRAWINGS SHALL SHOW THE LOCATIONS. DIMENSIONS AND ELEVATIONS OF ALL WATER MAINS, SERVICES, MANHOLES, GRAVITY SEWER MAINS, SERVICE LATERALS PUMP STATIONS AND FORCE MAINS ALL RESTRAINED JOINTS SHALL BE SHOWN ON THE RECORD DRAWINGS. THE CONTRACTOR SHALL PROVIDE SIX COPIES OF THE CERTIFIED RECORD DRAWINGS TO THE ENGINEER.

PAVING, GRADING AND DRAINAGE NOTES

1. ALL UNDERGROUND UTILITIES INCLUDING CONDUIT FOR ELECTRICAL, IRRIGATION, CABLE TV AND TELEPHONE CROSSINGS SHALL BE INSTALLED BEFORE SUB-BASE. BASE AND SURFACE ARE CONSTRUCTED. CONTRACTOR TO COORDINATE INSTALLATION OF ANY ADDITIONAL CONDUIT LOCATIONS WITH OWNER.

2. ALL CURB CUT RAMPS TO BE CONSTRUCTED PER FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS (FOOT INDEX 304) AND BE ADA COMPLIANT INCLUDING USE OF TRUNCATED DOME

3. TERMINATION OF BOTH FDOT TYPE "F" AND 6" VERTICAL CURB SHALL INCLUDE A 3' TRANSITION TO FLUSH UNLESS OTHERWISE NOTED ON THE CONSTRUCTION DRAWINGS.

4. EXTRA MATERIAL IS REQUIRED PER FOOT INDEX 205 (SHEET 1 OF 5) AROUND STORM PIPE MEETING COVER CRITERIA OF SAID INDEX

5. JOINTS OF STORM SEWER SHALL BE STAGGERED FOR CROSSINGS OF THE SANITARY SEWER WITH LESS THAN 18 INCHES OF VERTICAL CLEARANCE SO THAT THE PIPE BELL IS NOT LOCATED AT THE

6. DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES, IT SHALL BE UNLAWFUL TO REMOVE VEGETATION BY GRUBBING OR TO PLACE SOIL DEPOSITS, DEBRIS, SOLVENTS. CONSTRUCTION MATERIAL, MACHINERY OR OTHER EQUIPMENT OF ANY KIND WITHIN THE DRIP LINE OF A TREE REMAINING ON SITE UNLESS APPROVED BY THE CITY.

7. ALL TRIMMING UNDERTAKEN ON A TREE PROTECTED BY PROVISIONS OF LAND DEVELOPMENT CODE SHALL BE PRUNED IN ACCORDANCE WITH THE NATIONAL ARBORIST ASSOCIATION (NAA) PRUNING STANDARDS SUBSEQUENT TO COORDINATION WITH HILLSBOROUGH COUNTY.

8. ALL STORM DRAIN STRUCTURES TO CONFORM TO THE "FLORIDA DEPARTMENT OF TRANSPORTATION DESIGN STANDARDS FOR CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS ON THE STATE HIGHWAY SYSTEM" MANUAL DATED 2022 OR LATEST EDITION.

9. ALL PROPOSED STORM GRATES, RING & COVERS AND SANITARY SEWER RING & COVERS TO MEET H-20 LOADING RATING. ALL STORM GRATES TO BE HOT DIPPED GALVANIZED RETICULINE STEEL GRATES. ALL EXISTING STRUCTURES TO BE MODIFIED AS REQUIRED TO MEET H-20 LOAD RATING AND ADJUSTED TO MEET PROPOSED GRADE.

10. THE STAKED EROSION CONTROL SHALL BE INSTALLED PRIOR TO EARTHWORK OPERATIONS COMMENCING AND IS TO BE MAINTAINED THROUGH PROJECT COMPLETION.

11. STORM SEWER PIPE LINES WILL NOT BE INSTALLED PRIOR TO PLACEMENT AND ALIGNMENT OF

12. ALL DELETERIOUS SUBSTANCE MATERIAL (I.E. MUCK, PEAT, BURIED DEBRIS) IS TO BE EXCAVATED IN ACCORDANCE WITH THESE PLANS OR AS DIRECTED BY THE OWNER'S ENGINEER, OR OWNERS' SOIL TESTING COMPANY. DELETERIOUS MATERIAL IS TO BE STOCKPILED OR REMOVED FROM THE SITE AS DIRECTED BY THE OWNER. EXCAVATED AREAS ARE TO BE BACK FILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE PLANS.

13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATING AGAINST COLLAPSE AND WILL PROVIDE BRACING, SHEETING, OR SHORING, AS NECESSARY. TRENCHES SHALL BE KEPT DRY WHILE PIPE AND APPURTENANCES ARE BEING PLACED. DEWATERING SHALL BE USED AS

14. MATERIALS AND CONSTRUCTION METHODS FOR STREETS AND STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY.

15. ALL STORM STRUCTURES SHALL BE GROUTED TO THE INVERT ELEVATION(S) OF THE STORM PIPE(S). STORM PIPE SHALL BE SAW-CUT EVEN WITH THE STRUCTURE WALL(S). GROUT AROUND PIPES FOR WATER TIGHT AND SMOOTH FINISH.

M. JASON SHERIDAN, P.E. FL. P.E. LIC. NO. 88424

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ECHOBEE

E, FLORIDA

PARK STREET OKEE HOBEE

ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM. PROJECT **BLPRP22002** DATE 06-26-2023 DRAWING SCALE AS NOTED DRAWN BY AA

APPROVED BY

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES

ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE

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PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION

OR ADAPTATION BY PENNONI ASSOCIATES FOR THE

SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES; AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI

DEVELOPER'S NAME: OKBEE OUTPARCELL, LLC DEVELOPER'S ADDRESS: 2469 JOHN YOUNG PKWY, ORLANDO, FL 32804

DESCRIPTION OF NATURE OF CONSTRUCTION ACTIVITY

CONSTRUCTION OF NEW COMMERCIAL PROPERTY WITH ASPHALT PARKING.

SOIL DISTURBING ACTIVITIES INCLUDE:

INSTALLING STABILIZED CONSTRUCTION ENTRANCES, CONSTRUCTION OF EROSION AND SEDIMENT CONTROLS, CLEARING AND GRUBBING, GRADING, CONSTRUCTION OF STORM SEWER, SANITARY COLLECTION, WATER DISTRIBUTION SYSTEM INSTALLATION, ROAD AND PARKING AREA CONSTRUCTION, AND PREPARATION FOR FINAL LANDSCAPING.

RUNOFF COEFFICIENT: THE FINAL COEFFICIENT OF RUNOFF FOR THE SITE WILL BE C=0.90

LIMITS OF CONSTRUCTION AREA: ±0.59 ACRES

SEQUENCE OF MAJOR ACTIVITIES

1. PRIOR TO COMMENCEMENT OF CLEARING FOR CONSTRUCTION, SITE CONTRACTOR SHALL INSTALL ALL EROSION CONTROL DEVICES AND NECESSARY TREE BARRICADES CALLED FOR ON PLANS AROUND THE SITE.

2. UPON COMPLETION OF THE INSTALLATION, THE SITE CONTRACTOR MAY BEGIN SITE CLEARING, EARTHWORK, DRAINAGE, UTILITY AND ROADWAY CONSTRUCTION ACTIVITIES WITHIN THE CONTRIBUTING BASIN. THE SITE CONTRACTOR SHALL STABILIZE ALL AREAS DISTURBED WITHIN FIVE DAYS OF ME COMPLETION OF GRADING ACTIVITIES OF THE DISTURBED AREA.

3. DURING CONSTRUCTION, THE SITE CONTRACTOR SHALL PERFORM REQUIRED MAINTENANCE AND INSPECTIONS OF THE DEVICES.

4. THE SITE CONTRACTOR SHALL REMOVE ALL EROSION PROTECTION DEVICES WITHIN EACH CONTRIBUTING AREA FOLLOWING PERMANENT STABILIZATION OF ALL DISTURBED AREAS.

NAME OF RECEIVING WATER: LAKE OKEECHOBEE

CONTROLS

EROSION AND SEDIMENT CONTROLS

STABILIZATION PRACTICES

WIND EROSION STABILIZATION:

THE CONTRACTOR SHALL DENUDE ONLY AREAS WHERE IT IS EXPECTED TO GRADE OR ALTERED WITHIN A TWO (2) WEEK TIME-FRAME. FINAL GRADES SHALL BE PERFORMED AND TEMPORARY OR PERMANENT SOIL STABILIZATION SHALL BE APPLIED. AREAS WHERE CONSTRUCTION OPERATIONS WILL BE CONTINUOUS, FUGITIVE DUST SHALL BE MANAGED BY APPLYING A WATER SPRAY TO SATURATED THE SURFACE SOILS ON A DAILY BASIS, OR AS NEEDED TO MAINTAIN MINIMAL DUST TRANSPORT. FUGITIVE DUST SHALL BE MONITORED CONTINUOUSLY AND ADDITIONAL MEASURES MAY NEED TO BE TAKEN TO CONTROL OFF-SITE TRANSPORT OF UNACCEPTABLE LEVELS OF DUST.

TEMPORARY STARII IZATIO

TOP OF SOIL STOCK PILES AND DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR AT LEAST 21 DAYS WILL BE STABILIZED WITH TEMPORARY GRASS AND MULCH NO LATER THAN 5 DAYS FROM THE LAST CONSTRUCTION ACTIVITY. GRASS SEED SHALL BE A MIXTURE OF 20 PARTS OF BERMUDA SEED AND 80 PARTS OF PENSACOLA BAHIA. THE SEPARATE TYPES OF SEED USED SHALL BE THOROUGHLY DRY MIXED IMMEDIATELY BEFORE SOWING. SEED WHICH HAS BECOME WET SHALL NOT BE USED. THE MULCH MATERIAL USED SHALL NORMALLY BE DRY MULCH. DRY MULCH SHALL BE STRAW OR HAY, CONSISTING OF OAT, RYE OR WHEAT STRAW, OR OF PANGOLA, PEANUT, COASTAL BERMUDA OR BAHIA GRASS HAY. ONLY UNDETERIORATED MULCH WHICH CAN BE READILY CUT INTO THE SOIL SHALL BE USED. AREAS OF THE SITE WHICH ARE TO BE PAVED WILL BE TEMPORARILY STABILIZED BY APPLYING STABILIZATION AND BASED MATERIAL.

PERMANENT STABILIZATION:

DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES PERMANENTLY CEASES SHALL BE STABILIZED WITH SOD NO LATER THAN 5 DAYS AFTER THE LAST CONSTRUCTION.

STRUCTURAL PRACTICES

STAKE SILT FENCES:

THE STAKED SILT FENCES WILL BE CONSTRUCTED ALONG THE PERIMETER AS PREVIOUSLY EXPLAINED. THESE DEVICES WILL STOP AND DIVERT RUNOFF TO THE SEDIMENT BASINS.

SEDIMENT BASINS:

THE STORM WATER MANAGEMENT AREAS WILL ACT AS SEDIMENT BASINS DURING CONSTRUCTION. THE SEDIMENT BASINS WILL BE CONSTRUCTED TO THE DESIGN CROSS-SECTION, OR A MINIMUM OF 2' BELOW EXISTING GROUND AT THE CONTRACTORS DISCRETION TO ALLOW SILTS TO BE COLLECTED AND REMOVED PRIOR TO COMPLETION OF THE GRADING.

STORM WATER MANAGEMENT

STORM WATER DRAINAGE WILL BE PROVIDED BY A CURB, SWALE, STORM SEWER, AND CATCH BASIN SYSTEM FOR THE DEVELOPED AREAS. SWALES TO BE SODDED AND INCLUDE CHECK DAMS AND RIPRAP TO CONTROL RUNOFF VELOCITY AND TRANSPORT OF SEDIMENT. WHEN CONSTRUCTION IS COMPLETE THE IMPROVED PORTION OF THE SITE WILL DRAIN TO STORM WATER PONDS. THE PONDS WILL BE IN THE LOCATION OF THE TEMPORARY SEDIMENT BASINS. WHEN UPSLOPE AREAS ARE STABILIZED, THE ACCUMULATED SEDIMENT WILL BE REMOVED FROM THE SEDIMENT BASINS. THE PONDS HAVE BEEN DESIGNED BY A PROFESSIONAL ENGINEER TO LIMIT PEAK FLOW RATES FROM THE DESIGN STORM EVENT AT OR BELOW PRE-DEVELOPMENT RATES, AND CONSTRUCTION PER DETAILS SHOWN IN THE PLANS IS IMPERATIVE.

OTHER CONTROLS

WASTE DISPOSAL

WASTE MATERIALS:

ALL WASTE MATERIAL WILL BE COLLECTED AND STORED IN DUMPSTERS PER CITY OF OKEECHOBEE SOLID WASTE REGULATIONS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTERS. THE DUMPSTERS WILL BE EMPTIED A MINIMUM OF ONCE A WEEK OR MORE OFTEN IF NECESSARY, AND THE TRASH WILL BE HAULED TO A REGISTERED LANDFILL FOR DISPOSAL. NO CONSTRUCTION MATERIALS WILL BE BURIED ON-SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED IN THE ON-SITE OFFICE TRAILER AND THE CONSTRUCTION MANGER RESPONSIBLE OR THE DAY-TO-DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

HAZARDOUS WASTE'

ALL HAZARDOUS WASTE MATERIALS, IF ENCOUNTERED, WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATIONS. THE CONTRACTOR WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.

SANITARY WASTE'

ALL SANITARY WASTE WILL BE COLLECTED FROM PORTABLE UNITS A MINIMUM OF THREE TIMES PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR, AS REQUIRED BY LOCAL REGULATION.

OFFSITE VEHICLE TRACKING

STABILIZED CONSTRUCTION ENTRANCES SHALL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREETS WILL BE CLEANED AS NEEDED TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM OR TO THE SITE WILL BE COVERED WITH A TARPAULIN AT ALL TIMES.

TIMING OF CONTROL MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, STAKED SILT BARRIERS, STABILIZED CONSTRUCTION ENTRANCES AND SEDIMENT BASINS WILL BE CONSTRUCTED PRIOR TO CLEARING OR GRADING OF ANY OTHER PORTIONS OF THE SITE. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN 21 DAYS WILL BE STABILIZED WITH TEMPORARY GRASS AND MULCH WITHIN 5 DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTED ACTIVITY CEASES PERMANENTLY IN THAT AREA, THAT AREA WILL BE STABILIZED WITH PERMANENT SOD. AFTER THE ENTIRE SITE IS STABILIZED, THE ACCUMULATED SEDIMENT WILL BE REMOVED FROM THE TRAPS AND THE STAKED SILT BARRIERS WILL BE

CERTIFICATION OF COMPLIANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS

THE STORM WATER POLLUTION PREVENTION PLAN REFLECTS THE SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICTS (SWFWMD) REQUIREMENTS FOR STORM WATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL, AS ESTABLISHED BY THE FLORIDA ADMINISTRATIVE CODE, CHAPTER 40D-4 AND 40D-40. TO ENSURE COMPLIANCE, THIS PLAN WAS PREPARED IN ACCORDANCE WITH SWFWMD'S "BASIS OF REVIEW FOR SURFACE WATER MANAGEMENT PERMIT APPLICATIONS WITHIN THE SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT". THIS PLAN ALSO REFLECTS THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION FOR WORK IN BRANCH 6.

MAINTENANCE INSPECTION PROCEDURES

EROSION AND SEDIMENT CONTROL INSPECTION AND MAINTENANCE PRACTICES

THESE ARE THE INSPECTION AND MAINTENANCE PRACTICES THAT SHALL BE USED TO MAINTAIN EROSION AND SEDIMENT

ALL CONTROL MEASURES IN DISTURBED AREAS WILL BE INSPECTED AT LEAST ONCE EACH WEEK AND WITHIN 24 HOURS OF THE END OF ANY STORM EVENT OF 0.25 INCHES OR GREATER BY A CONTRACTORS REPRESENTATIVE. WHERE SITES HAVE BEEN FINALLY STABILIZED SUCH INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE EVERY MONTH. ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER; IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT. BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE. SILT FENCE WILL BE INSPECTED REGULARLY FOR DEPTH OF SEDIMENT, TEARS, TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT THE FENCE POSTS ARE FIRMLY IN THE GROUND. THE SEDIMENT BASINS WILL BE INSPECTED FOR DEPTH OF SEDIMENT, AND BUILT UP SEDIMENT WILL BE REMOVED WHEN IT REACHES 10 PERCENT OF THE DESIGN CAPACITY OR AT THE END OF THE JOB. TEMPORARY AND PERMANENT GRASSING, MULCHING AND SODDING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH. A MAINTENANCE INSPECTION REPORT SHALL BE MADE AFTER EACH INSPECTION BY THE CONTRACTOR AND SHALL BE KEPT IN AN ACTIVE LOG READILY AVAILABLE AT THE JOB SITE CONSTRUCTION TRAILER. THE SITE SUPERINTENDENT WILL SELECT INDIVIDUALS WHO WILL BE RESPONSIBLE FOR MAINTENANCE AND REPAIR ACTIVITIES. FILLING OUT THE INSPECTION AND MAINTENANCE REPORT WILL BE BY THE CONTRACTOR. PERSONNEL SELECTED FOR MAINTENANCE RESPONSIBILITIES WILL RECEIVE TRAINING FROM THE SITE SUPERINTENDENT. THEY WILL BE TRAINED IN ALL MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROLS USED ON-SITE IN GOOD WORKING ORDER.

NON-STORM WATER DISCHARGES

IT IS EXPECTED THAT THE FOLLOWING NON-STORM WATER DISCHARGES WILL OCCUR FROM THE SITE DURING THE CONSTRUCTION PERIOD:

WATER FROM FIRE FIGHTING ACTIVITIES. FIRE HYDRANT FLUSHING, WATER LINE FLUSHING, WATER USED TO SPRAY OFF LOOSE SOILS FROM VEHICLES, DUST CONTROL, PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED). ALL NON-STORM WATER DISCHARGES WILL BE DIRECTED TO THE SEDIMENT BASIN PRIOR TO DISCHARGE.

GROUNDWATER DEWATERING ACTIVITIES ARE NOT COVERED BY THIS PERMIT. THE CONTRACTOR MUST APPLY FOR COVERAGE UNDER THE GENERIC PERMIT FOR THE DISCHARGE OF PRODUCED GROUNDWATER FROM ANY NON-CONTAMINATED SITE ACTIVITY PURSUANT TO 62-621.300 (2), F.A.C.

INVENTORY FOR POLLUTION PREVENTION PLAN

THE MATERIALS OR SUBSTANCES LISTED BELOW ARE EXPECTED, BUT NOT LIMITED, TO BE PRESENT ON-SITE DURING CONSTRUCTION:

CONCRETE
DETERGENTS
PAINTS (ENAMEL AND LATEX)
METAL STUDS
GLASS
TAR

FERTILIZERS
PETROLEUM BASED PRODUCTS AND FUELS
CLEANING SOLVENTS
WOOD
MASONRY BLOCK
ROOFING SHINGLES
STONE

SPILL PREVENTION MATERIAL MANAGEMENT PRACTICES

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.

GOOD HOUSEKEEPING:

THE FOLLOWING GOOD HOUSEKEEPING PRACTICES SHALL BE FOLLOWED ON-SITE DURING THE CONSTRUCTION PROJECT.

AN EFFORT SHALL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT. ORDERLY MANNER IN THE JOB APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER CONTAINED ENCLOSURE. PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL MANUFACTURER'S LABELED CONTAINERS. SUBSTANCES SHALL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER. WHENEVER POSSIBLE, ALL OF A PRODUCT SHALL BE USED UP BEFORE DISPOSING OF THE CONTAINER. MANUFACTURERS' RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED. THE SITE SUPERINTENDENT SHALL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ON-SITE.

HAZARDOUS PRODUCTS:

THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS.

PRODUCTS SHALL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE. ORIGINAL LABELS AND MATERIAL SAFETY DATA SHALL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION. IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURERS' OR LOCAL AND STATE RECOMMENDED METHODS OF PROPER DISPOSAL SHALL BE FOLLOWED.

THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON-SITE:

PETROLEUM PRODUCTS:

ALL ON-SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ON-SITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S

FERTILIZERS:

FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE WILL BE IN A COVERED SHED. THE CONTENTS OR ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

PAINTS:

ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURERS' INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

CONCRETE TRUCKS:

CONTRACTOR SHALL DESIGNATE AN AREA FOR DISCHARGE OF SURPLUS CONCRETE OR DRUM WASH WATER AND SHALL INSTALL A CONTAINMENT BERM AROUND THIS AREA TO PREVENT RUNOFF TO THE REMAINDER OF THE SITE. HARD DEBRIS SHALL BE DISPOSED OF BY CONTRACTOR UPON COMPLETION OF THE PROJECT.

SPILL CONTROL PRACTICES

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTION OF THE PLAN, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

MANUFACTURES' RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE

MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.

MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE. EQUIPMENT AND MATERIALS WILL INCLUDE, BUT NOT BE LIMITED TO, BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.

ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.

THE SPILL AREAS WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FORM CONTACT WITH A HAZARDOUS SUBSTANCE.

SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF SIZE.

THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATION. THEY WILL DESIGNATE OTHER PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IN THE OFFICE TRAILER ON-SITE.

NOTICE OF TERMINATION

A NOTICE OF TERMINATION WILL BE SUBMITTED TO EPA AFTER THE CONSTRUCTION HAS BEEN COMPLETED AND THE SITE HAS UNDERGONE FINAL STABILIZATION.

POLLUTION PREVENTION PLAN CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT THESE CONSTRUCTION PLANS, THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM, AS SHOWN ON THESE CONSTRUCTION PLANS, DESIGNED TO ASSURE THAT APPROPRIATE POLLUTION PREVENTION MEASURES ARE IMPLEMENTED DURING CONSTRUCTION AND TO ASSURE THAT THE QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOW VIOLATIONS.

DEVELOPER:

SIGNED:

NAME AND TITLE: NICK JONES

COMPANY: OKBEE OUTPARCELL, LLC

ADDRESS: 2469 JOHN YOUNG PKWY, ORLANDO, FL 32804

DATE:

POLLUTION PREVENTION PLAN CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERIC STORM WATER PERMIT ISSUED PURSUANT TO SECTION 403.0885, F.S., THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

SIGNATURE	FOR	RESPONSIBLE FOR
NAME: TITLE:	ADDRESS:	GENERAL CONTRACTOR
NAME: TITLE: DATE:	ADDRESS:	TEMPORARY AND PERMANENT STABILIZATION
NAME:TITLE:DATE:	ADDRESS:	TEMPORARY AND PERMANENT STABILIZATION

Pennoni

PENNONI ASSOCIATE
Tampa Office
3242 Henderson Blvd, Suit
Tampa, FL 33609

M. JASON SHERIDAN, P.E. FL. P.E. LIC. NO. 88424

NO. 88424

*
NO. 8842

OG-26-2023

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY JASON SHERIDAN, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

OKEECHOBEE, FLORIDA

SMWATER POLLUTION
PREVENTION PLAN
SEE OUTPARCEL, LLC

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THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER
PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION
OR ADAPTATION BY PENNONI ASSOCIATES FOR THE
SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS
SOLE RISK AND WITHOUT LIABILITY OR LEGAL
EXPOSURE TO PENNONI ASSOCIATES; AND OWNER
SHALL INDEMNIFY AND HOLD HARMLESS PENNONI
ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND
EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT BLPRP22002

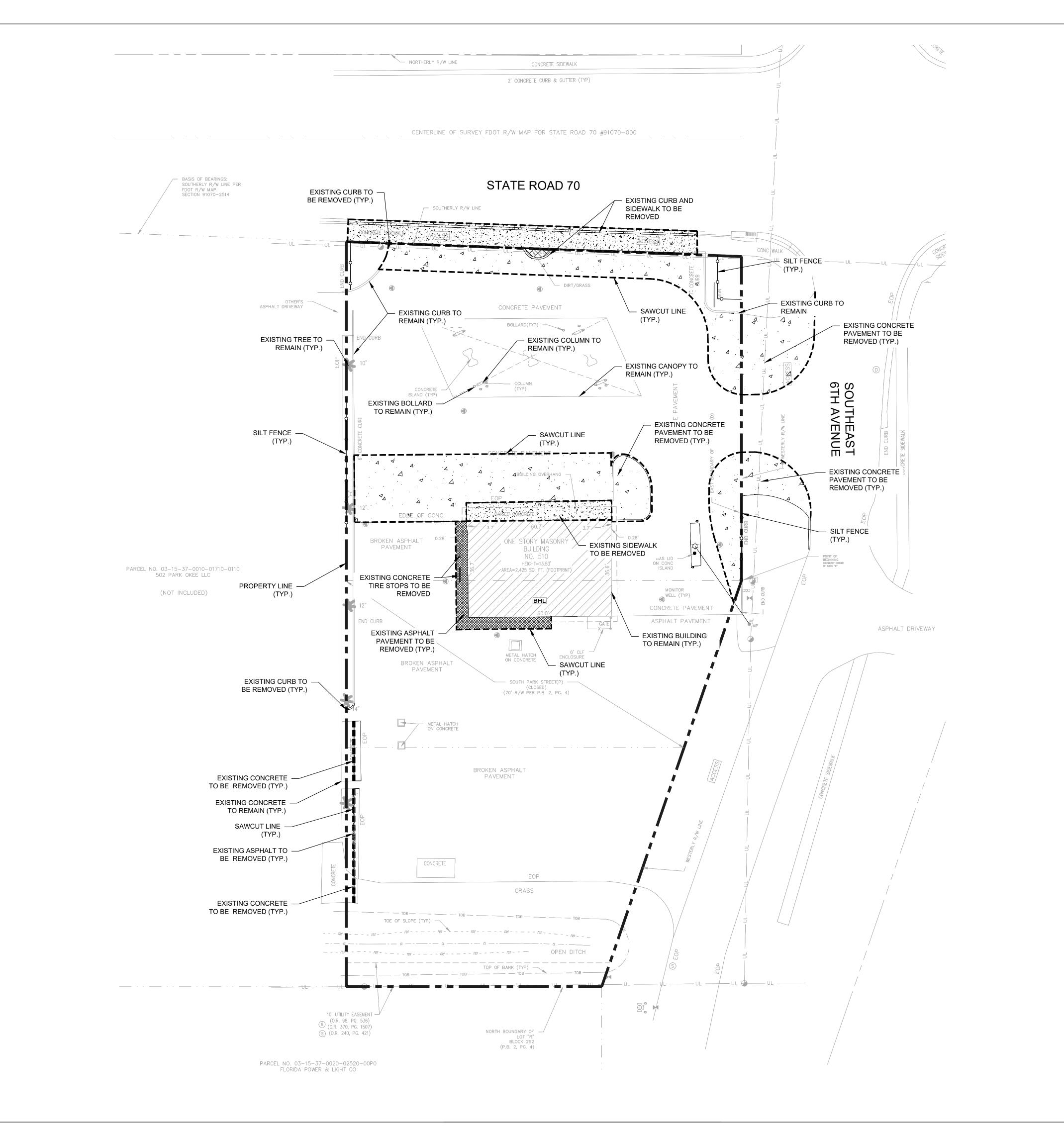
DATE 06-26-2023

DRAWING SCALE AS NOTED

DRAWN BY AA

 C_{1}

APPROVED BY





= PROPERTY LINE

= PROPERTY LINE

= EXISTING GRADE

-DEMOLITION LEGEND -

= DEMO CONCRETE SIDEWALK

= DEN

= DEMO CONCRETE PAVEMENT

= EX. TREE TO BE REMOVED

= DEMO ASPHALT PAVEMENT

Pennoni

M. JASON SHERIDAN, P.E. FL. P.E. LIC. NO. 88424

No 88424

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STATE OF

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OG-26-2023

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SKEECHOBEE, FLORIDA

S10 NORTHEAST PARK STREET

OKEECHOBEE, FLORIDA

DEMOLITION PLAN

OKBEE OUTPARCEL, LLC

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PROJECT
BLPRP22002

PROJECT BLPRP22002

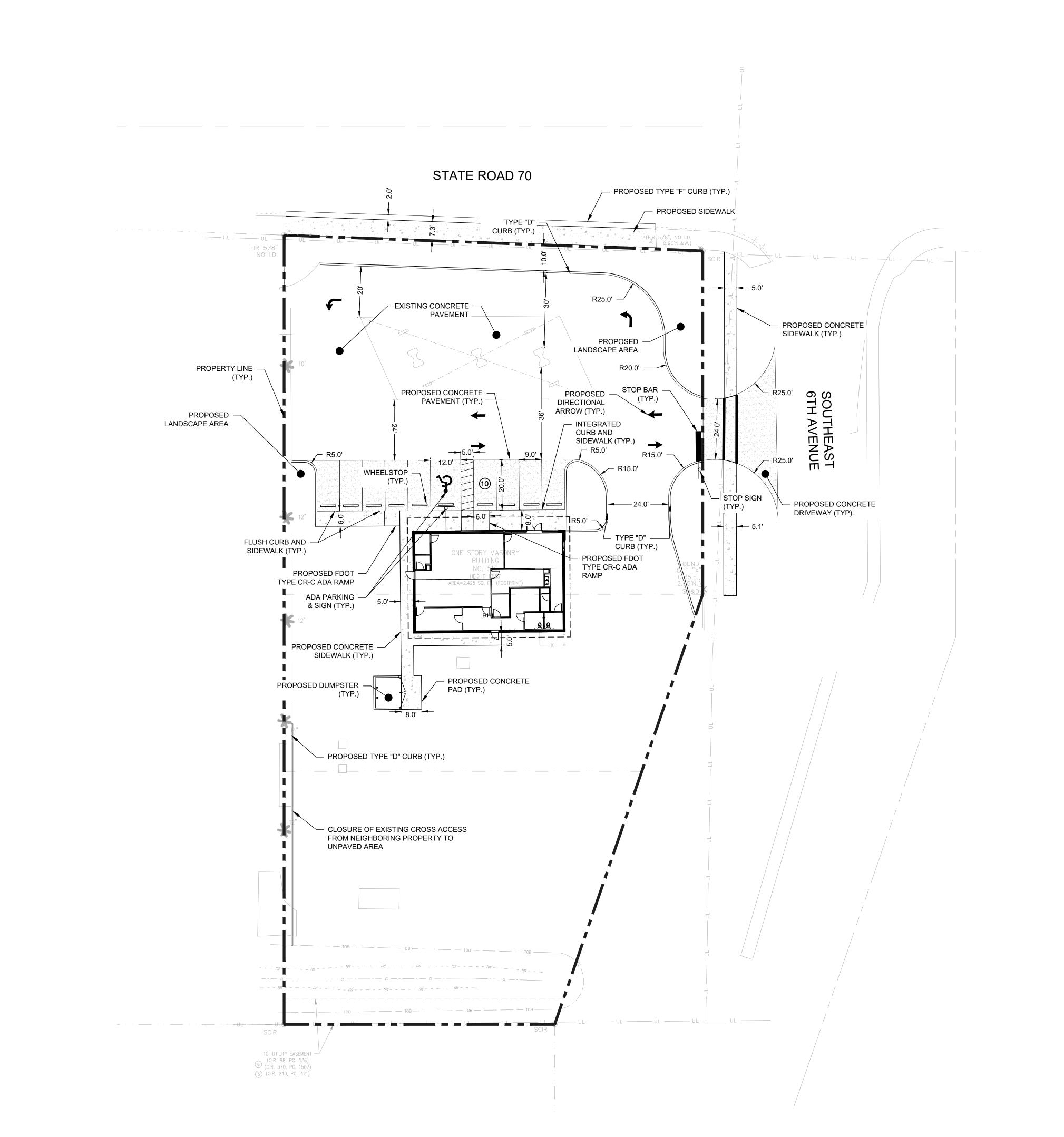
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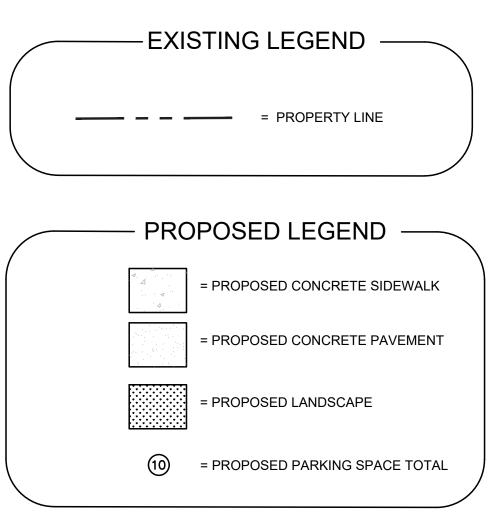
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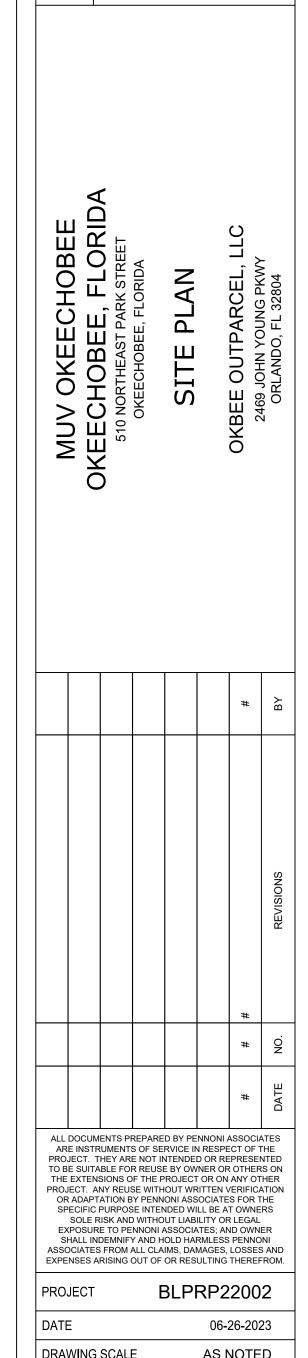
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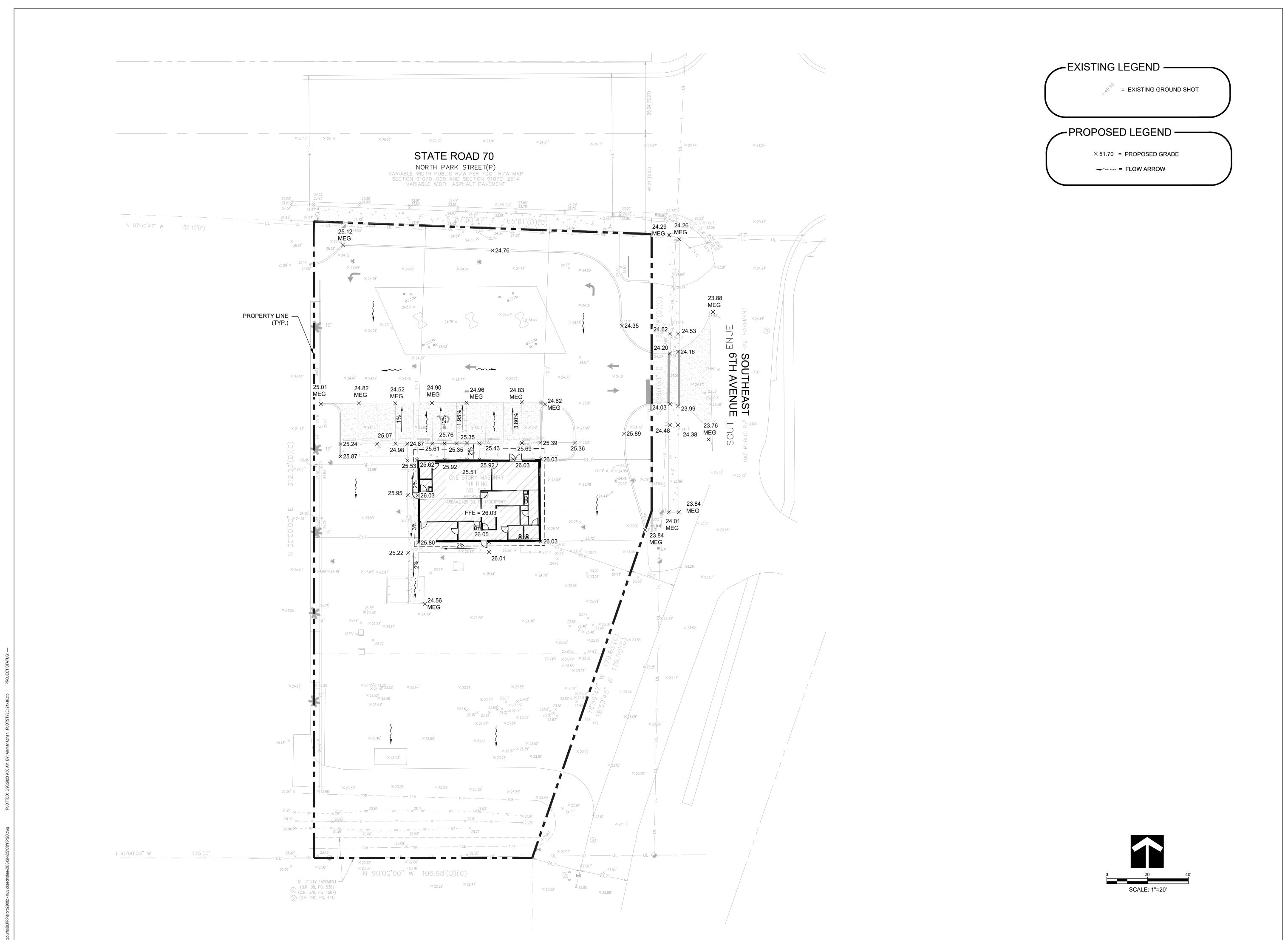


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PAVING, GRADING AND

DRAINAGE PLAN

OKBEE OUTPARCEL, LLC

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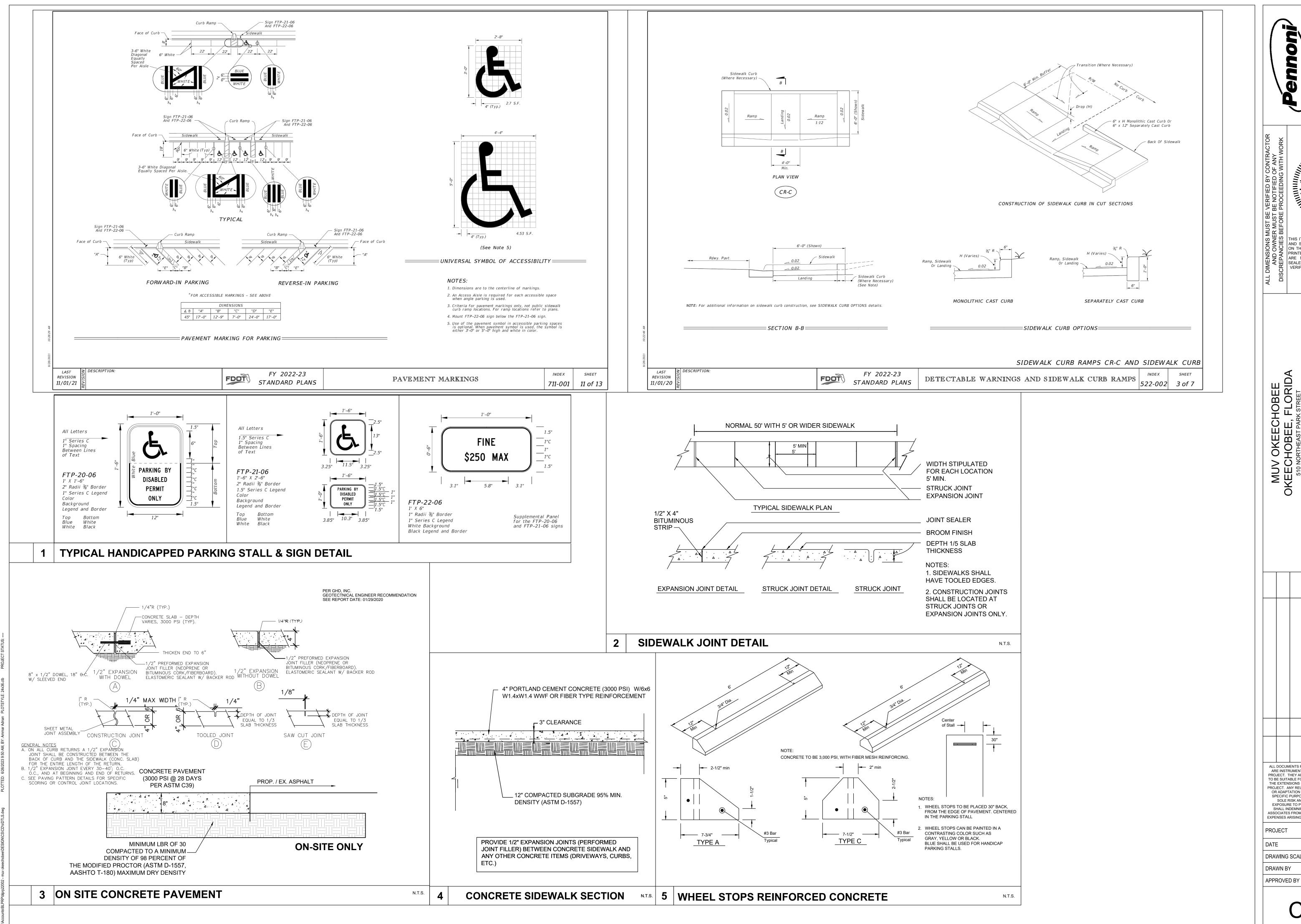
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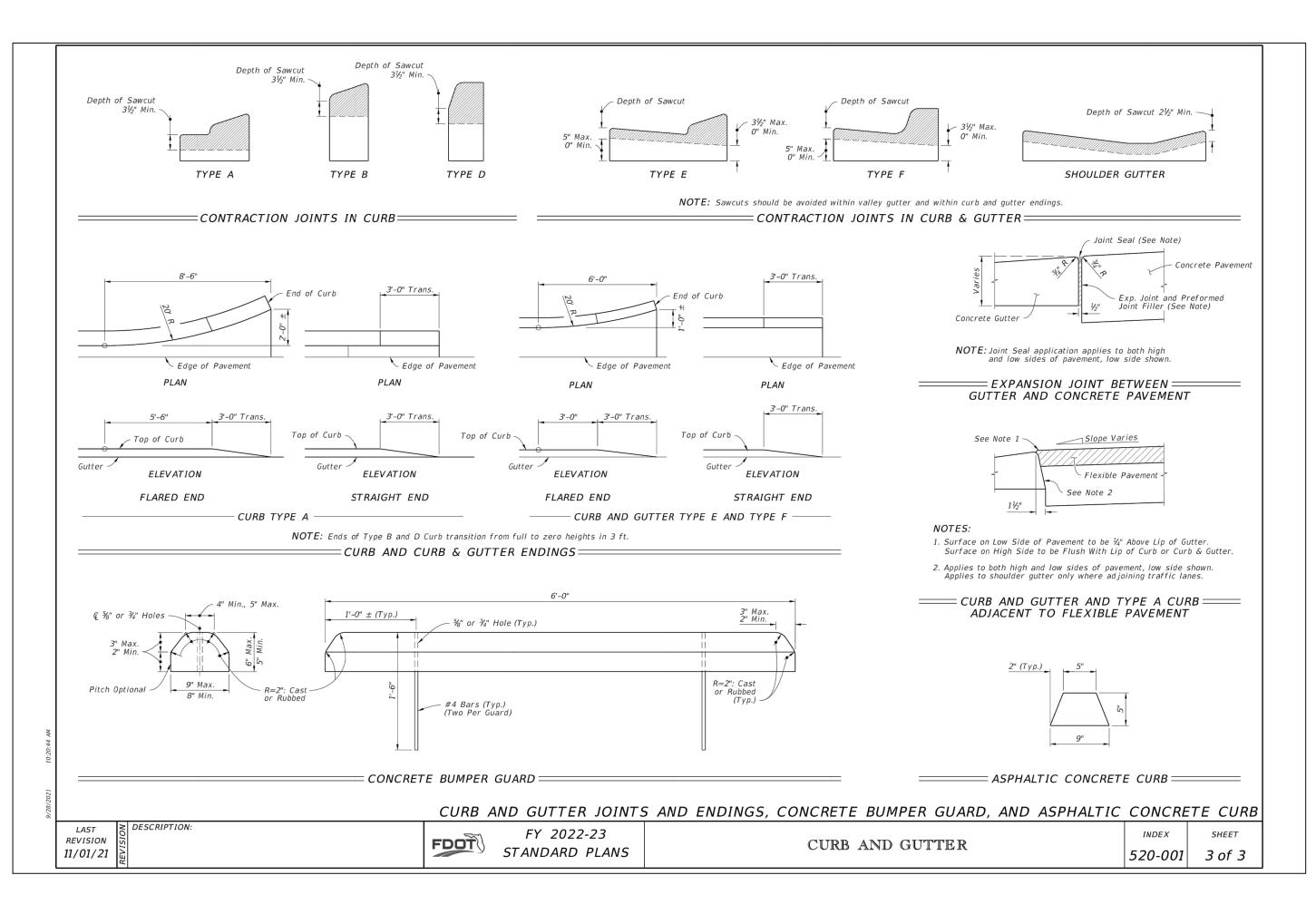
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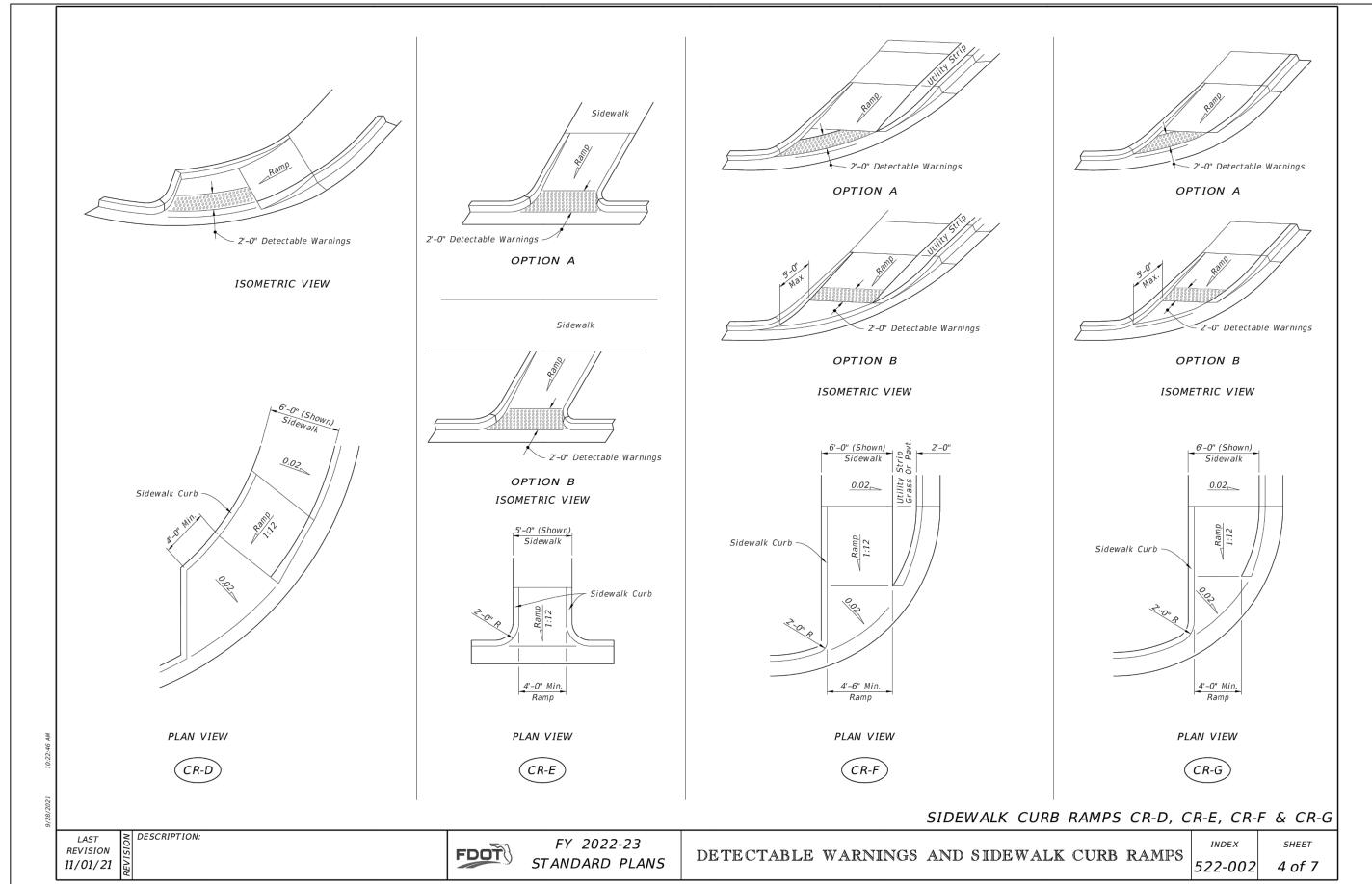
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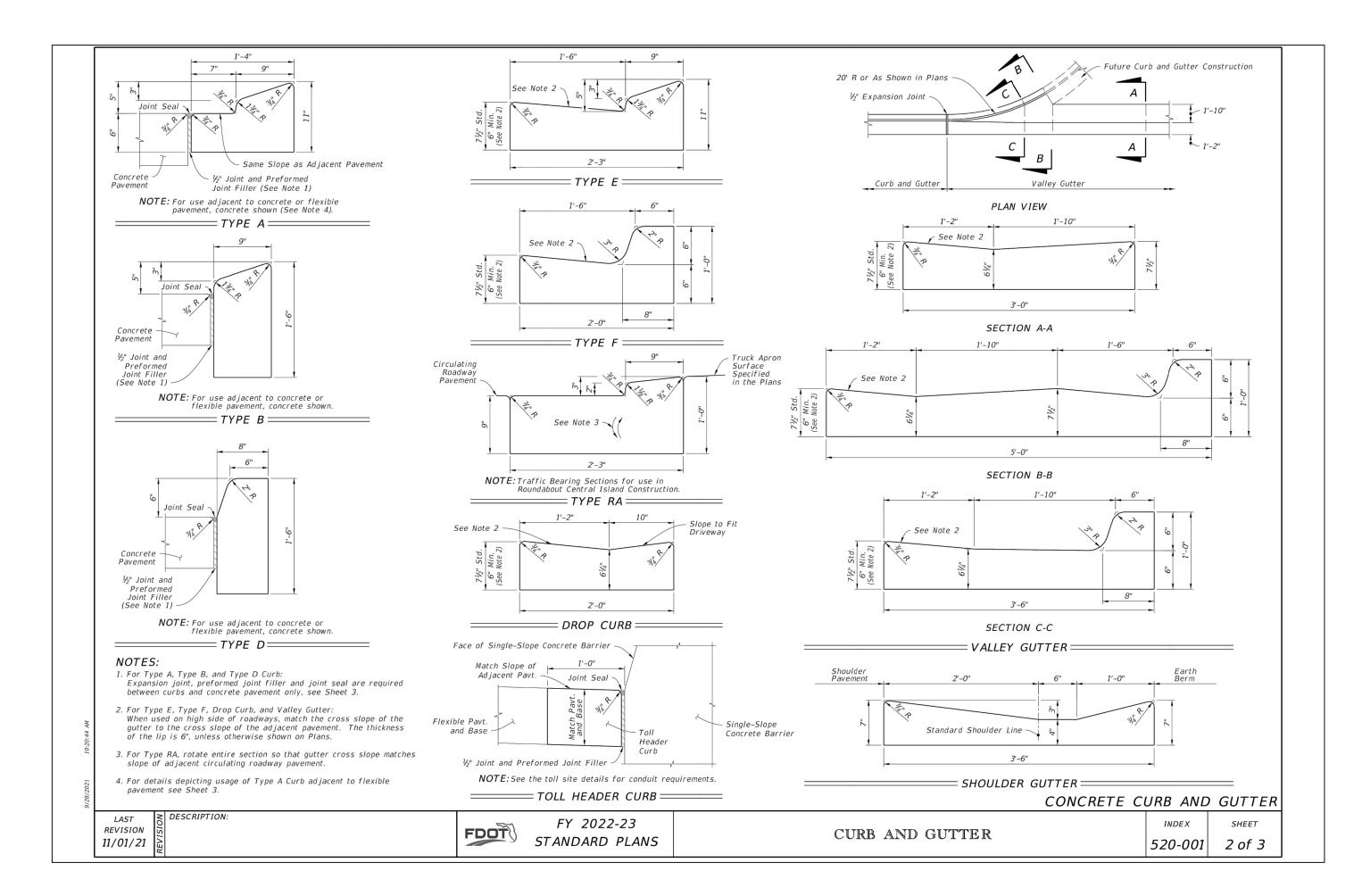
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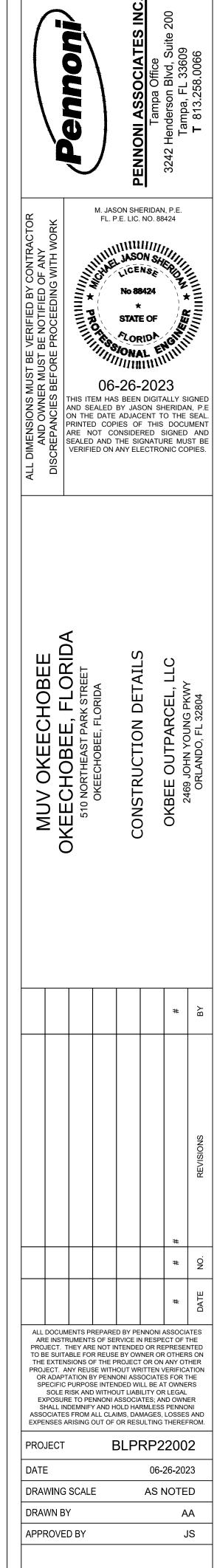


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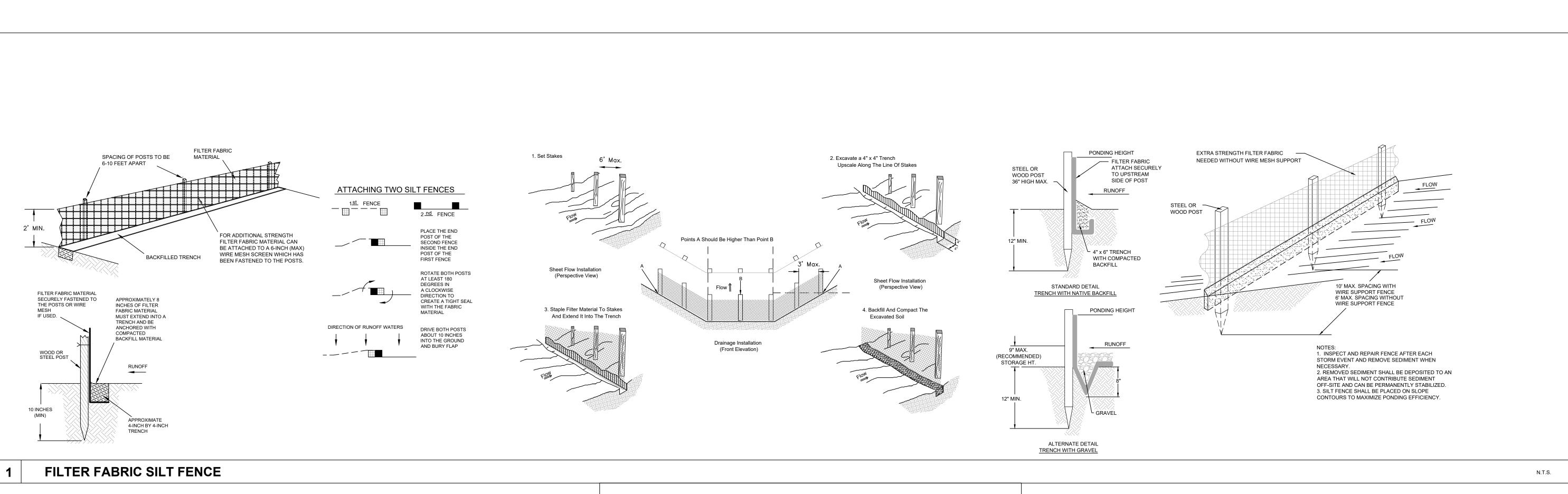








C6.1



- 50-FT. MINIMUM --PAVEMENT Y—FILTER CLOTH MINIMUM SIDE VIEW V— 2− TO 4−IN. ROCK EXISTING GROUND (NTS) - 50-FT. MINIMUM -PAVEMENT 6-FT. 4. PLAN VIEW 2- TO 4-IN, ROCK-(NTS) MINIMUM MINIMUM - 12-FT. MINIMUM -6−IN. MINIMUM FILTER CLOTH 2- TO 4-IN. ROCK

SECTION A-A

(NTS)

SOIL TRACKING PREVENTION DEVICE

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR

AND OWNNER MUST BE NOTIFIED OF ANY

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PROJECT BLPRP22002

DATE 06-26-2023

DRAWING SCALE AS NOTED

DRAWN BY AA

N.T.S.

APPROVED BY J

C6.2

TYPICAL TREE PLANTING AT GRADE

LANDSCAPE MATERIALS

TREES	<u>KEY</u>	<u>QTY</u>	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
(+)	IV	8	llex vomitoria	Yaupon Holly	B/B, min. 10` ht., x 4`-5` spr., 2" dbh
\bigcirc	LIN	3	Lagerstroemia indica `Natchez`	Crape Myrtle (white)	B/B, min. 10` ht., x 4`-5` spr., 2" dbh
AND OF E	PE	3	Pinus elliotti	Slash Pine	B/B, min. 10` ht., x 4`-5` spr., 2" dbh
	QV	2	Quercus virginiana	Live Oak	B/B, min. 10` ht., x 4`-5` spr., 2" dbh
<u>SHRUBS</u>	<u>KEY</u>	<u>QTY</u>	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
+	CI	62	Chrysobalanus icaco	Cocoplum	Min. 3 gal., 18" ht. @ 36" o.c.
MULCH	KEY		BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
	MULCI	Н	Pine Bark	Pine Bark `Mini Nuggets`	Cu. Yd., Min. 3" thick
SOD/SEED	<u>KEY</u>		BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
	SOD		Paspalum notatum	Bahia sod	Sq. ft., 95% weed free Roll all sod following installation

Note: The above material specifications are the minimum LDC requirements. Based on current market availability the contractor shall price and install larger container sizes as needed to meet this criteria at installation.

Quantities on plan take precedence over materials list, quantities on materials list are provided as a courtesy only.

— GENERAL LANDSCAPE NOTES: -

- 1. All landscape material shall be fla. no. 1 grade or better, as specified in grades and standards for nursery plants, parts I and II, by Division of Plant Industry, Florida Department of Agriculture and Consumer Services, and shall conform to current American Association of Nurseryman Standards for Nursery Stock. Landscape material shall be planted according to Sound Nursery Practices.
- 2. All shrubs shall be a minimum of 18" high at the time of planting and spaced no greater than 30" on center. Shrubs shall not adversely impact existing tree root systems and shall be field adjusted if necessary.
- 3. All required shade trees shall be a minimum of 10' overall height with a min. 2" dbh at time of planting. Adjust tree locations as necessary to avoid utilities, obstructions, etc. see materials list for exact specifications.
- 4. All required trees shall be located a minimum of 5 feet from impervious surfaces,
- 5. An automatic underground irrigation system shall be installed to maintain the landscape area in a healthy manner and provide 100% coverage.
- 6. The contractor shall sod all disturbed areas. All planting shall be mulched to a 3"
- discarded and surplus materials, and rubbish. 8. Verify the locations of existing trees, lawns, and shrubs. Remove extraneous
- materials such as rocks, branches, building materials or unacceptable soils prior to planting sod, trees, and shrubs, where encountered.
- 9. Contractor shall become acquainted with the related paving, site grading, and all utilities (including water, sewer, and electrical supply) to preclude any misunderstandings and ensure a trouble free installation.
- 10. The exact location of all existing structures, underground utilities , and pipes may not be as indicated on drawings; the contractor shall determine the location of these items and shall conduct his work in a manner to prevent interruption or damage to existing systems which must remain operational. The contractor shall protect existing structures and utility services which must remain operational and shall be responsible for their replacement if damaged by him.
- 11. Contractor shall call Sunshine State One-Call at least 48 hours prior to digging. (1-800-432-4770).

2 SHRUB/GROUND COVER PLANTING

12. Quantities on plan take precedence over materials list. Quantities on materials list are provided as a courtesy only.

LANDSCAPE REQUIREMENTS —

As per City of Okeechobee Code of Ordinances Division 4. Landscape (Section 90-531)

LANDSCAPE CALCULATIONS

MINIMUM LANDSCAPE REQUIREMENT

At least (1) tree and (3) shrubs shall be planted for every 3,000 sf of lot area, excluding areas of existing vegetation which area preserved. This requirement can be used to satisfy other requirements.

46,148 sf / 3,000 sf = 15.4 = (16) tres $15.4 \times 3 = (46) \text{ shrubs req'd}$

YUA LANDSCAPE REQUIREMENT

All vua containing 8 or more parking spaces, or containing an area greater than 2,400 sf shall provide perimeter and interior landscaping

- 1. At least 18 sf of landscape area for each parking space.
- 2. At least 1 tree for each 72 sf of required landscape area.
- 3. Shade trees shall be planted at no more than 20 ft o.c.
- 4. A min. 2' of landscaping shall be req'd between vua and on-site buildings and structures.
- 5. A min. 4' wide landscape area within vua
- 6. Min. (1) tree in a landscape island for every 10 parking space 7. Landscape island shall be landscaped with grass or groundcover.
- 1. 8 parking spaces x 18 sf = 144 sf landscape req'd
- 2. 2 landscape island trees req'd

LANDSCAPE BUFFERS REQUIREMENT

Min. 10' wide landscape buffer along street frontage Min. 2' wide landscape buffer along other property line.

At least (1) tree and (3) shrubs for each 300 sf of the required landscape buffer.

North (S.R. 70) -

107'x 10' = 1,070 sf / 300 sf = (4) trees 4 x 3 = (12) shrubs req'd

East (S.E. 6th Ave) -

 $130'x\ 10' = 1,300\ sf/300\ sf = (4)\ trees$ $4 \times 3 = (12) \text{ shrubs req'd}$

180'x 2' = 360 sf / 300 sf = (1) trees $1 \times 3 = (3)$ shrubs req'd

107'x 2' = 214 sf / 300 sf = (1) trees $1 \times 3 = (3)$ shrubs req'd

NATIVE PLANTING REQUIREMENT

At least 75% of total planting shall be native and very drought tolerant species

(16) trees x .75 = (12) native trees req'd (46) shrubs x .75 = (35) native shrubs req'd

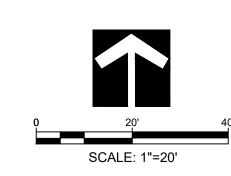
ADDITIONAL NOTES

All interior landscape areas not dedicated to trees or to preservation of existing vegetation must be landscaped with grass, ground cover, shrubs or other approved landscaping materials. Sand, gravel, rock, shell or pavement are not appropriate landscape materials.

A three-inch min. layer, after watering-in, of mulch or other recycled materials must be placed and maintained around all newly installed trees, shrubs, and ground cover plantings. Each tree must have a ring of mulch no less than 24 inches beyond it's trunk in all directions. Areas not planted with trees, shrubs, or ground covers shall be sodded with sod.

Contractor shall install new irrigation system to provide 100% coverage to all landscape areas. Note that there are no existing wells on site. Irrigation source shall use the lowest water quality source available.

All disturbed areas including right-of-way areas shall be cleaned up and hand graded prior to sod instalaltion. Areas shall be be sodded with Bahia sod and rolled after



Always call 811 two full business days before you dig to have underground utilities located and marked. Sunshine 811.com

JASON E. RINARD, R.L.A. FL REG NO 0001608 LANDSCAPE ARCHITECT

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/ OKEECHOBEE CHOBEE, FLORIDA PLAN LANDSCAPE

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BLPRP22002 PROJECT DATE 2023-02-28 DRAWING SCALE AS NOTED DRAWN BY KC

APPROVED BY

JER

23-008-TRC

Site Plan Review Staff Report



Applicant | Nicholas Jones
Parcel Identification | 3-15-37-35-0010-01710-0120 (34091)



Prepared for The City of Okeechobee



General Information

Owner: OKBEE Outparcel LLC Applicant: Nicholas Jones

Primary Contact: Ammar Adnan: <u>aadnan@pennoni.com</u>
Parcel Identification: 3-15-37-35-0010-01710-0120 (34091)

Note: For the legal description of the project or other information relating this application, please refer to the application submittal package which is available by request at City Hall and is posted on the City's website prior to the advertised public meeting at: https://www.cityofokeechobee.com/agendas.html

Future Land Use, Zoning, and Existing Use of Subject Property

Parcel Identification: 2-15-37-35-0A00-00009-0000	Existing	Proposed
Future Land Use	Commercial	Commercial
Zoning	Heavy Commercial	Heavy Commercial
Use of Property	Vacant gas station/convenience store	Medical Marijuana Dispensary
Acreage	1.06 Acres	1.06 Acres

Future Land Use, Zoning, and Existing Use of Surrounding Properties

	Future Land Use	Zoning	Existing Use
North	Commercial	Heavy Commercial (CHV)	Commercial structure
East	Commercial	Heavy Commercial (CHV)	Burger King drive-through restaurant
South	Single-Family Residential	Heavy Commercial (CHV)	Florida Power & Light Co. Switch Station
West	Commercial	Heavy Commercial (CHV)	Wendy's drive-through restaurant



General Description

The request for consideration by the City's Technical Review Committee is an application for Site Plan Review of a parcel containing an existing, vacant 2,425 square-foot convenience store and gas station canopy. The proposed use will occupy the existing structures on the 1.06-acre parcel. The site has frontage on the SR-70 commercial corridor, as well as on SE 6th Ave. Staff analysis of the submitted application and plans is provided below. Areas of deficiency or concern are highlighted in yellow.

Nonconforming Structure Considerations

The subject property meets the definition of a nonconforming structure per LDC 66-1, as it does not meet current code with regard to landscaping, parking, and other provisions.

Nonconforming structure means a lawful building or structure existing on the date of enactment or amendment of these regulations, but which does not conform to the yard, setback, coverage, height, parking, landscaping or supplementary regulations of the district in which it is located.

Due to the vacancy of the property and the recent sale of the property, both LDC 90-35 and 90-37 are pertinent to the redevelopment of the property.

Sec. 90-37. - Discontinued use of nonconforming structure.

When a nonconforming structure is discontinued or abandoned for a period for a year, any future use of the property shall comply with the following:

(2) Nonconformity. Future use shall not increase the extent of nonconformity by reason of insufficient yards, setbacks, landscaping or parking, or excessive floor area, coverage or height.

The proposed site plan indicates that none of the existing nonconformities are being increased. In fact, most are being decreased or brought into full compliance.

90-35. - Change or transfer of nonconforming use or structure.

- (d) Transfer of a nonconforming structure. In the event of the underlying land on which exists a nonconforming structure is sold, assigned or in any manner transferred from the record title holder of said lands, as such ownership is reflected in the records of the Clerk of Court, and Property Appraiser for Okeechobee County, such nonconforming structure may continue in the new owner, so long as the land is not a nonconforming use, and the nonconforming structure is not expanded or repaired except as authorized in these regulations. The transfer of such nonconforming structure is further subject to the requirement that the new owner must comply, to the extent reasonably possible, considering the nature and configuration of the structure, with all current codes, land use and zoning requirements, except off-street parking requirements, of the district regulations applicable to the structure. Provided however:
 - (1) That, if by physical evidence such as photographs or aerial photography, it becomes evident to the city that portions of the property have been used for off-street parking but are unpaved or unimproved, unmarked or otherwise do not meet the city's design



requirements for such parking, the owner shall improve the quality of such area (or its dimensional equivalent) with "pavers" or other form of dustless surface acceptable to the city for the purposes of vehicular parking. The number of spaces to be provided shall be equal to that which can be accommodated within the geographic area previously used for parking with said spaces and interior circulation components meeting the city's minimum design requirements for off-street parking and vehicular use areas.

Whereas 90-37 only dictates that existing nonconformities shall not be increased, 90-35 suggests that the new owner must comply, to the extent reasonably possible, with all current codes. What is reasonable should be considered by the Technical Review Committee, considering that it may not be reasonable to require total compliance in every area of the site, as the applicant's plans demonstrate several improvements to the site from its current condition.

Adequacy of Public Facilities

<u>Potable Water and Sewer:</u> The applicant has indicated that the site has existing potable water and sanitary sewer service connections.

Service Vehicle Access and Egress:

A. Fire Truck

Sufficiency of fire truck access and egress to be addressed by the Fire Department.

B. Loading Zone

No Loading zones are required, and none are proposed.

C. <u>Dumpster Location and/or Trash Collection</u>

The proposed site plan identifies a dumpster within an enclosure, southwest of the principal structure. A paved pedestrian walkway extends south from the building to the dumpster enclosure. No improvements are proposed to provide paved vehicular access to the dumpster location. The public works director should address whether additional paving is necessary for solid waste removal.

Traffic Impacts

A Traffic Impact Statement has been provided within the submittal package, completed for one (1) medical cannabis dispensary on the 1.06-acre project area. The Traffic Study, which utilized the ITE 882, Marijuana Dispensary use code to determine the average daily trips, indicates an estimated AM peak of 26 trips, a PM peak of 46 trips, and an average 511 daily trips generated by the medical cannabis dispensary.

Land Use	ITE	Size	Time	Trip	Generation	In	In Out	Total Trips		
Lanu Ose	Code	Size	Time		Rate	=		In	Out	Total
		Daily	T =	211.12 (X)	50%	50%	256	255	511	
Marijuana Dispensary	882	2,422 SF	AM Peak Hour	T =	10.54 (X)	52%	48%	14	12	26
			PM Peak Hour	T =	18.92 (X)	50%	50%	23	23	46



Site Access

The existing site has multiple access points on SR-70, on SE 6th Ave, and between the adjacent property to the west. The proposed site plan:

- Removes the existing access points from SR-70, which is desirable to improve traffic flow on that roadway and was requested by FDOT;
- Preserves the existing northern access point to the adjacent property to the west;
- Block/removes the existing southern access point to the adjacent property to the west;
- Reduces the width of the existing northern access point from 6th Avenue to 24 feet wide;
- Preserves nearly the full width of the existing southern access point from 6th Avenue.

All of the above are beneficial improvements except for the last item. . The existing southern access to SE 6th Ave is approximately 105' in width, which creates the opportunity for multiple vehicles to utilize the driveway simultaneously, which presents potential concerns to traffic flow on SE 6th Ave. Additionally, the code requires a minimum 10' wide street frontage landscape buffer which is not provided along that frontage segment.

The applicant is proposing replacement of the sidewalk on SR-70 and provision of a new sidewalk along a portion of the SE 6th Ave frontage.

Internal Circulation

Regarding internal circulation of the site, the City's LDC requires that two-way drive aisles are at least 24 feet wide. The plans do not adequately demonstrate that drive aisles are fully 24 feet between the canopy bollards/supports and the curbs/parking spaces. The demolition plan does not include removal of a raised concrete island located within the drive aisle connecting the northern and southern driveways. This should be removed if vehicular access to the southern area of the site is being preserved. If that access will not be preserved, the access should be blocked more completely with a more substantial feature.

The southern area of the site is proposed to remain largely unimproved. Blocking of the existing southern access point to the adjacent property to the west will remove the possibility of through traffic in that area though it does not provide improved access to the proposed dumpster location.

Consistency and Compatibility with Adjacent Uses

The subject property is surrounded by commercial uses and is located along the SR-70 commercial corridor, which supports a variety of commercial uses..

The proposed use is consistent with the comprehensive plan and the zoning code, in addition to being compatible with surrounding uses.



Compliance with Land Development Code

Regulation	Requirement	Compliance Notes
Permitted Uses §90-282	The following principal uses and structures are permitted in the CHV district: Medical marijuana dispensary as defined and regulated in F.S. § 381.986.	In compliance
Minimum Lot Area §90-196(1)	6,250 square feet for all uses	Property area: 46,148 sq/ft In compliance
Minimum Lot Width §90-285(1)	50'	Smallest property width: 107' In compliance
Min front yard setback §90-285(2)(a)	20' to buildings; ten feet to parking and driveway	In compliance
Minimum Required Side Setbacks §90-285(2)(a)	8'	In compliance
Minimum Required Rear Yard §90-285(2)(a)	10'	In compliance
Max lot coverage §90-285(3)	50%	5% In compliance
Max impervious surface §90-285(3)	85%	54% existing
		50% proposed In Compliance
Max height §90-285(4)	45 feet	Building height: 13.533'
Parking spaces location §90-511(a)	Required off-street parking and loading spaces shall be located on the same parcel as the primary use, unless approved by TRC upon submittal of written agreement to ensure continued availability	In Compliance In Compliance



Min parking space dimensions §90-511(b)	9' by 20'	In compliance
Min parking access width §90-511(d)(2)(a)	Parking spaces between 75 degrees and 90 degrees angles to the driveway, 24 feet.	
Paving §90-511(e)(1)	Each parking and loading space shall be paved	Site plans indicate that the northern area of the site, including the parking spaces, will be entirely paved. The southern portion of the site is proposed to remain mostly unimproved, with no dedicated paved access to the dumpster enclosure.
Parking and loading space layout §90-511(e)(2)	Each parking space shall be designed to permit access without moving another vehicle.	In compliance
Parking and loading space layout §90-511(e)(3)	Buildings, parking and loading areas, landscaping and open spaces shall be designed so that pedestrians moving between parking areas and buildings are not unreasonably exposed to vehicular traffic hazards.	In compliance
Parking and loading space layout §90-511(e)(4)	Paved pedestrian walks shall be provided along the lines of the most intense use, particularly between building entrances to streets, parking areas, and adjacent buildings.	In compliance
Space Regulations §90-512(2)	1 space per 300 sq/ft of floor area service $2,425 \div 300 = 8.12$	10 spaces proposed. In compliance
Min ADA parking space dimensions FL Accessibility Code §502	12' by 20' w/ a 5' wide access aisle	In compliance
Min number of ADA parking spaces FL Accessibility Code §208.2	1 ADA space required for 25 parking spaces	1 space proposed In compliance



Off-street loading space requirement regulations; Commercial, Industrial	1 for 5,000 to 25,000 square feet floor area	O designated loading spaces provided
§90-513(2)	0 loading spaces required	In compliance
Required Landscaping §90-532	At least 1 tree and 3 shrubs shall be planted for every 3,000 sq/ft of lot area, excluding areas of existing vegetation which are preserved.	
All vehicular use areas cont	aining eight or more parking spaces, or co	·
	perimeter and interior landscaping as follows:	
Landscaping Requirements for Parking and Vehicular Use Areas §90-533(1)	At least 18 square feet of landscaped area for each required parking space. 8 x 18 = 144	In compliance
. ,	At least one tree for each 72 square	In compliance
Landscaping Requirements for Parking and Vehicular Use Areas §90-533(2)	feet of required landscaped area. $144 \div 72 = 2$	птсотприансе
Landscaping Requirements for Parking and Vehicular Use Areas §90-533(3)	Shade trees shall be planted at no more than 20 feet on centers	In compliance
Landscaping Requirements for Parking and Vehicular Use Areas §90-533(4)	A minimum two feet of landscaping shall be required between vehicular use areas and on-site buildings and structures, except at points of ingress and egress.	Not in compliance
Landscaping Requirements for Parking and Vehicular Use Areas §90-533(5)	The minimum dimension for any required landscaped area within a parking or vehicular use area shall be four feet except for that adjacent to onsite buildings and structures.	In compliance
Landscaping Requirements for Parking and Vehicular Use Areas §90-533(6)	A landscaped island, minimum five feet by 15 feet and containing at least one tree, shall be required for every ten parking spaces with a maximum of 12 uninterrupted parking spaces in a row.	proposed.



Landscaping Requirements for Parking and Vehicular Use Areas §90-533(7)	The remainder of a parking landscape area shall be landscaped with grass, ground cover, or other landscape material.	
Landscape buffer areas §90-534(1)	Minimum width of buffer along street frontage shall be ten feet	landscaped buffer along SE 6 th Ave is not in compliance.
Landscape buffer areas §90-534(2)	At least 1 tree and 3 shrubs for each 300 sq/ft of required landscaped buffer	Northern boundary with street frontage: 165' Required buffer: 1,650 sq/ft 6 trees & 17 shrubs required 7 trees & 42 shrubs proposed; In Compliance Southern boundary: 97' Required buffer: 194 sq/ft 1 tree & 3 shrubs required None Proposed; Not In Compliance Eastern boundary: 316' Required buffer: 2,680 sq/ft (not including 2 vehicular access driveways, each 24' wide) 9 trees & 27 shrubs required 4 trees & 9 shrubs proposed; Not In Compliance
		In order to fully comply, the width of the southern access to SE 6 th Ave would be reduced to 24' and the required 10 buffer would be provided along the remainder of the frontage on SE 6 th Ave. Western boundary: 296'
		Required buffer: 592 sq/ft 2 trees & 6 shrubs required 5 trees & 3 shrubs proposed (4
		trees existing); Not in Compliance
Landscape buffer areas §90-534(3)	Trees may be planted in clusters, but shall not exceed 50' on centers abutting the street	In compliance



Landscape buffer areas §90-534(4)	The remainder of a landscape buffer shall be landscaped with grass, ground cover, or other landscape material.	In compliance
Landscape design and plan §90-538(a)	Proposed development, vehicular and pedestrian circulation systems, and site drainage shall be integrated into the landscaping plan.	
Landscape design and plan §90-538(b)	Existing native vegetation shall be preserved where feasible, and may be used in calculations to meet these landscaping requirements.	In compliance
Species diversification §90-538(c)	When more than ten trees are required to be planted, two or more species shall be used.	4 tree species proposed; In compliance
Tree spacing from utility structures §90-538(d)	Trees and shrubs shall not be planted in a location where at their maturity they would interfere with utility services	In compliance
Landscape design and plan §90-538(e)	Trees should maximize the shading of pedestrian walks and parking spaces.	In compliance
Landscape design and plan §90-538(f)	Landscaping ground covers should be used to aid soil stabilization and prevent erosion.	Plans indicate the use of sod; In compliance
Landscape design and plan §90-538(g)	Landscaping shall be protected from vehicular encroachment by means of curbs, wheel stops, walks or similar barriers.	In compliance
Drought tolerance §90-540(b)	At least 75 percent of the total number of plants required shall be state native very drought tolerant species as listed in the South Florida Water Management District Xeriscape Plant Guide. However, when a landscape irrigation system is installed, at least 75 percent or the total number of plants required shall be state native moderate or very drought tolerant species.	shrubs required. 16 native trees and 62 native shrubs proposed. In compliance



Min tree size §90-540(c)	Trees shall be at least ten feet high and two inches in diameter measured four feet above ground level at the time of planting.	In compliance
Utility Corridor Requirements §90-543(b)	No tree shall be planted where it could, at mature height, conflict with overhead utility lines. Larger trees (trees with a mature height of 30 feet or more) shall be planted no closer than a horizontal distance of 30 feet from the nearest overhead utility line. Medium trees (trees with a height of 20 to 30 feet) shall be offset at least 20 feet horizontally from the nearest overhead utility line. Small trees (trees with a mature height of less than 20 feet) shall not be required to meet a minimum offset, except that no tree, regardless of size shall be planted within five feet of any existing or proposed utility implement.	In compliance
Sidewalks § 78-36	Sidewalks shall be provided along each right-of-way. Pedestrian access shall be provided from the development to the ROW facilities.	proposes replacement of the existing sidewalk along SR-70.



Recommendation

The applicant's plans represent a significant improvement to the existing site, which is currently a vacant, blighted, nonconforming structure. In this situation, the City's nonconforming provision call for compliance with current code to the extent reasonably possible. In considering what is "reasonably possible", the code suggests considering the nature and configuration of the structure. The location and configuration of the current structure is in the northern portion of the property, oriented toward SR-70. It should be noted that the plans for that portion of the property mostly comply with current code.

The report above outlines some of the areas which the plans do not fully comply with current code. It will be the Technical Review Committee's decision what additional code compliance is reasonable to require. For their consideration, the following is a list of outstanding code deficiencies that may be required as conditions of approval, if deemed appropriate:

- 1. Provision of complete landscape buffers
- 2. Reduction in the width of the southern access to SE 6th Ave
- 3. Provision of landscaping between the building and parking area
- 4. The elevated concrete island located within the drive aisle connecting the northern and southern areas of the site should either be removed, or a more substantial blocking of that access should be proposed.
- 5. Provision of improved access to dumpster
- 6. Demonstration that all two-way drive aisles are at least 24 feet wide
- 7. Provision of a sidewalk along the entire SE 6th Ave frontage

Submitted by:

Ben Smith, AICP

Director of Planning

July 11, 2023

Okeechobee Technical Review Committee Hearing: July 20, 2023



Supplemental Exhibits

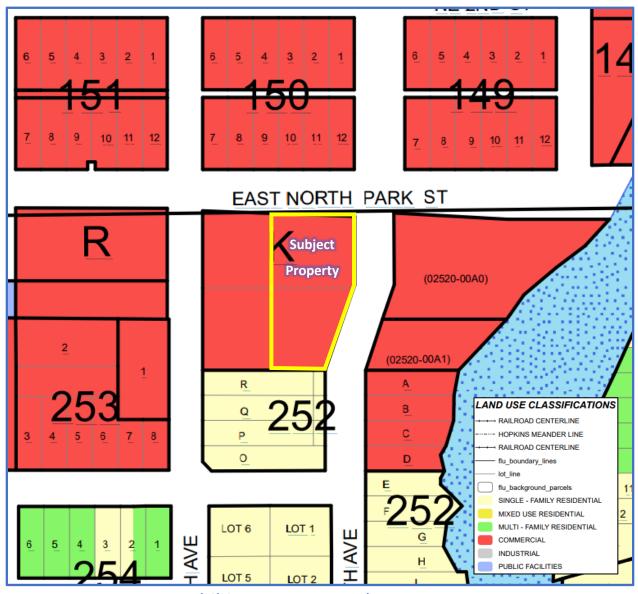


Exhibit A: Future Land Use Map



Exhibit B: Zoning Map



Exhibit C: Existing Land Use Map